

MASONRY REPAIRS AND ASSOCIATED WORK AT THE CENTER BUILDING

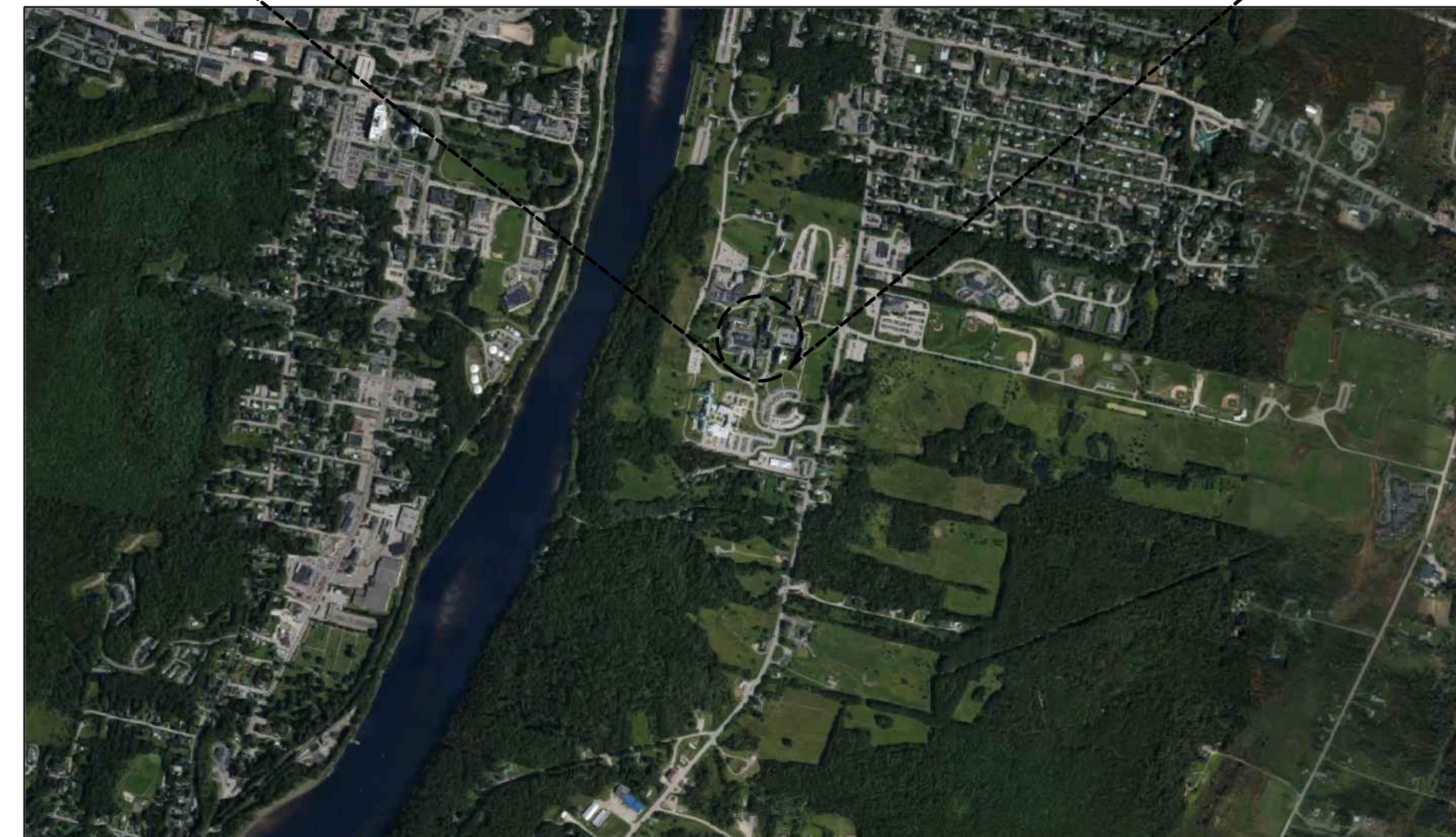
67 INDEPENDENCE DRIVE
AUGUSTA, MAINE 04330

PREPARED FOR
STATE OF MAINE BUREAU OF GENERAL SERVICES
111 SEWALL STREET, 77 STATE HOUSE STATION
AUGUSTA, MAINE 04333

DRAWING NO	TITLE
G100	COVER SHEET
G101	SITE PLAN, GENERAL NOTES, AND ELEVATION NOTES
A101	OVERALL ROOF AREA PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A203	ELEVATIONS
A701	MASONRY REPAIR DETAILS
A702	MASONRY REPAIR DETAILS



SITE MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE



Gale Associates, Inc.
Engineers and Planners
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P 207.536.1092
www.gainc.com
Boston Baltimore Orlando Hartford
Manchester Portland

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PROJECT
MASONRY REPAIRS AND ASSOCIATED WORK
AT THE CENTER BUILDING
67 INDEPENDENCE DRIVE
AUGUSTA, ME 04330

OWNER
STATE OF MAINE BUREAU OF GENERAL SERVICES
111 SEWALL STREET, 77 STATE HOUSE STATION
AUGUSTA, ME 04333

NO.	DATE	DESCRIPTION	BY
PROJECT NO.		839100	
CADD FILE		839100 G100	
DESIGNED BY		ACP	
DRAWN BY		MRS	
CHECKED BY		ACP	
DATE		2/29/2024	
DRAWING SCALE		NOT TO SCALE	

GRAPHIC SCALE

SHEET TITLE

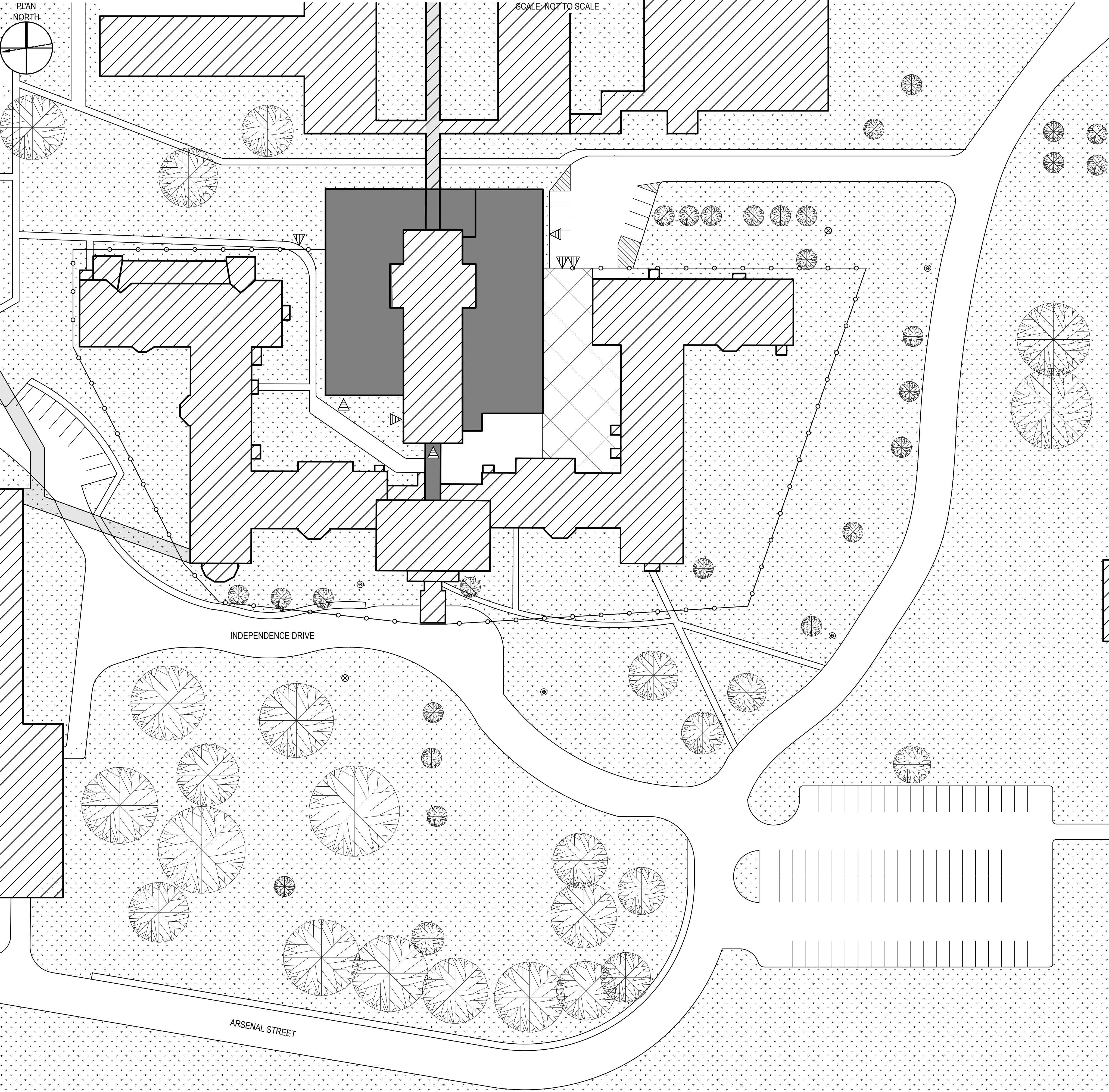
COVER SHEET

DRAWING NO.

