

## Addendum #1

This Addendum modifies, amends, and supplements designated parts of the Contract Documents, Specifications and Drawings for:

**Brewer Armory Telecom (IT) Room Repair Project - Project No: 23SR19-310-D4, Bid Number #23-029**

Directorate of Facilities Engineering

28 August 2023

It shall be the responsibility of the Contractor to notify all Subcontractors and Suppliers for various portions of the work of any changes or modifications contained in this Addendum.

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### **Specification Items:**

1. Specification Section 00 41 13, Bid Form-Stipulated Sum (Single-Prime Contract), **Remove** in entirety and **Insert** attached Specification Section 00 41 13, Bid Form-Stipulated Sum (Single-Prime Contract). Change is addition of Alternate Bid Item #1, Concrete pad for heat pump.
2. Specification Section 01 00 00, Administrative Provisions, **Remove** page 2 and **Insert** attached page 2, Specification Section 01 00 00, Administrative Provisions. Change is the addition of Alternate Bid Item #1, Concrete pad for heat pump. There is also a correction to Owner-furnished Products on this page: There are none.

### **Drawing Items:**

1. **Remove** Sheets C-101, M101 and M-501 and **Insert** attached Sheets C-101, M101 and M-501. All changes regard either the attachment of the mini-split condensate unit to the facility or its placement on a concrete pad immediately adjacent to the facility (ABI#1)

### Questions (Clarifications):

Q: Does the refrigerant need to be insulated and encased?

A: Yes

Q: Is there a vault with an alarm?

A: Yes there is a vault on the other side of the building with seismic sensors. When you core through the walls you will need to ask Unit to change alarm to test mode then back again or it will set off the alarm.

Q: Is the Fire system to be active during construction?

A: Fire alarms will need to be put into test mode during the daily work but operational and active again at the end of each day.

Q: Is an escort required to be in the IT room?

A: Yes an escort will be required when the IT room door is open with work crew in it.

Q: Is the condensate going across the floor to the floor drain?

A: Many options were discussed and MEARNG prefers a pipe to the floor drain with a protective cover over it as specified in the plans. Note 6 on sheet M-101. Changes can be proposed after the bid is awarded.

Q: Does mounting exterior unit on concrete foundation wall trigger issues with Historic Society?

A: TBD. MEARNG has reached out to the Historical Society for a determination. Design drawings have been revised to show painting of the unit to match the brick façade if the unit is allowed to be mounted on the wall.

An ABI has also been added to the design plans. ABI scope is to provide a concrete pad to mount the unit on if that turns out to be the Historical Society's determination.

Q: Re: Section 096519, paragraph 3.1, this reads to me that the GC is responsible to carry the cost to mitigate if the test results are not within range. Is this correct, or would we carry testing submission of results only and if the test are not in range a change order would be issued to do this work?

A: Per 096519-pg4: If a test fails Contractor would need to provide a corrective action plan based on the testing results. Testing should be done before non-returnable materials are ordered.

### Attachments:

1. Specification Section 00 41 13, Bid Form-Stipulated Sum (Single-Prime Contract)
2. Specification Section 01 00 00, Administrative Provisions, page 2
3. Sheet C-101
4. Sheet M-101
5. Sheet M-501
6. Pre-Bidding Conference Minutes
7. Points of Contact List
8. Pre-Bidding Conference Attendee List

**00 41 13  
Contractor Bid Form**

**Brewer Armory Telecom (IT) Room Repair Project  
23SC19-310-D4**

BGS# 3231

Bid Form submitted by: *paper documents only to address below*

Bid Administrator:

*Ms. Sara Thompson*  
Directorate of Facilities Engineering  
Bldg. 7, Camp Keyes  
194 Winthrop Street  
Augusta, Maine 04330

Bidder:

Signature: \_\_\_\_\_

Printed name and title: \_\_\_\_\_

Company name: \_\_\_\_\_

Mailing address: \_\_\_\_\_

City, state, zip code: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email address: \_\_\_\_\_

State of incorporation,  
if a corporation: \_\_\_\_\_

List of all partners,  
if a partnership: \_\_\_\_\_

The Bidder agrees, if the Owner offers to award the contract, to provide any and all bonds and certificates of insurance, as well as Schedule of Values, Project Schedule, and List of Subcontractors and Suppliers if required by the Owner, and to sign the designated Construction Contract within twelve calendar days after the date of notification of such acceptance, except if the twelfth day falls on a State of Maine government holiday or other closure day, or a Saturday, or a Sunday, in which case the aforementioned documents must be received before 12:00 noon on the first available business day following the holiday, other closure day, Saturday, or Sunday.

As a guarantee thereof, the Bidder submits, together with this bid, a bid bond or other acceptable instrument as and if required by the Bid Documents.

**00 41 13**  
**Contractor Bid Form**

1. The Bidder, having carefully examined the *Brewer Armory Telecom (IT) Room Repair Project* Project Manual dated 8 August 2023, prepared by Colby Company Engineering, LLC., as well as Specifications, Drawings, and any Addenda, the form of contract, and the premises and conditions relating to the work, proposes to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this project for the **Base Bid** amount of:

\$ \_\_\_\_\_ .00

2. Allowances *are not included* on this project.

*No Allowances*

*N/A*

\$ 0.00

3. Alternate Bids *are included* on this project.

*Alternate Bids are as shown below*

Any dollar amount line below that is left blank by the Bidder shall be read as a bid of **\$0.00**.

*1 Concrete pad for heat pump*

\$ \_\_\_\_\_ .00

*2 "not used"*

\$ \_\_\_\_\_ .00

*3 "not used"*

\$ \_\_\_\_\_ .00

*4 "not used"*

\$ \_\_\_\_\_ .00

4. Bid security *is required* on this project.

If noted above as required, or if the Base Bid amount exceeds \$125,000.00, the Bidder shall include with this bid form a satisfactory Bid Bond (section 00 43 13) or a certified or cashier's check for 5% of the bid amount with this completed bid form submitted to the Owner.

5. Filed Sub-bids *are not required* on this project.

If noted above as required, the Bidder shall include with this bid form a list of each Filed Sub-bidder selected by the Bidder on the form provided (section 00 41 13F).

4. Limit access to Owner's site, hours of operations are 7:00 A.M. - 4:00 P.M.
5. The Contractor must work with each organization to gain access to certain area through-out the building. When the Contractor needs to gain access to certain areas, he must notify each organization seven working days in advance.
- 6. Due to the nature of some of the spaces involved with this project, an escort is required based upon where actual work is being performed. Contractor will advise the owner of any work required in these spaces at least seven (7) days in advance of work being performed in these spaces.**
7. Coordinate use of premises under direction of Owner.
8. The Contractor shall be responsible for his/her security in Construction Area until substantial completion. The contractor shall coordinate security of Building with Owner.
9. Winter Conditions N/A

E. Owner Occupancy

1. Owner will occupy surrounding areas during entire period of construction, to conduct Owner's normal operations. The Contractor shall cooperate with Owner to minimize conflict to the Owner's operations.