G100

SITE PLAN

SCALE: NOT TO SCALE



GENERAL PROJECT NOTES

1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLANS AND ELEVATIONS HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
3. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
4. ALL ITEMS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
5. THE BUILDING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS. REMOVE ONLY AS MUCH EXISTING MATERIAL AS CAN BE REPLACED ON THE SAME DAY. PHASED CONSTRUCTION IS NOT PERMITTED.
6. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS.
7. REFER TO CONTRACT DOCUMENTS FOR SCHEDULE LIMITATIONS OF EXTERIOR WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS LISTED AND/OR INDICATED ON THE DRAWINGS OR NOTED IN THE WRITTEN SPECIFICATIONS - TYPICAL.
9. THE BUILDING SHALL BE MAINTAINED IN A DUST FREE CONDITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE INTERIOR OF THE BUILDING REMAINS DUST FREE. NO DEMOLITION CAN PROCEED UNTIL AN APPROVED TEMPORARY PROTECTION SYSTEM IS IN PLACE.
10. DUE TO THE CONGESTION AROUND THE PROJECT SITE THE CONTRACTOR MUST PROVIDE DETAILED TRAFFIC AND SCAFFOLDING PLANS TO THE OWNER FOR REVIEW. THE CONTRACTOR WILL ONLY BE ALLOWED THE AREAS SHOWN FOR SETUP AND STORAGE OF MATERIALS.
11. JOB SITE SAFETY IS THE CONTRACTOR'S RESPONSIBILITY. GALE REPRESENTATIVES, INCLUDING SUBCONSULTANTS RETAINED BY GALE, MAY VISIT THE JOB SITE FROM TIME TO TIME. THESE VISITS ARE FOR CLARIFICATIONS OF SPECIFIC DESIGN RELATED ISSUES ONLY AND ARE NOT FOR THE PURPOSES OF JOB SITE SAFETY. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLY WITH ALL SITE SAFETY APPLICABLE REQUIREMENTS.
12. COLOR HATCH PATTERNS ARE USED TO SHOW SCOPES OF WORK. VERIFY COLORED HATCH PATTERNS IF DRAWINGS ARE REPRODUCED IN MONOTONE.

SITE NOTES

1. THE CONTRACTOR SHALL BASE STAGING REQUIREMENTS ON THE INFORMATION SHOWN. THE LOCATIONS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE.
2. CONTRACTOR SHALL PROVIDE ALL OVERHEAD PROTECTION AT BUILDING ENTRANCE WAYS IN ACCORDANCE WITH OSHA, LOCAL, STATE AND FEDERAL GUIDELINES.
3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREA OR FROM WALKING UNDER WORK LOCATIONS.
4. ALL OVERHEAD PROTECTION SHALL EXTEND A MINIMUM OF 8'-0" BEYOND THE ADJACENT BUILDINGS.
5. CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AT PEDESTRIAN WALKWAYS SHOULD THE REPAIRS ABOVE SAID WALKWAYS BE REMOVED AND REPLACED IN THE SAME DAY. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MONITOR AT GROUND LEVEL TO WARN PEDESTRIAN TRAFFIC OF ABOVE ROOF LINE WORK.
6. CONTRACTOR TO PROHIBIT EQUIPMENT/VEHICLE TRAFFIC OVER UNDERGROUND TUNNELS WITHOUT PRIOR APPROVAL BY THE OWNER.
7. THE CONTRACTOR SHALL RELOCATE THE EXISTING FENCE AS REQUIRED TO PERFORM THE WORK.
8. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND SET-UP AND STORAGE LOCATIONS. SET-UP AND LAY DOWN AREAS SHOULD BE SUFFICIENT FOR ALL SUB-TRADES TO HAVE ADEQUATE AREA TO STORE MATERIALS AND EQUIPMENT. SET-UP AND LAY DOWN AREAS MUST BE WITHIN AREAS DESIGNATED BY THE OWNER.

ELEVATION NOTES

1. REFER TO GENERAL NOTES ON SHEET G101 FOR ADDITIONAL INFORMATION
2. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
3. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
4. THE DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK.

SITE PLAN LEGEND

BUILDING PERIMETER	ROOF AREA NOT IN CONTRACT (N.I.C.)
WALKWAY/ROADWAY	BUILDING IN CONTRACT
PARKING MARKING	APPROXIMATE LOCATION OF UNDERGROUND TUNNEL
FENCE	BUILDING ENTRANCE
GRASS AREA	GATE ENTRANCE
TREE	VEHICLE GATE ENTRANCE
LIGHT POST	PROPOSED CONTRACTOR LAYDOWN/STORAGE AREA. FINAL LOCATION TO BE COORDINATED WITH THE OWNER
FIRE HYDRANT	



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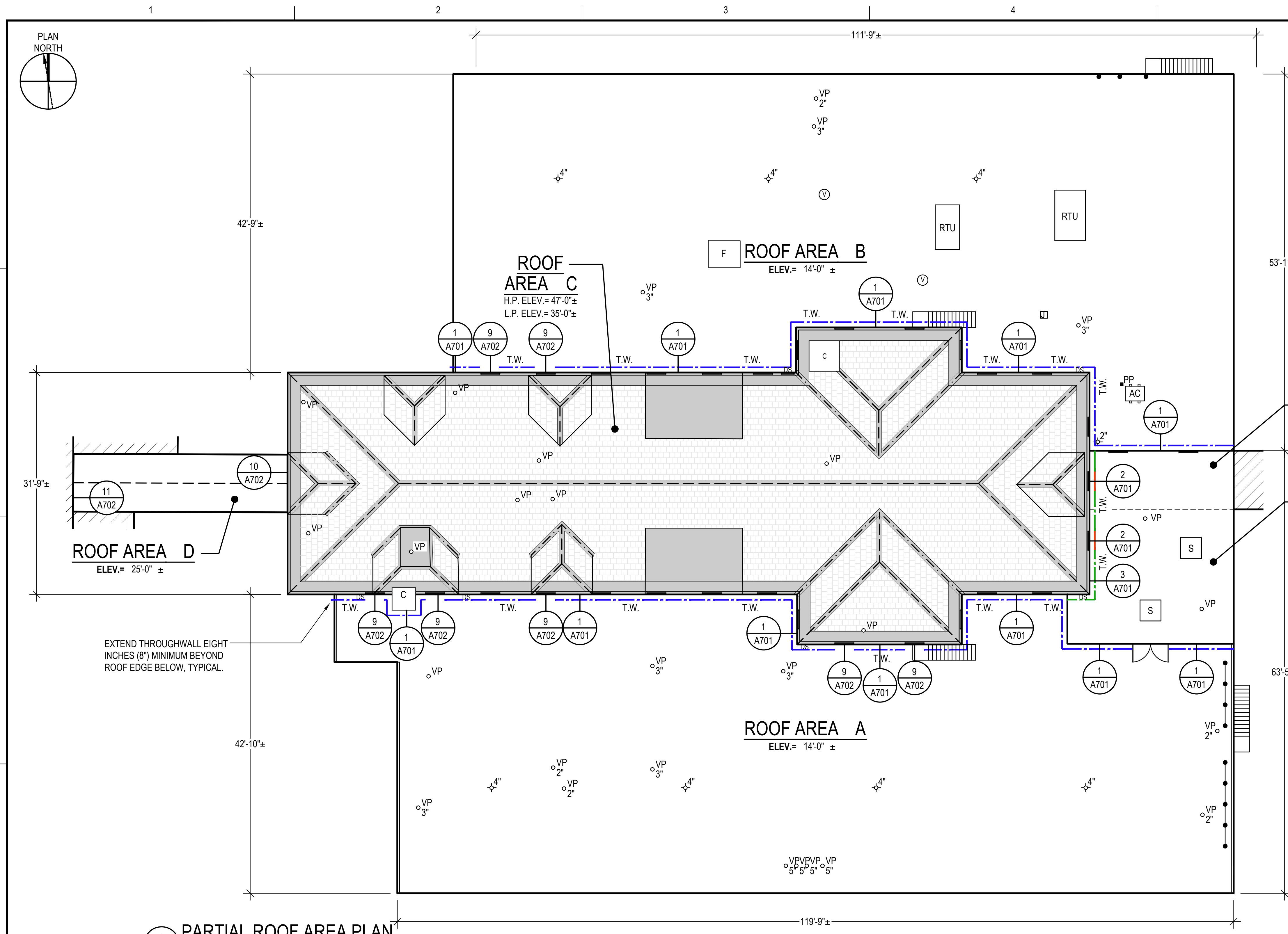
OWNER
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 AUGUSTA, ME 04333

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839100		
CADD FILE	839100 G101		
DESIGNED BY	ACP		
DRAWN BY	WRB/ERS		
CHECKED BY	ACP		
DATE	2/29/2024		
DRAWING SCALE	NOT TO SCALE		
GRAPHIC SCALE			

SHEET TITLE

**SITE PLAN,
GENERAL NOTES
AND
ELEVATION NOTES**

DRAWING NO.
G101



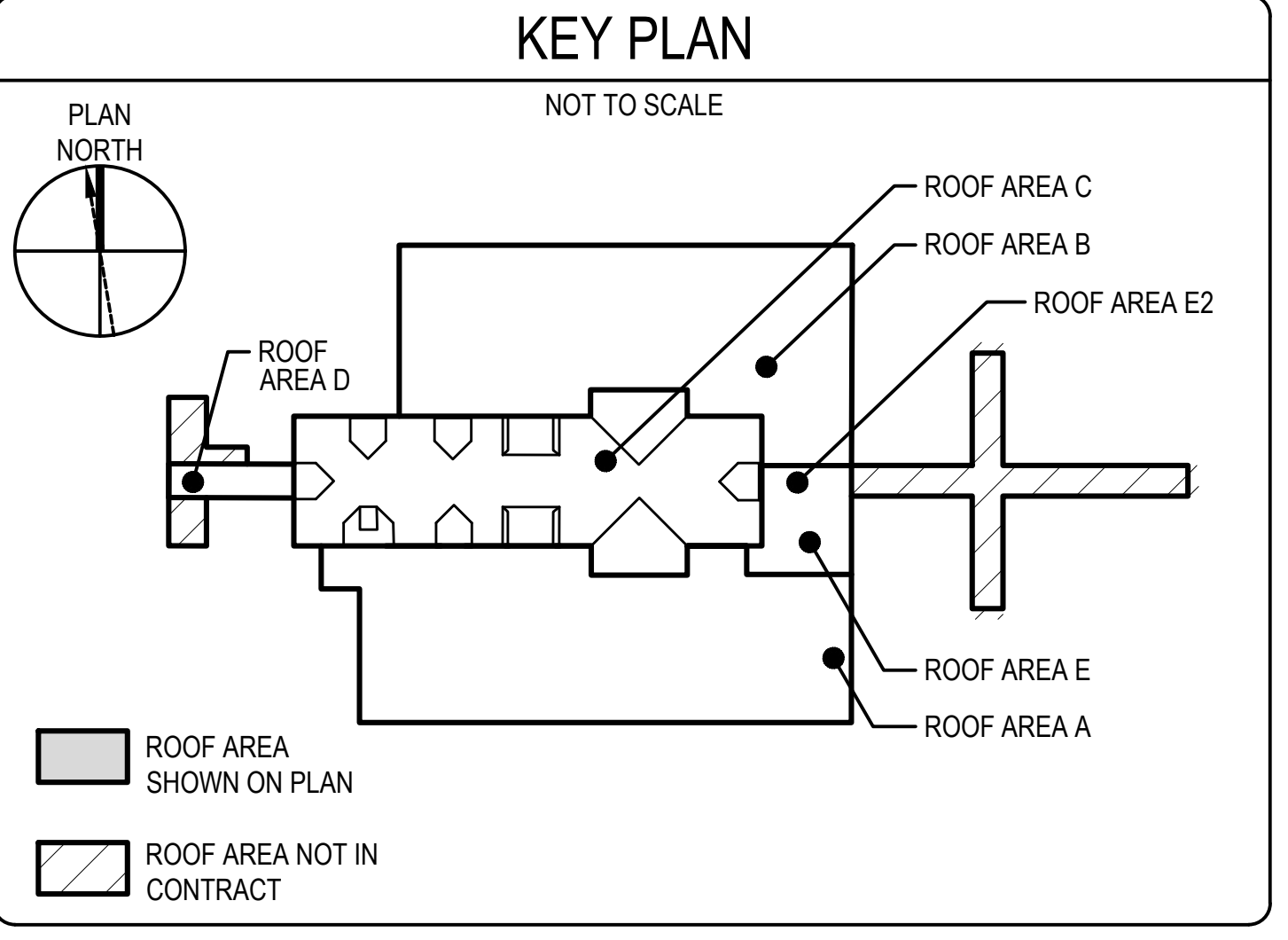
1 PARTIAL ROOF AREA PLAN
 A101 SCALE: 3/32"=1'-0"

EXTEND THROUGHWALL EIGHT INCHES (8") MINIMUM BEYOND ROOF EDGE BELOW, TYPICAL.

ROOF AREA E2
 ELEV.= 25'-0" ±

ROOF AREA E1
 ELEV.= 25'-0" ±

ROOF LEGEND	
ALL ITEMS ARE EXISTING UNLESS NOTED OTHERWISE.	
	ROOF EDGE
	PARAPET
	DORMER
	COPPER OPEN VALLEY
	COPPER RIDGE/HIP CAP
	COPPER ICE BELT
	COPPER GUTTER AND DOWNSPOUT
	CONDUIT
	T.W. APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 1/A701
	T.W. APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 2/A701
	T.W. APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 3/A701
	ROOF DRAIN; # INDICATES DIAMETER
	VENT PIPE; # INDICATES DIAMETER
	APPROXIMATE WINDOW LOCATION
	PP POURABLE SEALER POCKET
	GUARDRAIL AND SUPPORTS
	WINDOW
	FIRE ESCAPE STAIRWAY
	STEEP SLOPE SLATE SHINGLE ROOF
	AIR CONDENSING UNIT
	FAN
	J VENT
	SKYLIGHT
	VENT
	CHIMNEY
	ROOF TOP MECHANICAL UNIT
	ROOF ELEVATION RELATIVE TO GRADE WHICH IS ASSUMED TO BE ZERO FEET
	H.P./L.P. HIGH POINT/ LOW POINT
	ROOF AREA NOT IN CONTRACT



- NOTES:**
1. PROVIDE TEMPORARY PROTECTION OF EXISTING ROOF SYSTEMS. ANY DAMAGES AS A RESULT OF THE MASONRY RENOVATIONS WILL BE REMOVED AND REPLACED AT NO COST TO THE OWNER.
 2. PROVIDE SILT DEBRIS NETTING IN THE ROOF DRAINS PRIOR TO PERFORMING MASONRY WORK. SILT NETTING SHALL BE VACUUMED CLEAN DAILY, AND SHALL BE REVIEWED BEFORE AND AFTER EACH PRECIPITATION EVENT.
 3. REFER TO SHEET G101 FOR GENERAL PROJECT NOTES.

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PROJECT

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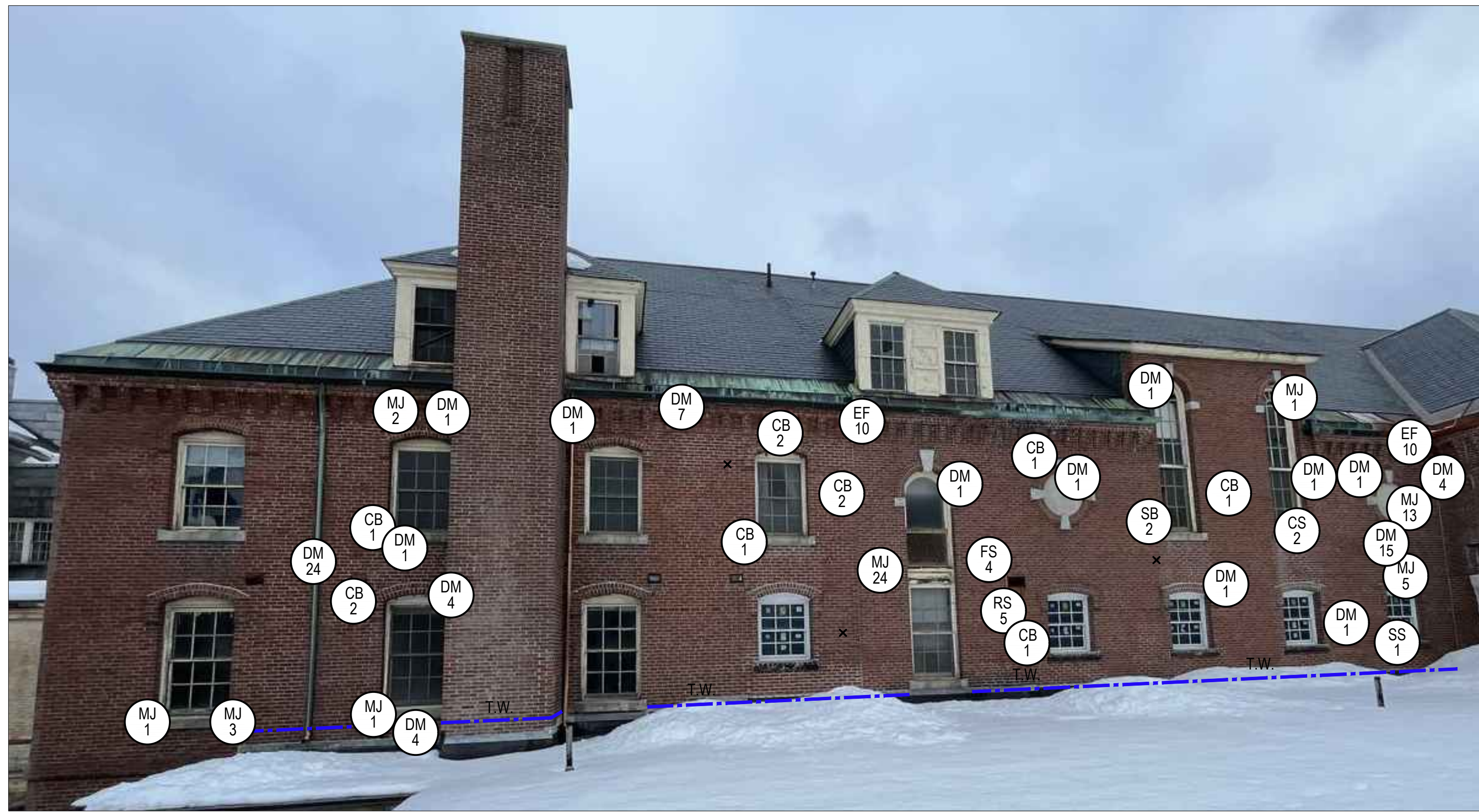
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839100		
CADD FILE	839100 A100s		
DESIGNED BY	ACP		
DRAWN BY	MRBERS		
CHECKED BY	ACP		
DATE	2/29/2024		
DRAWING SCALE	3/32"=1'-0"		