F. Owner-furnished Products: N/A

G. Schedule of Allowances: ABI#1: Concrete pad for heat pump.

H. Alternate Bids: Not Used

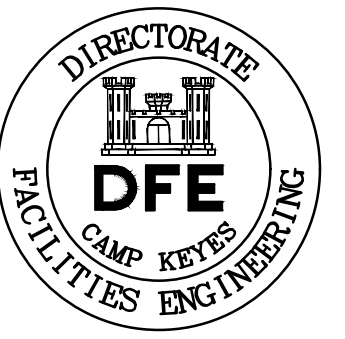
I. Unit Prices:

J. Applications for Payment:

1. Submit One (1) copy of each application under procedures of 00 72 13 Section 31, on B.G.S. Form "Application for Payment, 00 62 76 and 00 62 76.01", revised 4 May 2021.

K. Coordination:

1. Work of this Contract includes coordination of the entire Work of the Project.
2. Coordinate work with all utilities. Interruption of services shall be coordinated with an appropriate official at the facility to minimize the disruption of operations within the facility.
3. Coordinate the work of equipment and material suppliers and subcontractors.



Rev#	Description	Date	Appr.
D	ADDENDUM #1	8/28/23	DSE
C	ISSUED FOR BID	8/8/23	DSE
B	95% DESIGN SUBMISSION	6/28/23	DSE
A	50% DESIGN SUBMISSION	4/6/23	DSE

DESIGNED BY: DSE  
 DRAWN BY: JDR  
 CHECKED BY: LDA  
 DATE: 08/08/2023  
 SCALE: AS NOTED  
 DFE PROJECT NO: 23SC19-310-D4

STATE OF MAINE  
 DEPARTMENT OF DEFENSE, VETERANS  
 AND EMERGENCY MANAGEMENT  
 COLBY COMPANY ENGINEERING  
 OCE JOB #144-058.006  
 47A YORK STREET  
 PORTLAND, MAINE  
 207.583.7753

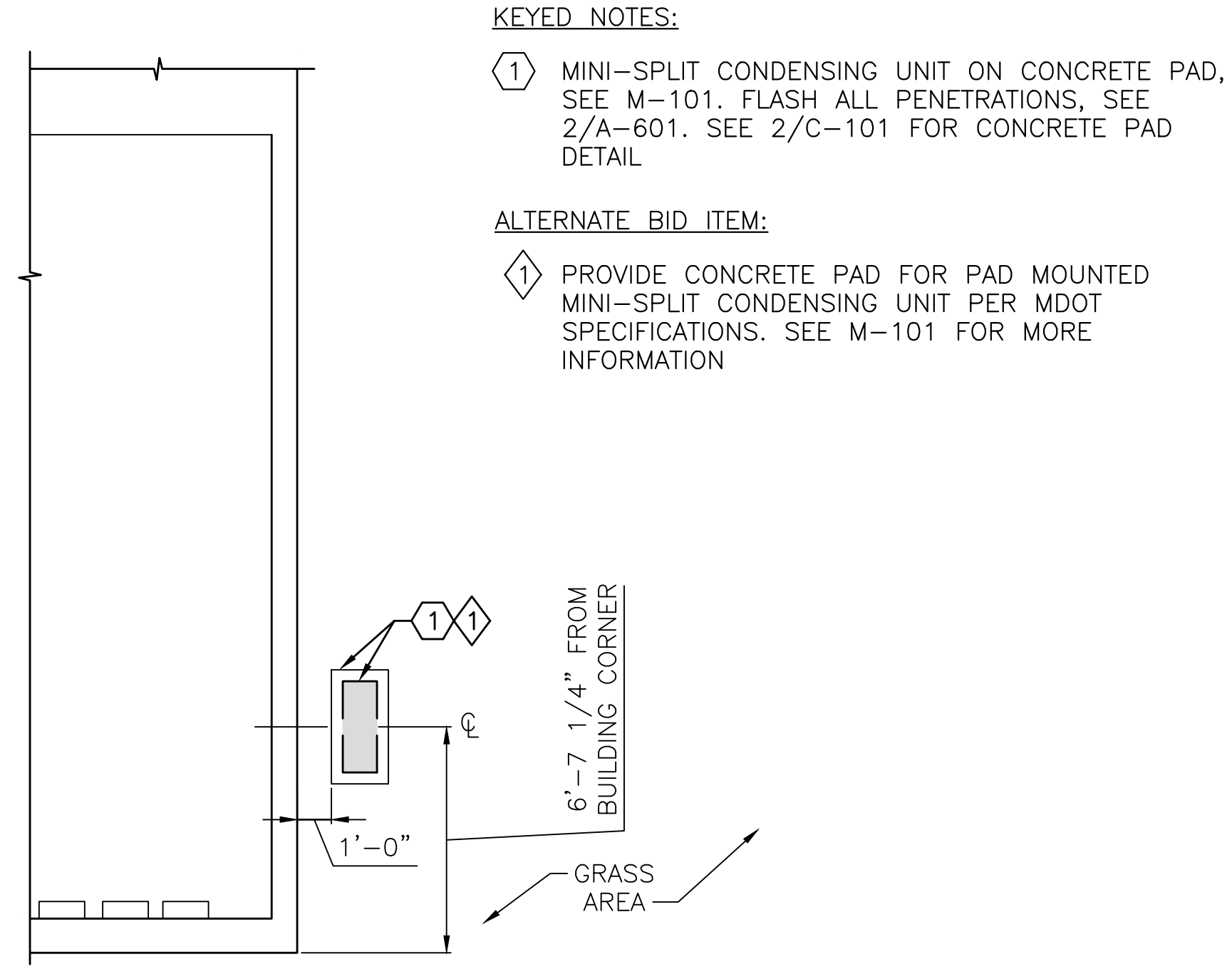
TELECOM ROOM UPGRADES  
 BREWER ARMORY  
 BREWER, MAINE