GRAPHIC SCALE
 0 4' 8' 16'

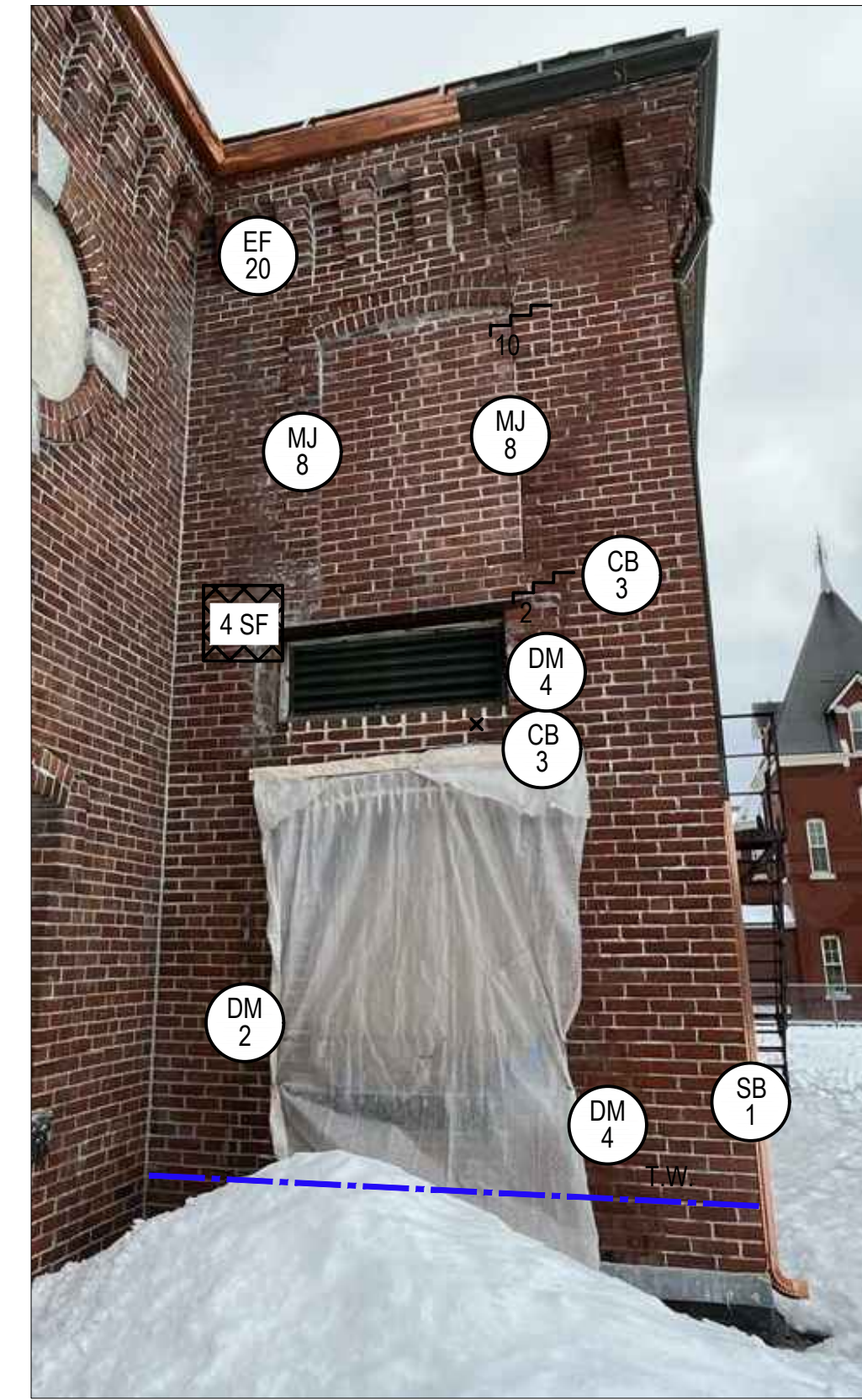
SHEET TITLE

OVERALL ROOF AREA PLAN

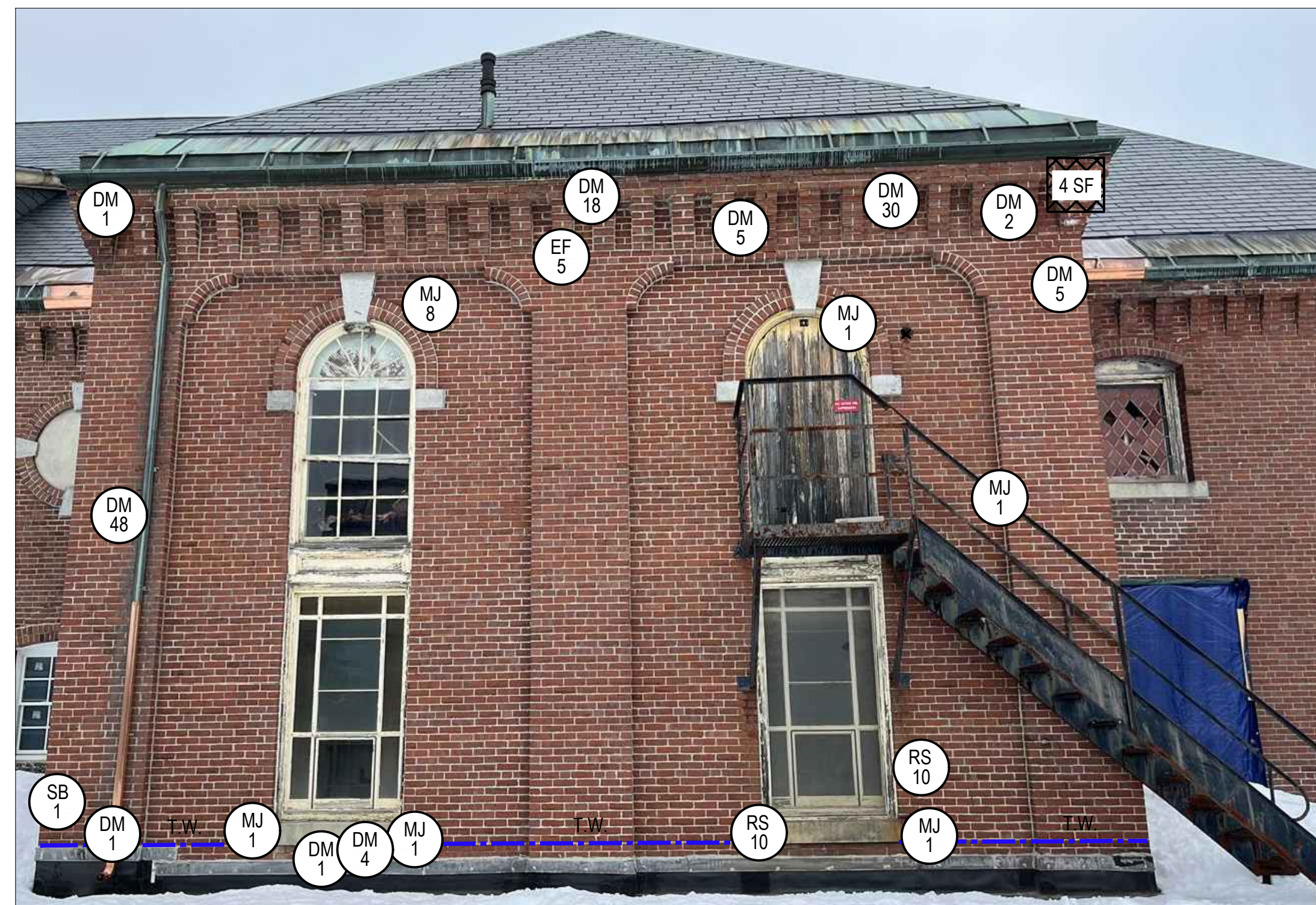
DRAWING NO.
 A101



1 PARTIAL EAST ELEVATION
A201 SCALE: NOT TO SCALE



2 PARTIAL SOUTH ELEVATION
A201 SCALE: NOT TO SCALE



3 PARTIAL EAST ELEVATION
A201 SCALE: NOT TO SCALE



4 PARTIAL NORTH ELEVATION
A201 SCALE: NOT TO SCALE

ELEVATION NOTES

1. REFER TO GENERAL AND ELEVATION NOTES ON SHEET G101 FOR ADDITIONAL INFORMATION

REPAIR LEGEND

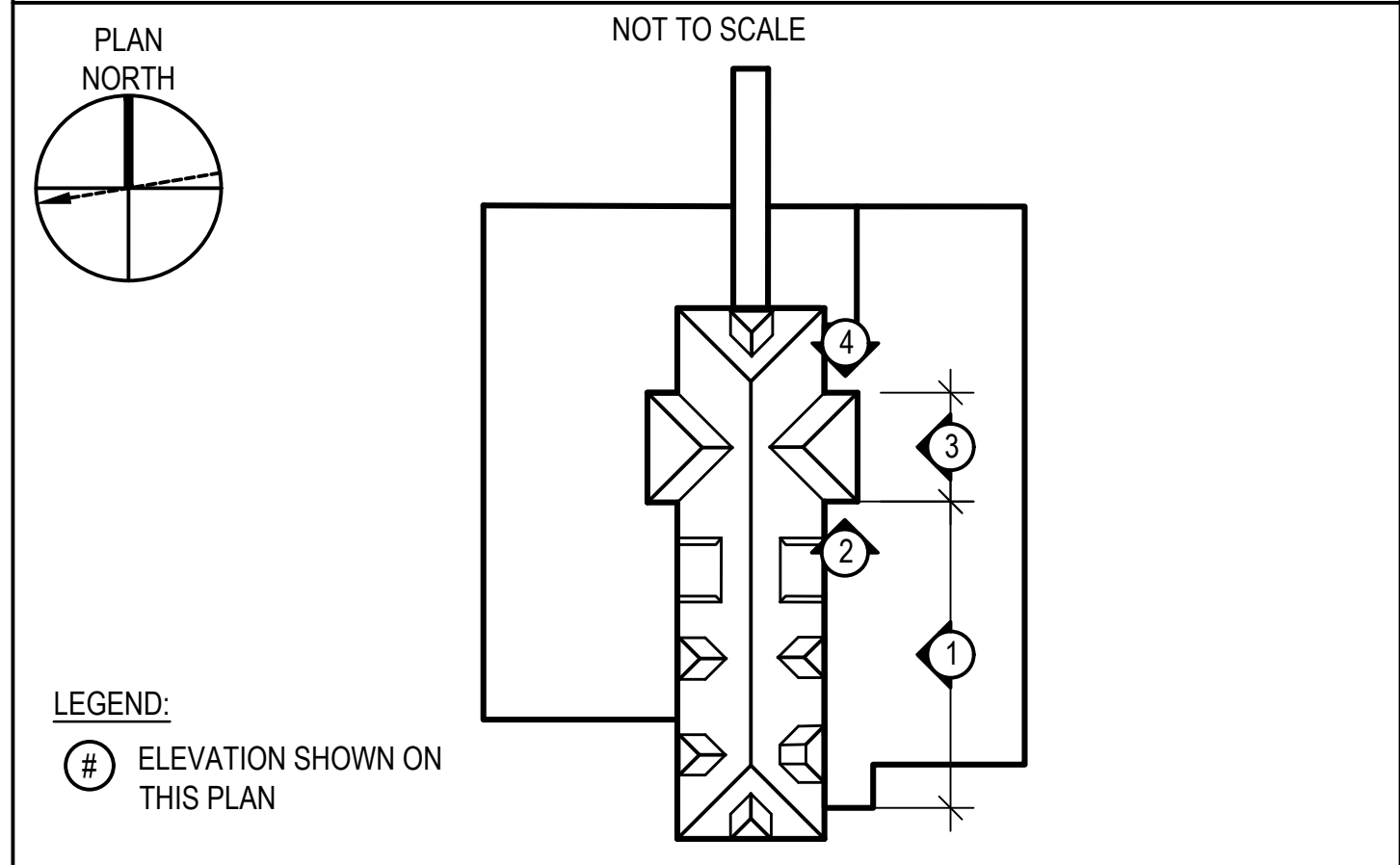
AS #	ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET	SB #	SPALLED BRICK TO BE REMOVED AND REPLACED; # INDICATES UNITS
AG #	ALGAE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET	FS #	FAILED SEALANT TO BE REMOVED AND REPLACED; # INDICATES LINEAR FEET
CB #	CRACKED BRICK TO BE REMOVED AND REPLACED; # INDICATES UNITS	EF #	EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET
DB #	DISPLACED BRICK TO BE REMOVED AND REPLACED; # INDICATES UNITS	RS #	RUST STAINING TO BE CLEANED; # INDICATES SQUARE FEET
DM #	DETERIORATED MORTAR JOINT TO BE CUT AND REPOINTED, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION; # INDICATES SQUARE FEET	CS #	CRACKED STONE TO BE REPAIRED, REFER TO DETAIL 7/A702 FOR ADDITIONAL INFORMATION; # INDICATES LINEAR FEET
CS #	CRACKED STONE TO BE REPAIRED, REFER TO DETAIL 7/A702 FOR ADDITIONAL INFORMATION; # INDICATES LINEAR FEET	SS #	SPALLED STONE TO BE REPAIRED; # INDICATES SQUARE FEET
SS #	SPALLED STONE TO BE REPAIRED; # INDICATES SQUARE FEET	MJ #	DETERIORATED MORTAR JOINT TO BE REPOINTED; # INDICATES LINEAR FEET, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION
MJ #	DETERIORATED MORTAR JOINT TO BE REPOINTED; # INDICATES LINEAR FEET, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION	X	EXISTING ANCHOR / METAL STUB TO BE REMOVED AND INFILLED