CONCRETE PAD PLAN AND DETAIL

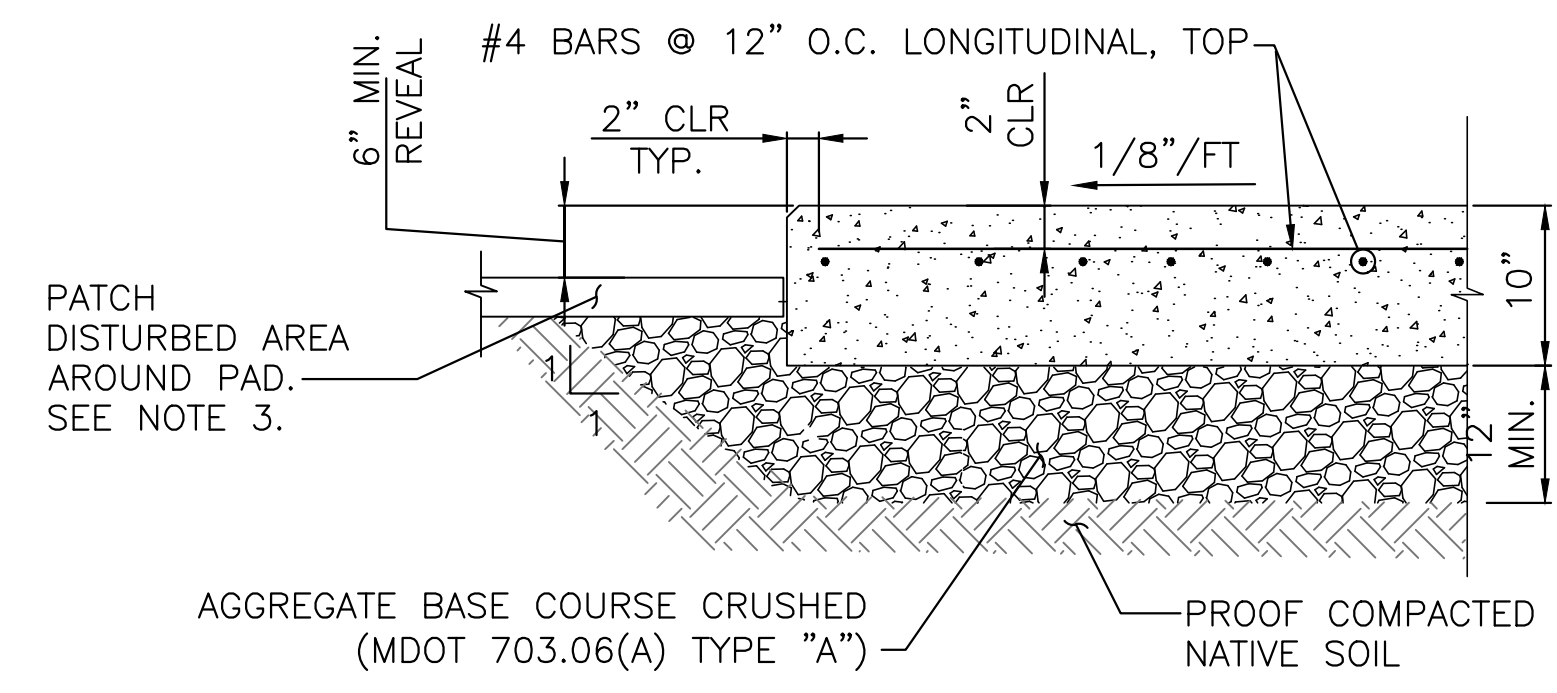
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<input type="checkbox"/>	95% REVIEW
<input type="checkbox"/>	FINAL REVIEW
<input checked="" type="checkbox"/>	FOR BIDDING
<input type="checkbox"/>	ISSUED FOR CONSTRUCTION
<input type="checkbox"/>	RECORD DRAWINGS

SHEET ID:  
**C-101**  
 SHEET: 3 OF 18



① **ABI#1 CONCRETE PAD MOUNTED UNIT**  
 C-101 SCALE: 1/4" = 1'-0" A-101



PAD LOCATION	THICK	LENGTH	WIDTH
BREWER ARMORY	0'-10"	4'-0"	2'-0"

- NOTES:**
- CONCRETE MUST BE 4,500 PSI WITH 6% AIR ENTRAINMENT
  - PROVIDE A BROOM FINISH, AND 3/4" CHAMFERED EDGES
  - DISTURBED AREA PATCHING:
    - GRASSED AREAS MUST BE LEVELED WITH COMPACTED NATIVE SOIL AND RECEIVE A MIN OF 4" OF LOAM AND SEED.

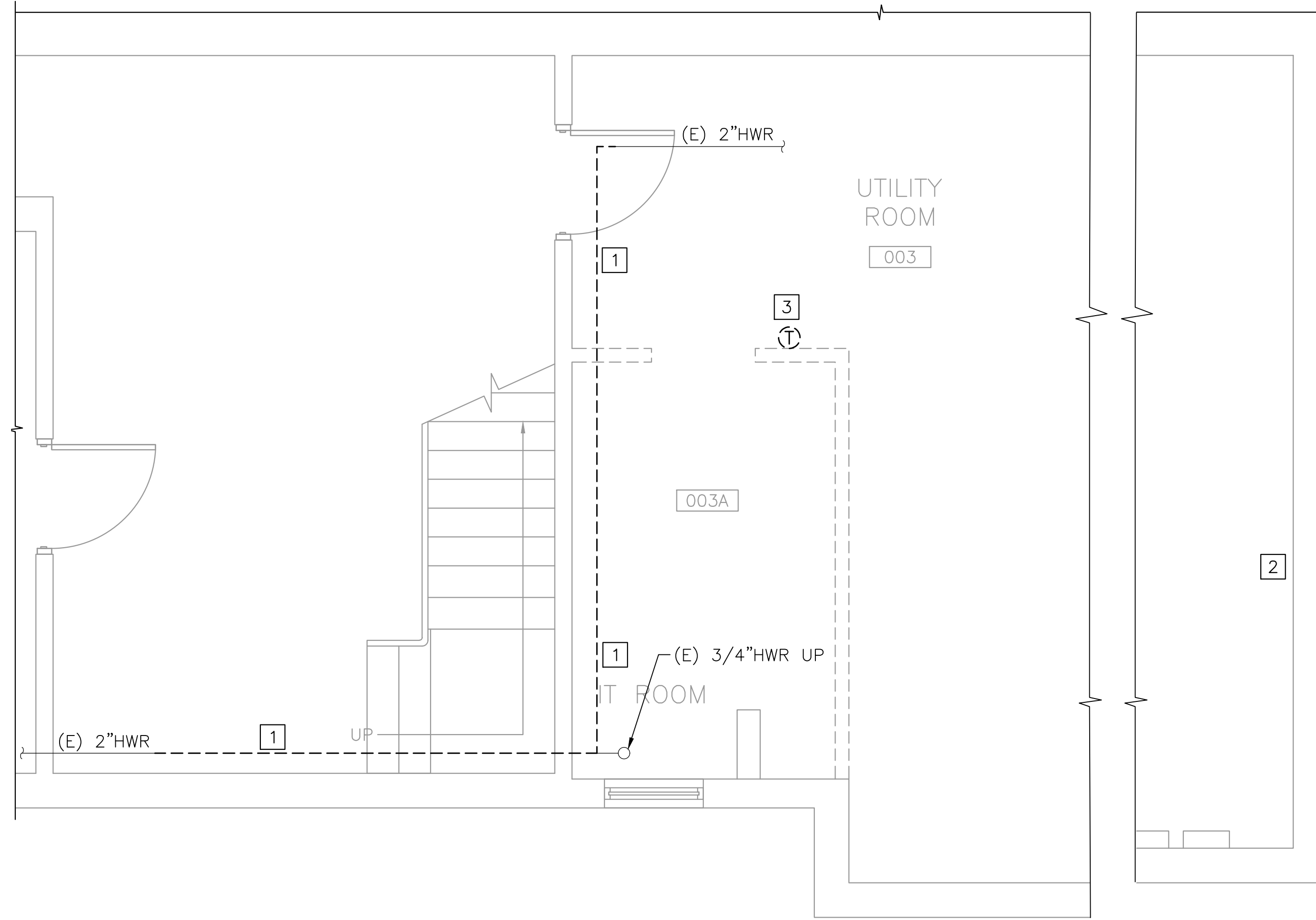
② **TYPICAL CONCRETE PAD DETAIL**  
 C-101 SCALE: NTS