X	EXISTING ANCHOR / METAL STUB TO BE REMOVED AND INFILLED	#	STEP CRACK TO BE CUT AND REPOINTED, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION; # INDICATES LINEAR FEET
#	STEP CRACK TO BE CUT AND REPOINTED, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION; # INDICATES LINEAR FEET	T.W. (Blue dashed line)	APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 1/A701
		T.W. (Red dashed line)	APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 2/A701
		T.W. (Green dashed line)	APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 3/A701

NOT ALL DEFECTS INCLUDED IN THE LEGEND MAY BE INCLUDED ON THIS SHEET

REPAIR NOTES

1. THE DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK. AREAS NOT NOTED ON THESE DRAWINGS EXHIBITING SIMILAR DEFECTS AS THOSE SHOWN SHALL BE REPAIRED IN A SIMILAR MANNER.
2. IN THE EVENT THAT ADDITIONAL DEFECTS ARE ENCOUNTERED TO THOSE INCLUDED IN THE CONTRACT DOCUMENTS, CONTRACTOR IS TO REPORT THE ADDITIONAL QUANTITIES TO THE OWNER AND ENGINEER PRIOR TO PERFORMING REPAIRS. COORDINATE WITH SPECIFICATION SECTION 01 22 00 - UNIT PRICES.
3. CONTRACTOR TO CLEAN EFFLORESCENCE, ALGAE GROWTH, VEGETATIVE GROWTH, ATMOSPHERIC STAINING, AND RUST STAINING FROM 100% OF BRICK MASONRY ELEVATIONS.
4. REMOVE, STORE, AND REINSTALL DOWNSPOUTS AS REQUIRED TO PERFORM THE WORK.

KEY PLAN



GALE
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PROJECT NO.		839100	
CADD FILE		839100 A200s	
DESIGNED BY		ACP	
DRAWN BY		MRS	
CHECKED BY		ACP	
DATE		2/29/2024	
DRAWING SCALE		NOT TO SCALE	

SHEET TITLE
ELEVATIONS

DRAWING NO.
A201



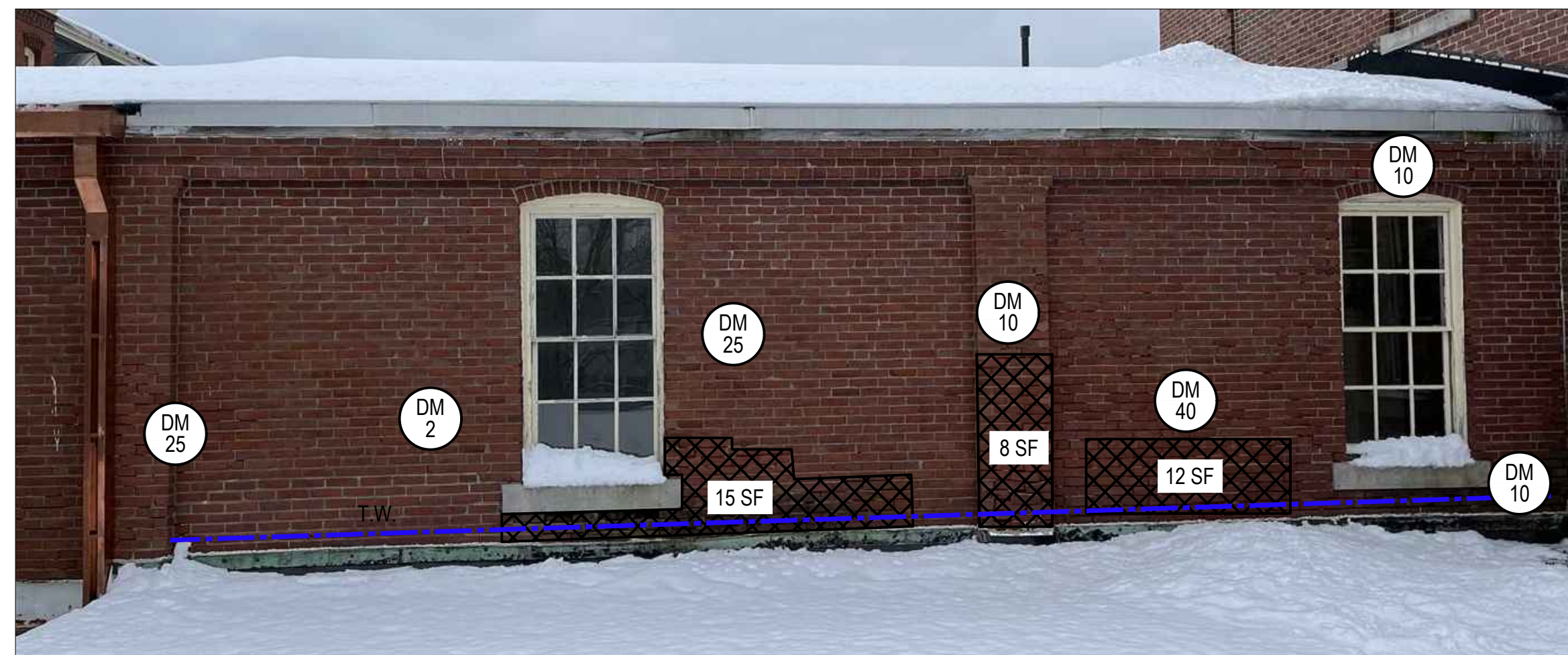
1 PARTIAL EAST ELEVATION
 A202 SCALE: NOT TO SCALE