PLAN

NORTH

AREA OF WORK

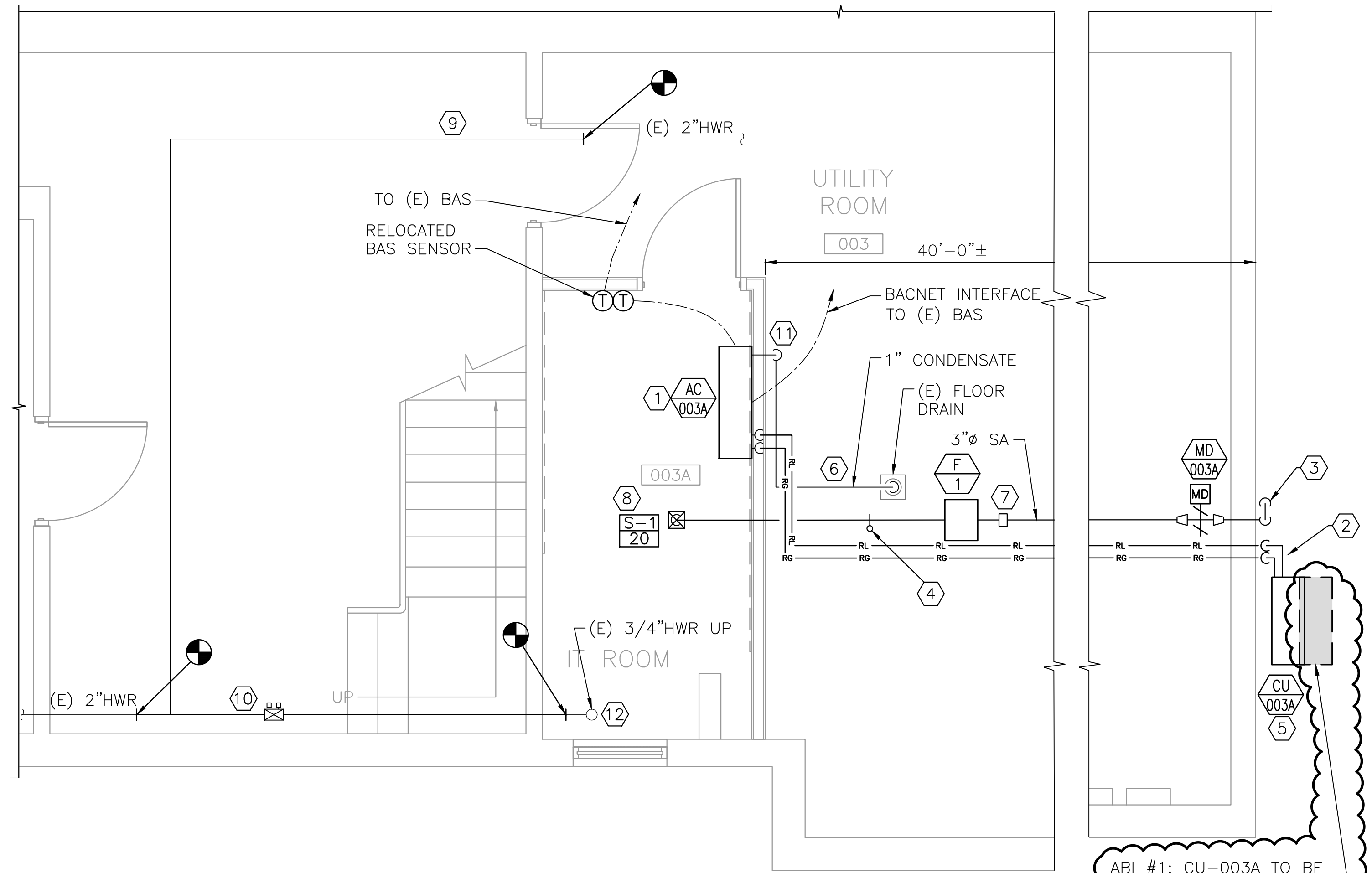
**KEY PLAN**  
 N.T.S.



**BASEMENT DEMOLITION PART PLAN**  
SCALE: 3/8" = 1'-0"

**DEMOLITION KEYED NOTES:**

- 1 REMOVE PORTION OF 2 INCH HWR. PREPARE FOR NEW PIPE INSTALLATION.
- 2 CORE DRILL SLEEVES THROUGH EXTERIOR WALL FOR REFRIGERANT PIPING, CONDUIT AND DUCT. COORDINATE WITH THE PROJECT MANAGER ABOUT THE SEISMIC ALARMS BEFORE CORE DRILLING.
- 3 REMOVE AND STORE BAS TEMPERATURE SENSOR FOR RELOCATION. EXTEND WIRING TO NEW LOCATION.