2 PARTIAL SOUTH ELEVATION
 A202 SCALE: NOT TO SCALE



3 PARTIAL EAST ELEVATION
 A202 SCALE: NOT TO SCALE



4 PARTIAL WEST ELEVATION
 A202 SCALE: NOT TO SCALE

ELEVATION NOTES

- REFER TO GENERAL AND ELEVATION NOTES ON SHEET G101 FOR ADDITIONAL INFORMATION

REPAIR LEGEND

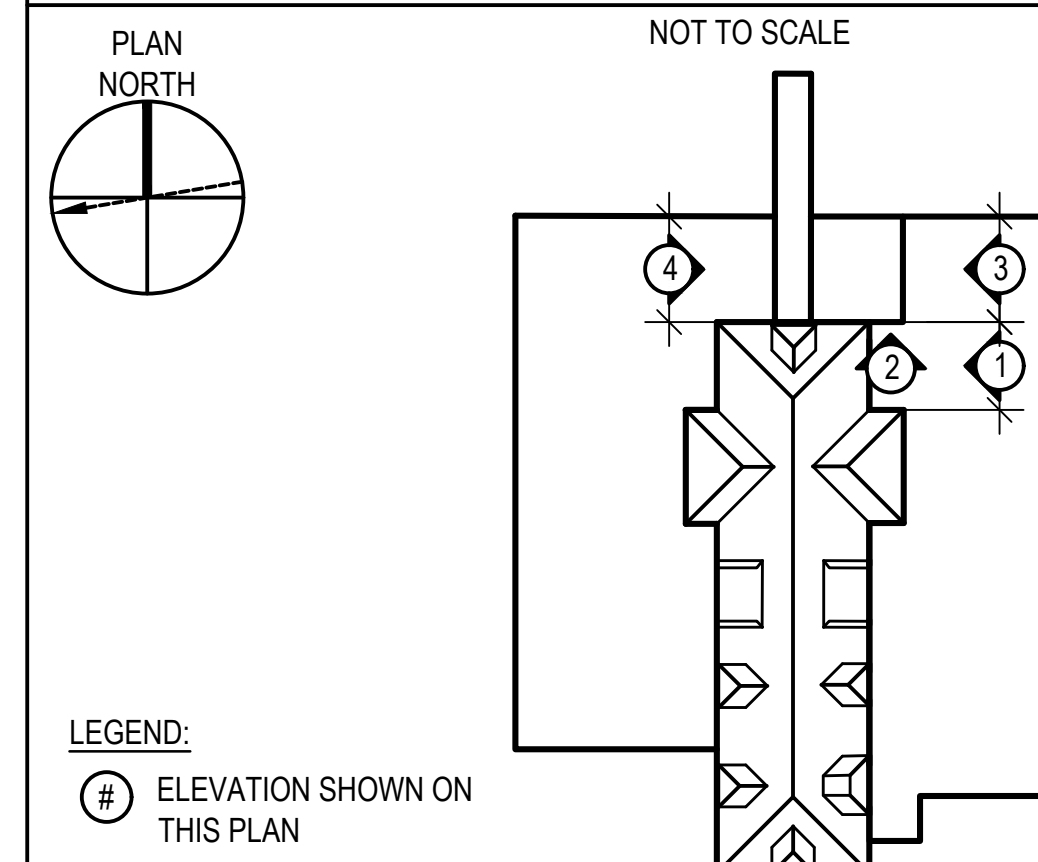
<p>AS # ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>AG # ALGAE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>CB # CRACKED BRICK TO BE REMOVED AND REPLACED; # INDICATES UNITS</p> <p>DB # DISPLACED BRICK TO BE REMOVED AND REPLACED; # INDICATES UNITS</p> <p>DM # DETERIORATED MORTAR JOINT TO BE CUT AND REPOINTED, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION; # INDICATES SQUARE FEET</p> <p>CS # CRACKED STONE TO BE REPAIRED, REFER TO DETAIL 7/A702 FOR ADDITIONAL INFORMATION; # INDICATES LINEAR FEET</p> <p>SS # SPALLED STONE TO BE REPAIRED; # INDICATES SQUARE FEET</p> <p>MJ # DETERIORATED MORTAR JOINT TO BE REPOINTED; # INDICATES LINEAR FEET, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION</p> <p>x EXISTING ANCHOR / METAL STUB TO BE REMOVED AND INFILLED</p> <p># STEP CRACK TO BE CUT AND REPOINTED, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION; # INDICATES LINEAR FEET</p>	<p>SB # SPALLED BRICK TO BE REMOVED AND REPLACED; # INDICATES UNITS</p> <p>FS # FAILED SEALANT TO BE REMOVED AND REPLACED; # INDICATES LINEAR FEET</p> <p>EF # EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RS # RUST STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>BRICK MASONRY TO BE REBUILT; # INDICATES APPROXIMATE SQUARE FEET</p> <p>T.W. - - - APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 1/A701</p> <p>T.W. - - - APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 2/A701</p> <p>T.W. - - - APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 3/A701</p>
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REPAIR NOTES

- THE DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NO INTENDED TO DEFINE LIMITS OF WORK. AREAS NOT NOTED ON THESE DRAWINGS EXHIBITING SIMILAR DEFECTS AS THOSE SHOWN SHALL BE REPAIRED IN A SIMILAR MANNER.
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KEY PLAN



PROJECT
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DRAWING SCALE	NOT TO SCALE		

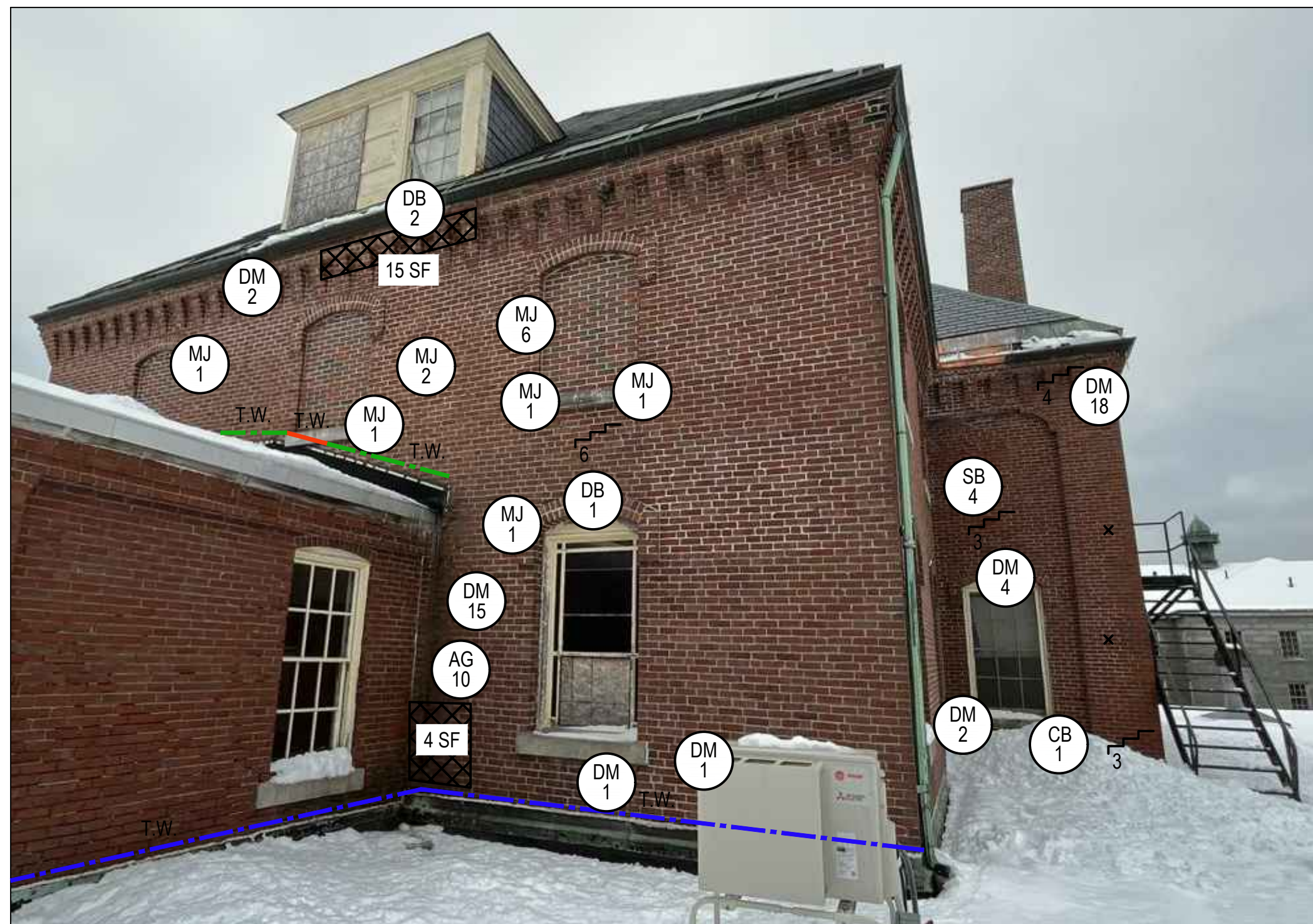
GRAPHIC SCALE

SHEET TITLE

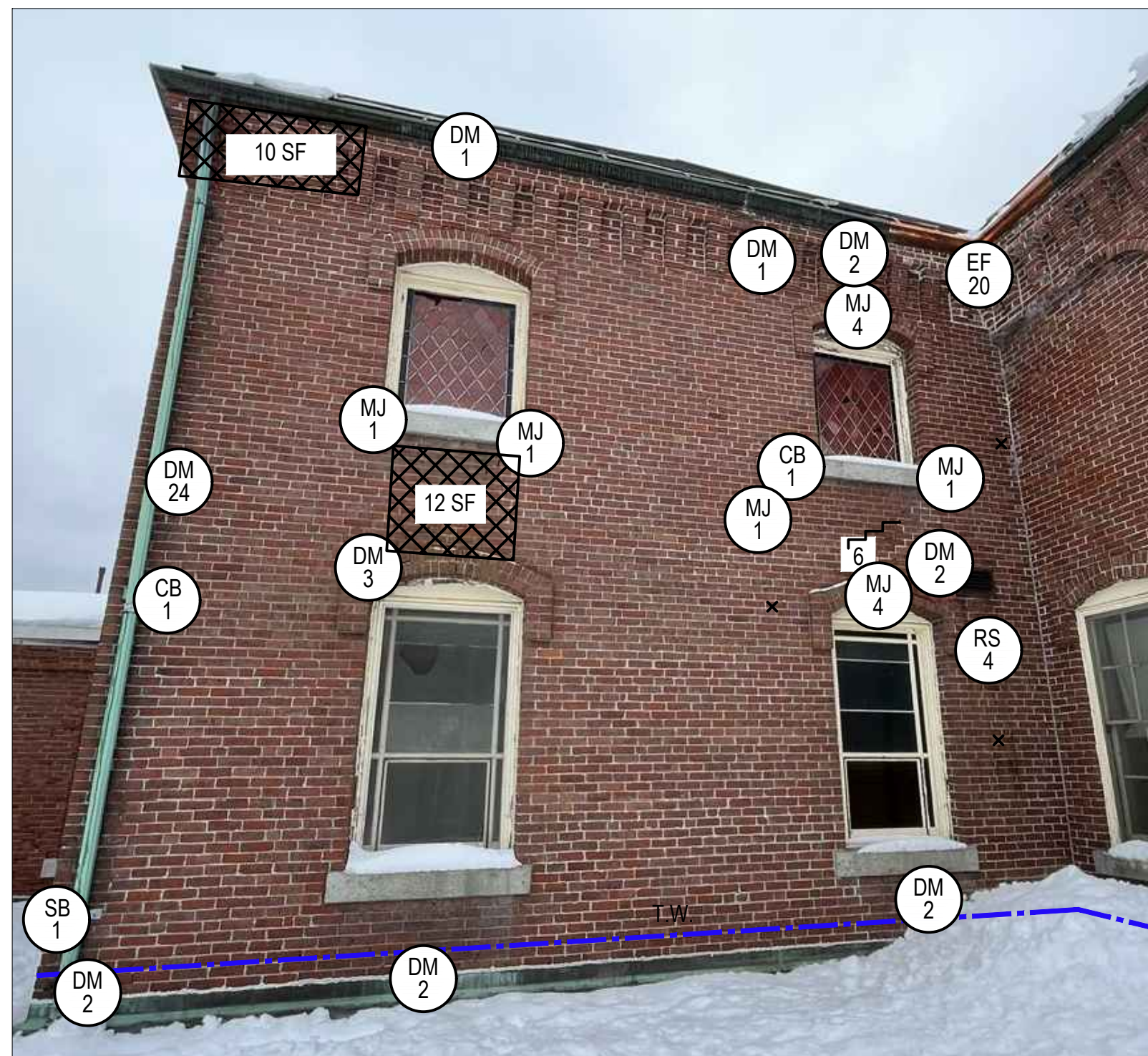
ELEVATIONS

DRAWING NO.