**BASEMENT PART PLAN**  
SCALE: 3/8" = 1'-0"

**KEYED NOTES:**

- 1 MOUNT AC UNIT AS HIGH ON THE WALL AS POSSIBLE.
- 2 RG/RL PIPING TO CONDENSATE UNIT.
- 3 3" FRESH AIR DUCT FOR IT ROOM SPACE PRESSURIZATION. ROUTE 3" FRESH AIR DUCT FOR IT ROOM AC UNIT UP ALONG EXTERIOR WALL AND TERMINATE WITH 90-DEGREE GOOSENECK WITH 6" INTAKE OPENING AND BIRD SCREEN 10 FEET ABOVE GRADE. SEAL DUCT AT WALL PENETRATION, WATERPROOF. PROVIDE STAINLESS STEEL DUCT OUTDOORS.
- 4 IRIS DAMPER, BALANCED TO 20 CFM.
- 5 MOUNT CONDENSING UNIT ON EXTERIOR WALL WITH BRACKETS. BOTTOM OF UNIT MUST BE AT LEAST 2'-6" ABOVE GRADE. BRACKETS TO BE PAINTED TO MATCH FACADE COLOR. CONSULT WITH OWNER TO DETERMINE COLOR AND PRODUCT.
- 6 GRAVITY DRAIN AC CONDENSATE. ROUTE ALONG FLOOR TO EXISTING DRAIN, WITH ELBOW DOWN THROUGH HOLE IN GRATE; PROVIDE HOLE AS NECESSARY. PROVIDE PIPE RAMP TO PREVENT TRIP HAZARD; FORMED OF 14-GAUGE MIN GALVANIZED STEEL WITH LOW-SLOPED SIDES AND REMOVABLE HEX-HEAD FLOOR ANCHORS.
- 7 FILTER BOX WITH MINIMUM MERV 6 FILTER, MINIMUM 8"x8" FILTER SIZE, WITH LATCHED REMOVABLE ACCESS COVER.
- 8 TURN DUCT DOWNWARD WITH LONG-RADIUS ELBOW AND TRANSITION TO THE GRILLE.
- 9 2 INCH HOT WATER RETURN MAIN ROUTED AROUND THE IT ROOM.
- 10 3/4 INCH HOT WATER RETURN.
- 11 CONDENSATE LINE DOWN TO FUNNEL WITH 1" AIR GAP. PROVIDE 1-1/2"x1" PVC REDUCER COUPLING FOR FUNNEL. INSERT CONDENSATE TUBING TO PROVIDE AN AIR BREAK PER PLUMBING CODE.
- 12 PROVIDE DRIP PAN UNDER PIPING IN ROOM 003A WITH DRAIN PIPE TO FLOOR.

ABI #1: CU-003A TO BE MOUNTED ON SUPPORT FRAME AND SET ON CONCRETE PAD. SEE A-101 FOR PAD LOCATION.



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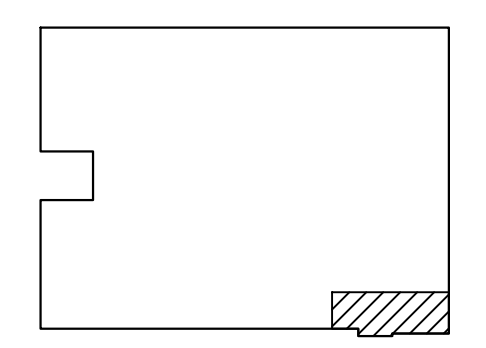
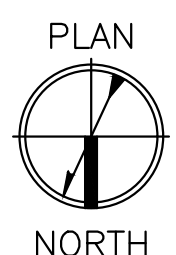
DESIGNED BY: PWB	AS NOTED
DRAWN BY: CEJ	DFE PROJECT NO: 23SC19-310-D4
CHECKED BY: DHB	
DATE: 08/08/2023	

**STATE OF MAINE**  
DEPARTMENT OF DEFENSE, VETERANS AND EMERGENCY MANAGEMENT  
COLBY COMPANY ENGINEERING  
OCE JOB #144.058.006  
47A YORK STREET  
PORTLAND, MAINE  
207.553.7753

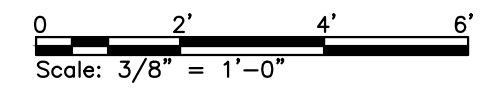
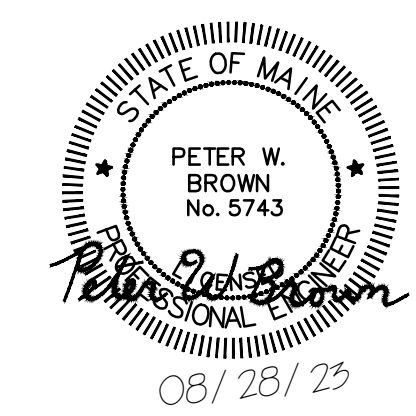
TELECOM ROOM UPGRADES  
BREWER ARMOY  
BREWER, MAINE  
BASEMENT PLANS

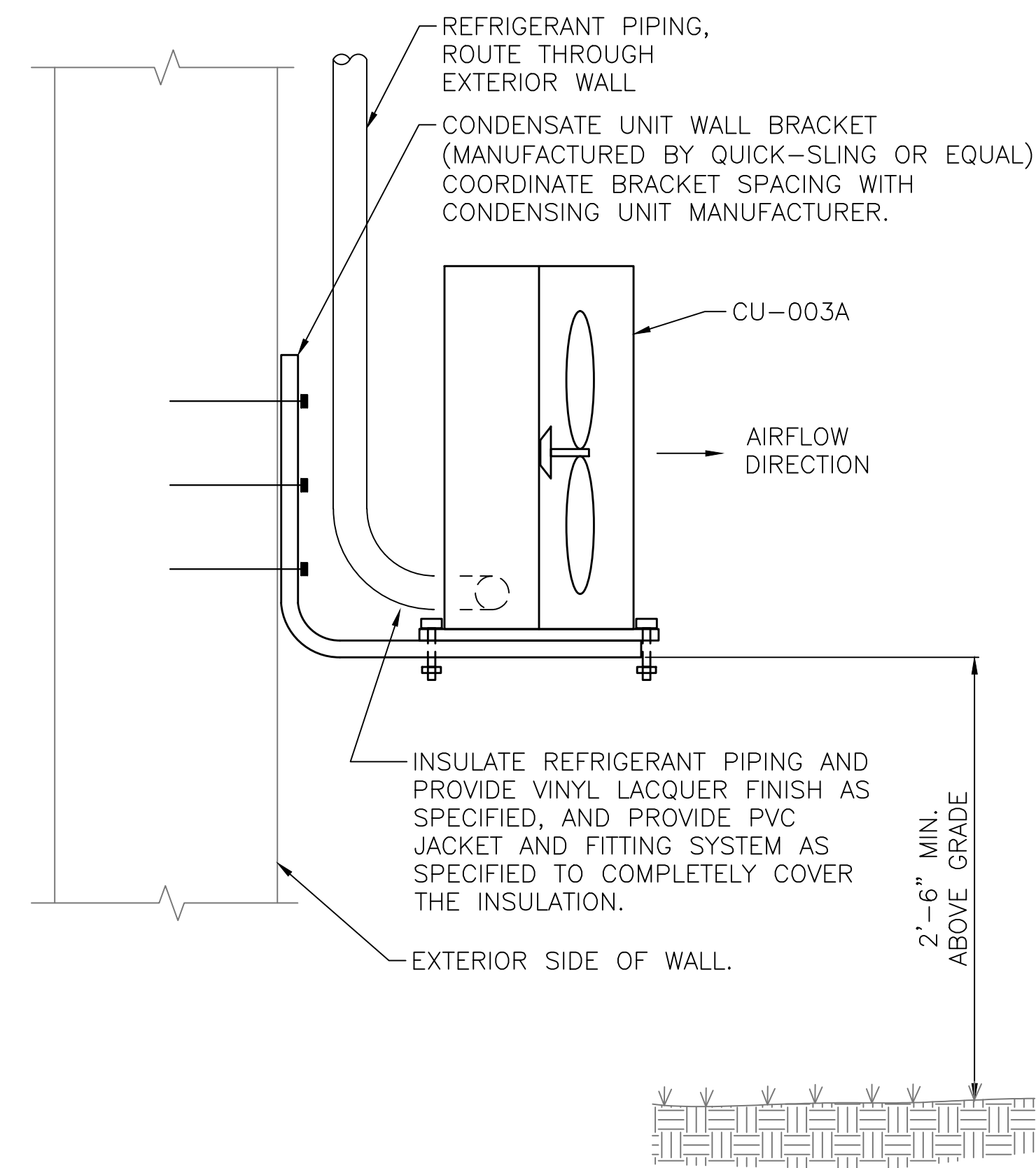
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<input type="checkbox"/> 35% REVIEW
<input type="checkbox"/> 50% REVIEW
<input type="checkbox"/> 95% REVIEW
<input type="checkbox"/> FINAL REVIEW
<input checked="" type="checkbox"/> FOR BIDDING
<input type="checkbox"/> ISSUED FOR CONSTRUCTION
<input type="checkbox"/> RECORD DRAWINGS

SHEET ID:  
**M-101**  
SHEET: 13 of 18

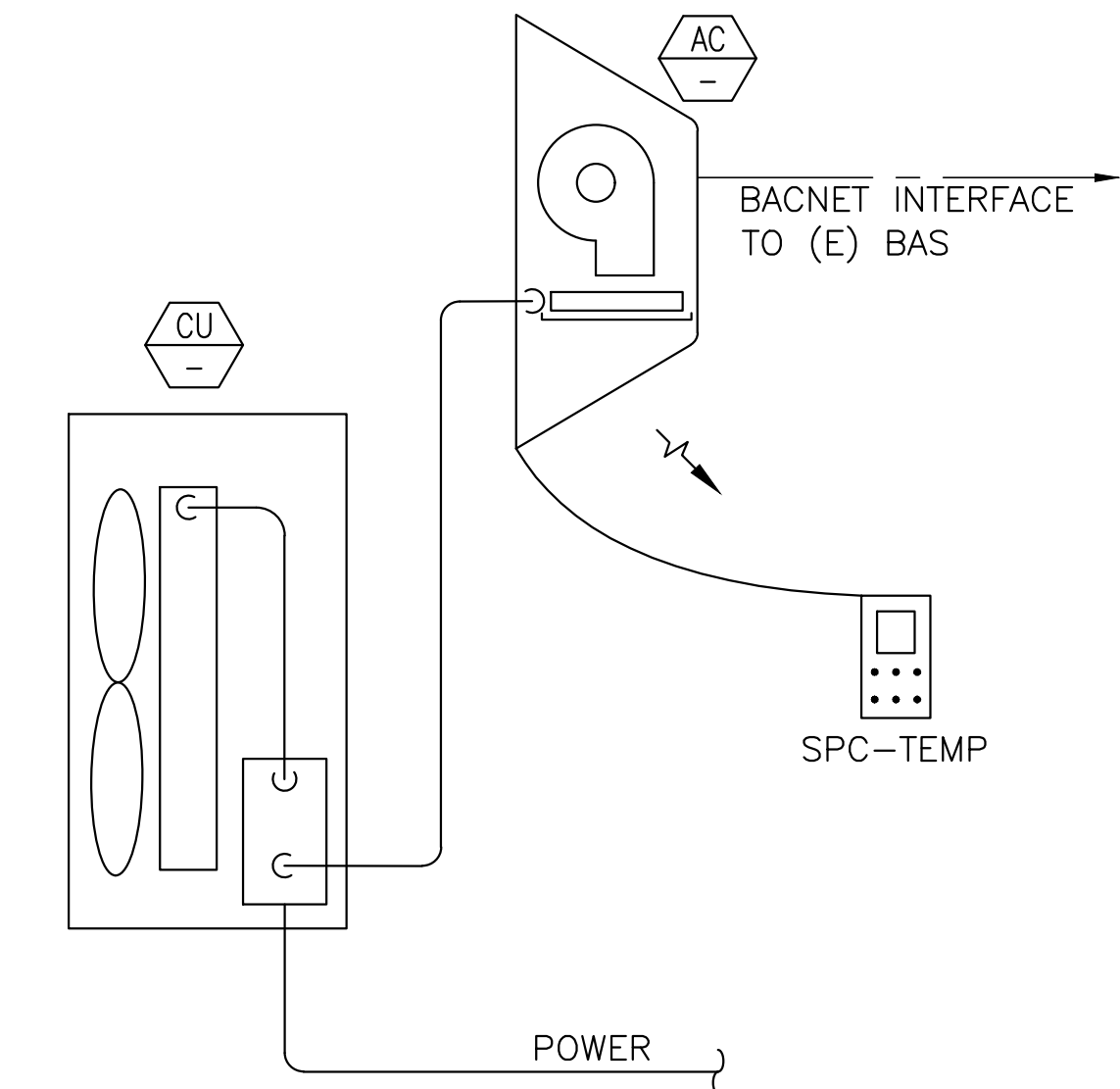


**KEY PLAN**  
N.T.S.



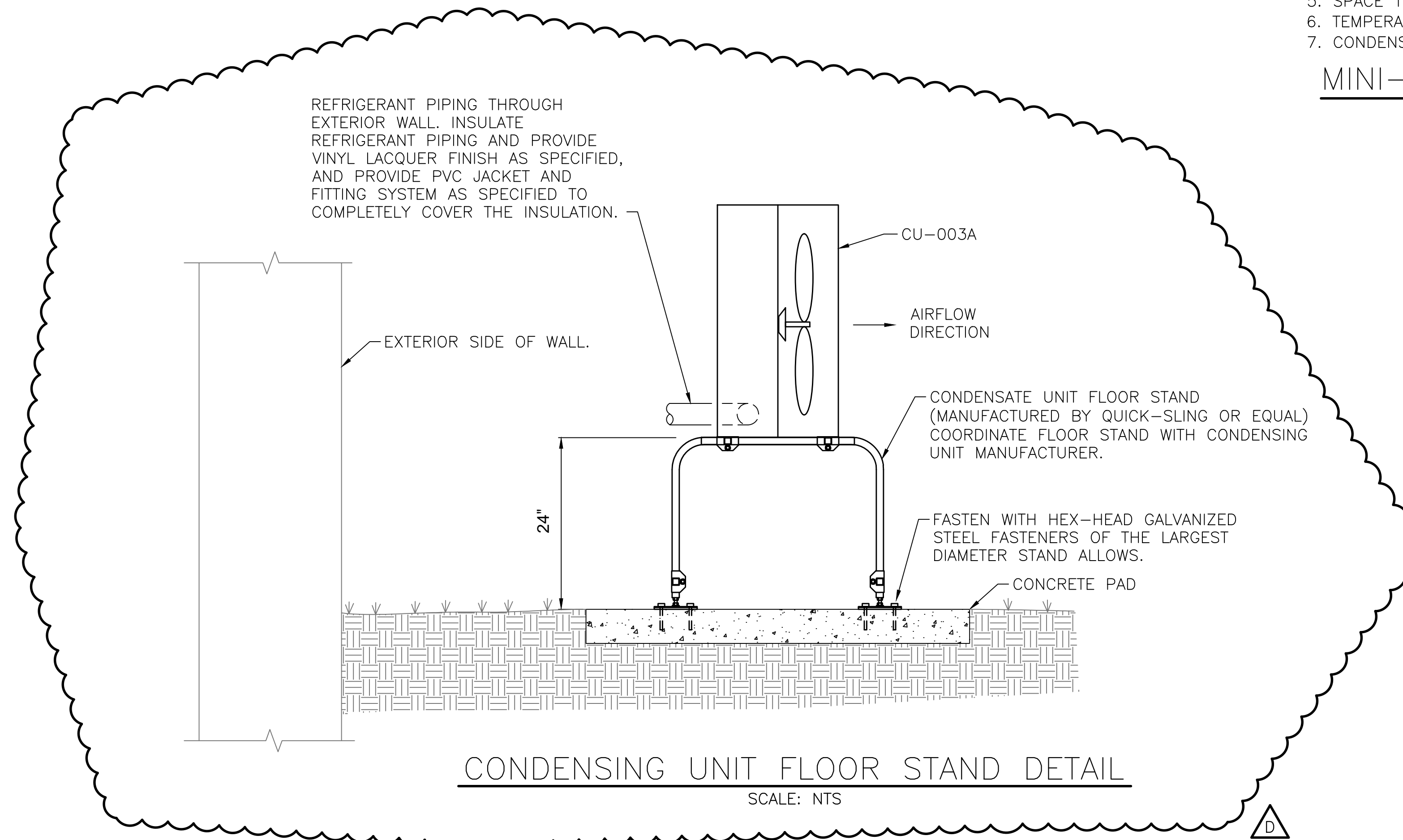


**CONDENSING UNIT WALL BRACKET DETAIL**  
SCALE: NTS

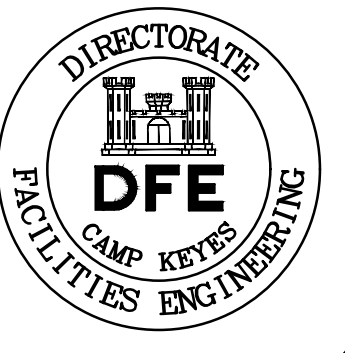


- TYPICAL MINI-SPLIT AIR CONDITIONING UNIT SYSTEM SEQUENCE:**
- MINI-SPLIT AIR CONDITIONING SYSTEM MUST BE PROVIDED WITH FACTORY CONTROLS, SEE DIVISION 23 "SPLIT SYSTEM AIR CONDITIONERS" FOR CONTROLS COMPONENTS FURNISHED WITH EQUIPMENT.
  - THE CONDENSING UNIT AND INDOOR EVAPORATOR UNIT SHALL CYCLE TO MAINTAIN SPACE COOLING TEMPERATURE SETPOINT OF 68 DEG. F (ADJUSTABLE).
  - PROVIDE WIRING, PROGRAMMING, AND GRAPHICS SCREEN TO INTERFACE THE AC UNIT'S BACNET INTERFACE TO THE EXISTING BAS, AND TO DISPLAY THE AC UNIT CONTROLLER'S TEMPERATURE SETPOINT, ROOM TEMPERATURE READING, AND ALARM STATUS.
  - THE RELOCATED DDC SPACE SENSOR MUST MONITOR SPACE TEMPERATURE. IF SPACE TEMPERATURE REACHES 72 DEG. F (ADJUSTABLE) AN ALARM SHALL BE GENERATED AT THE DDC WORKSTATION.
  - CONTROL POINTS WHICH MUST BE PROVIDED AND SHOWN ON THE GRAPHIC PAGE ARE AS FOLLOWS:
    - DDC SYSTEM GRAPHIC.
    - OUTSIDE AIR TEMPERATURE.
    - UNIT STATUS.
    - SPACE TEMPERATURE.
    - SPACE TEMPERATURE SETPOINT.
    - TEMPERATURE ALARM STATUS.
    - CONDENSATE PUMP ALARM AND AC SHUT DOWN.

**MINI-SPLIT SEQUENCE DETAIL**  
SCALE: NTS



**CONDENSING UNIT FLOOR STAND DETAIL**  
SCALE: NTS



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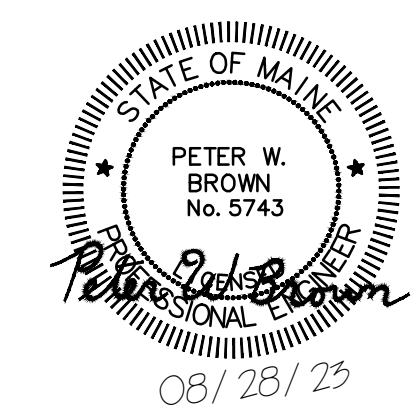
DESIGNED BY: PWB  
 DRAWN BY: CEJ  
 CHECKED BY: DHB  
 DATE: 08/08/2023  
 SCALE: AS NOTED  
 DFE PROJECT NO: 23SC19-310-D4

**STATE OF MAINE**  
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TELECOM ROOM UPGRADES  
 BREWER ARMORY  
 BREWER, MAINE  
 DETAILS

- PLAN PROGRESS**
- DRAFT
  - 35% REVIEW
  - 50% REVIEW
  - 95% REVIEW
  - FINAL REVIEW
  - FOR BIDDING
  - ISSUED FOR CONSTRUCTION
  - RECORD DRAWINGS

SHEET ID:  
**M-501**  
 SHEET: 14 of 18





**PROJECT NAME: BREWER ARMORY IT ROOM REPAIR PROJECT  
23SC19-310-D4****DATE: 17 AUGUST 2023 @ 11 AM****LOCATION OF MEETING: BREWER ARMORY****A. Attendees**

Record names of each individual and their entity.

- Critical that everyone signs the pre bid attendance sheet and that the information is legible.

Owner (DVEM)

- Owner's Representative: Paul R. Lapointe DFE Facilities Project Manager

Consultant (Colby Company Engineering CCE)

- Ms. Darlene Estabrook – Project Manager
- Mr. Jason Beaulieu. P.E.

Unit: 172 Infantry Company (Mountain)

- SFC Kyle Bartman (not available)

General Contractors

Subcontractors

Commissioning agent: N/A

Bureau of General Services (BGS) – BGS PM is Mr. Deane Rykerson, Architect

Other State agencies: N/A

**B. General Information on the Bid Process**

- Note requirement for attendance at this conference for eligibility to bid.
- Bids are due NLT 2:00 pm, 31 August 2023. Bids must be hand carried to DFE, 194 Winthrop Street, Augusta, Maine
- Deadline for questions is 3 pm, Thursday, August 24, 2023. All questions must be in writing.
- Note bid security is required for bid submission. Payment and performance bonds are required for contract.
- Address means of access to bidding documents, including Addenda: See Notice to Contractors, bidding documents.
- Note bidder's responsibility to review all project requirements.
- Technical questions go to the AE.
- Bidding questions are directed to the contract grant specialists.
- DFE PM is to be copied on all correspondence.
- See POC list attached.

**C. Specific Information on the Project**

- Bidders to note all insurance requirements, including Builder's Risk insurance (N/A)
  - Review the overall scope of work. Renovate existing IT room to UFC standards.
  - Note parking requirements-TBD.
  - Note lay-down areas, location for trailers-TBD.
  - Address access to the facility, if needed – Unit personnel
  - Define work hour restrictions – M-F 7am-4pm unless a compressed manning schedule is in effect.
  - No work to be performed on weekends, state/federal holidays.
  - Note the project schedule: May start upon receipt of a signed contract. Substantial completion is 31 January 2024; Final Completion is 15 February 2024. Contract expiration date is 31 March 2023.
  - Any utility interruptions require a 72 hours' notice and permission from the Owner.
  - State the roles of each entity:
    - DFE PM is responsible for everything that happens or fails to happen on the project. Manages project funding and contract modifications.
    - AE:
      - Reviews all submittals, substitutions and RFI's.
      - Issues clarifications regarding project contract specifications and drawings.
      - Creates as built drawings and ensures that project closeout requirements are met by the contractor.
    - Unit:
      - Provide reasonable access to the facility.
      - Informs DFE PM of any issues.
    - GC:
      - Responsible for the actions of all contractor and subcontractor personnel.
      - Provide information for background checks.
      - Inform Owner and AE of any discrepancies between the contract documents and existing conditions.
      - Ensures project schedule is maintained. Informs Owner and AE of any changes to the schedule.
  - Tour the site and facility; note other pre-bid possibilities for access if any.
  - Conclude the tour.
- Record questions and answers from this conference in the next Addendum

POINTS OF CONTACT: Brewer Armory IT Room Repair Project

PROJECT NUMBER: 23SR23-310-D4

1. ALL TECHNICAL QUESTIONS TO BE DIRECTED TO THE AE.
2. ALL BIDDING QUESTIONS TO BE DIRECTED TO THE CONTRACT GRANT SPECIALIST
3. ALL OTHER QUESTIONS TO BE DIRECTED TO THE DFE PROJECT MANAGER.
4. DFE PROJECT MANAGER IS TO BE COPIED ON ALL CORRESPONDENCE.
5. ALL QUESTIONS WILL BE IN WRITING

DFE PROJECT MANAGER

PAUL R. LAPOINTE, FACILITIES PROJECT MANAGER  
PHONE (207) 430-6329  
EMAIL: [PAUL.R.LAPOINTE.NFG@ARMY.MIL](mailto:PAUL.R.LAPOINTE.NFG@ARMY.MIL)

AE FIRM:

COLBY COMPANY ENGINEERING (CCE)  
DARLENE ESTABROOK: PROJECT MANAGER  
EMAIL [darlene@colbycoengineering.com](mailto:darlene@colbycoengineering.com)

DFE CONTRACT GRANT SPECIALISTS

SARA THOMPSON  
PHONE: (207) 430-5223  
EMAIL: [SARA.THOMPSON@MAINE.GOV](mailto:SARA.THOMPSON@MAINE.GOV)

WENDY DAY  
PHONE: (207) 430-5694  
EMAIL: [WENDY.L.DAY@MAINE.GOV](mailto:WENDY.L.DAY@MAINE.GOV)

PLEASE DO NOT SEND TECHNICAL PROJECT QUESTIONS TO THE CONTRACT GRANT SPECIALISTS

Pre Bid Attendance sheet  
 Brewer Armory IT Room Repair Project  
 Fill out Completely and Please Print Clearly

Project Number 23SC19-310-D4 Bid Number 23-029

August 17, 2023 @ 11 am

*Incomplete or illegible information may exclude you from bidding*

Company name Mailing address	Attendee Name	Phone #	e-mail
Ganneston Construction 5035 N Belfast Ave Augusta	Mike Mulcahy	717-7444	Mulcahy@gannestonconstruction.com
Greg Findham 91 Freedom Park Herriman, Me. 04401	Greg Findham	852-9550	gfindham@smcinc.net
Rusty Travers P.O. Box 88 Skowhegan Me 04978	Rusty Travers	399-4447 474-5829	Rusty@TraversElectrical.com ScetheTraversElectrical.com
Spencer Hummel P.O. Box 911 Nicholsen & Oby Brewer, ME	Spencer Hummel	207 399 6581	shummell@nickoday.com
JA Cox w/MTAPP		816 0920	jcoxs@nrmnc.gannestonconstruction.com