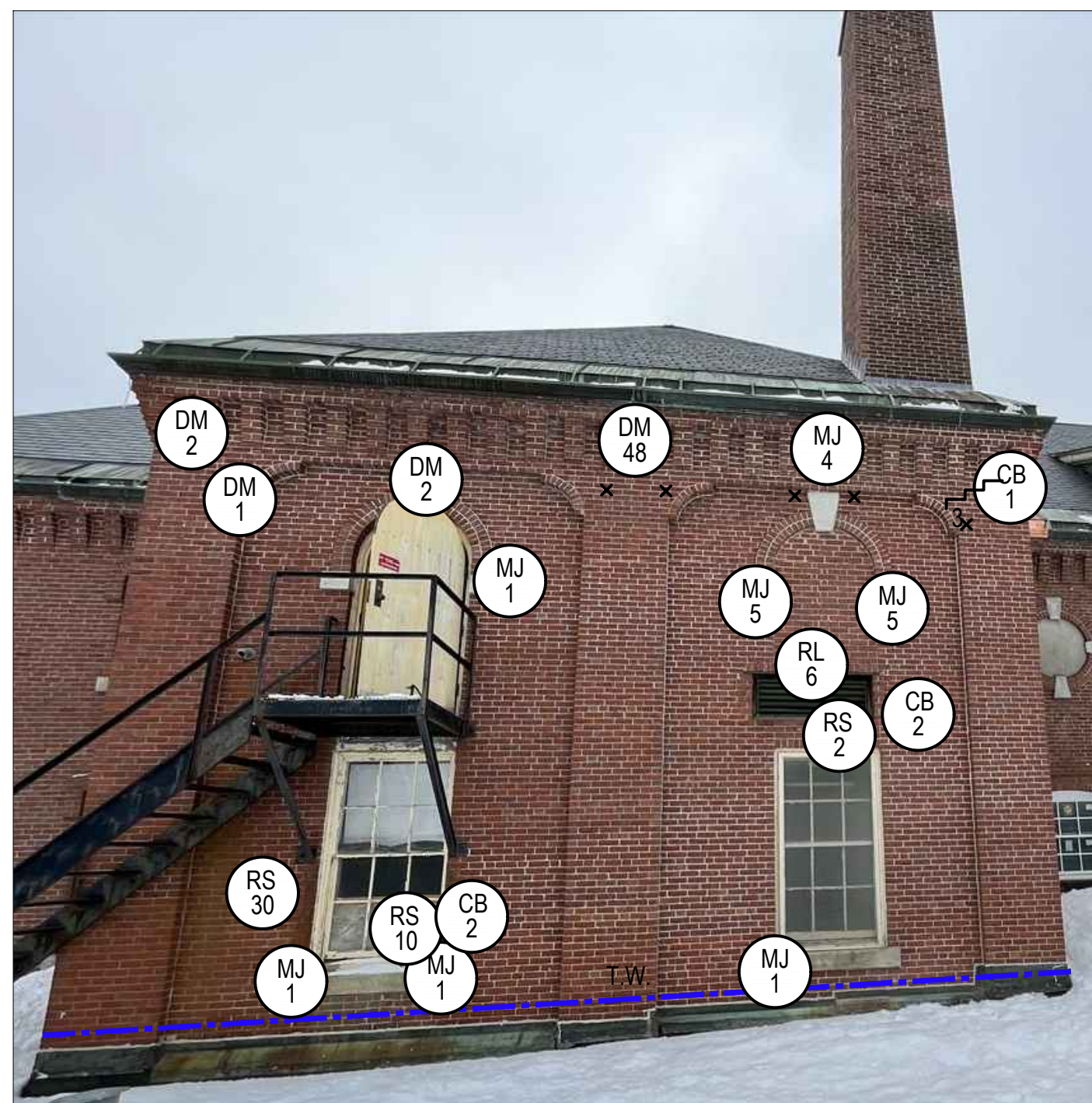
A202



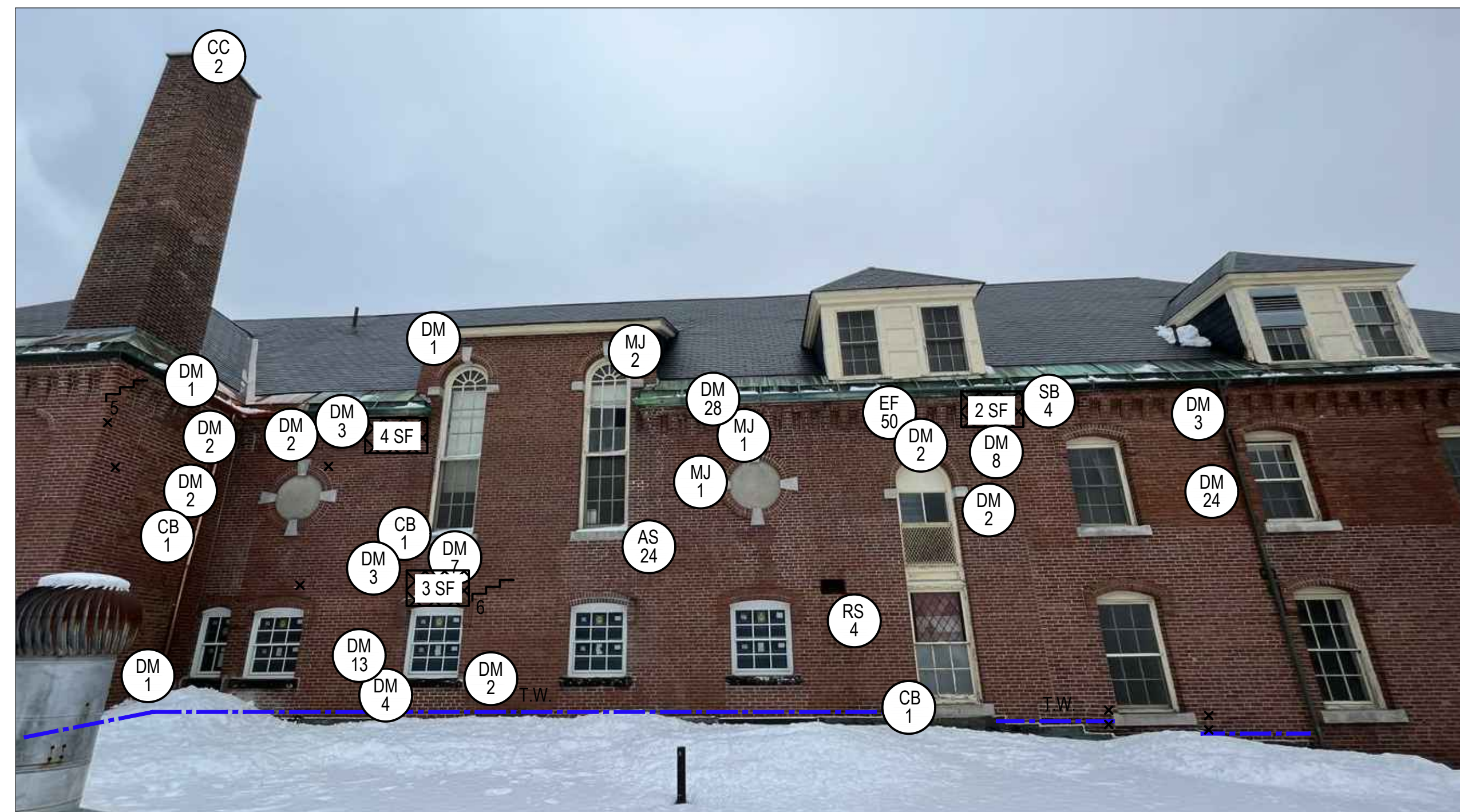
1 NORTH ELEVATION
A203 SCALE: NOT TO SCALE



2 PARTIAL WEST ELEVATION
A203 SCALE: NOT TO SCALE



3 PARTIAL WEST ELEVATION
A203 SCALE: NOT TO SCALE



4 PARTIAL WEST ELEVATION
A203 SCALE: NOT TO SCALE

ELEVATION NOTES

- 1. REFER TO GENERAL AND ELEVATION NOTES ON SHEET G101 FOR ADDITIONAL INFORMATION

REPAIR LEGEND

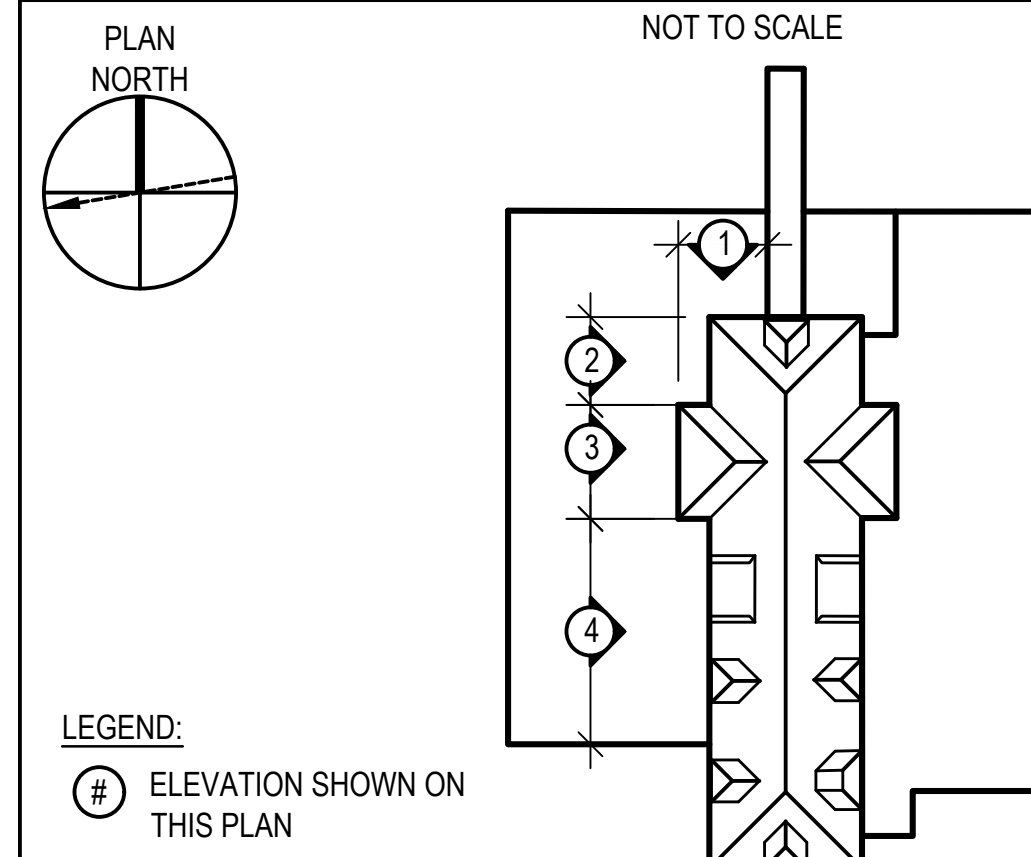
AS #	ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET	SB #	SPALLED BRICK TO BE REMOVED AND REPLACED; # INDICATES UNITS
AG #	ALGAE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET	FS #	FAILED SEALANT TO BE REMOVED AND REPLACED; # INDICATES LINEAR FEET
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DB #	DISPLACED BRICK TO BE REMOVED AND REPLACED; # INDICATES UNITS	RS #	RUST STAINING TO BE CLEANED; # INDICATES SQUARE FEET
DM #	DETERIORATED MORTAR JOINT TO BE CUT AND REPOINTED, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION; # INDICATES SQUARE FEET		BRICK MASONRY TO BE REBUILT; # INDICATES APPROXIMATE SQUARE FEET
CS #	CRACKED STONE TO BE REPAIRED, REFER TO DETAIL 7/A702 FOR ADDITIONAL INFORMATION; # INDICATES LINEAR FEET	- - - T.W. - - -	APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 1/A701
SS #	SPALLED STONE TO BE REPAIRED; # INDICATES SQUARE FEET	- - - T.W. - - -	APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 2/A701
MJ #	DETERIORATED MORTAR JOINT TO BE REPOINTED; # INDICATES LINEAR FEET, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION	- - - T.W. - - -	APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO DETAIL 3/A701
x	EXISTING ANCHOR / METAL STUB TO BE REMOVED AND INFILLED		
	STEP CRACK TO BE CUT AND REPOINTED, REFER TO DETAIL 4/A701 FOR ADDITIONAL INFORMATION; # INDICATES LINEAR FEET		

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REPAIR NOTES

1. THE DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NO INTENDED TO DEFINE LIMITS OF WORK. AREAS NOT NOTED ON THESE DRAWINGS EXHIBITING SIMILAR DEFECTS AS THOSE SHOWN SHALL BE REPAIRED IN A SIMILAR MANNER.
2. IN THE EVENT THAT ADDITIONAL DEFECTS ARE ENCOUNTERED TO THOSE INCLUDED IN THE CONTRACT DOCUMENTS, CONTRACTOR IS TO REPORT THE ADDITIONAL QUANTITIES TO THE OWNER AND ENGINEER PRIOR TO PERFORMING REPAIRS. COORDINATE WITH SPECIFICATION SECTION 01 22 00 - UNIT PRICES.
3. CONTRACTOR TO CLEAN EFFLORESCENCE, ALGAE GROWTH, VEGETATIVE GROWTH, ATMOSPHERIC STAINING, AND RUST STAINING FROM 100% OF BRICK MASONRY ELEVATIONS.
4. REMOVE, STORE, AND REINSTALL DOWNSPOUTS AS REQUIRED TO PERFORM THE WORK.

KEY PLAN



PROJECT
MASONRY REPAIRS AND ASSOCIATED WORK
AT THE CENTER BUILDING
67 INDEPENDENCE DRIVE
AUGUSTA, ME 04330

OWNER
STATE OF MAINE BUREAU OF GENERAL SERVICES
111 SEWALL STREET, 77 STATE HOUSE STATION
AUGUSTA, ME 04333

NO.	DATE	DESCRIPTION	BY
PROJECT NO.		839100	
CADD FILE		839100 A200s	
DESIGNED BY		ACP	
DRAWN BY		MRS	
CHECKED BY		ACP	
DATE		2/29/2024	
DRAWING SCALE		NOT TO SCALE	

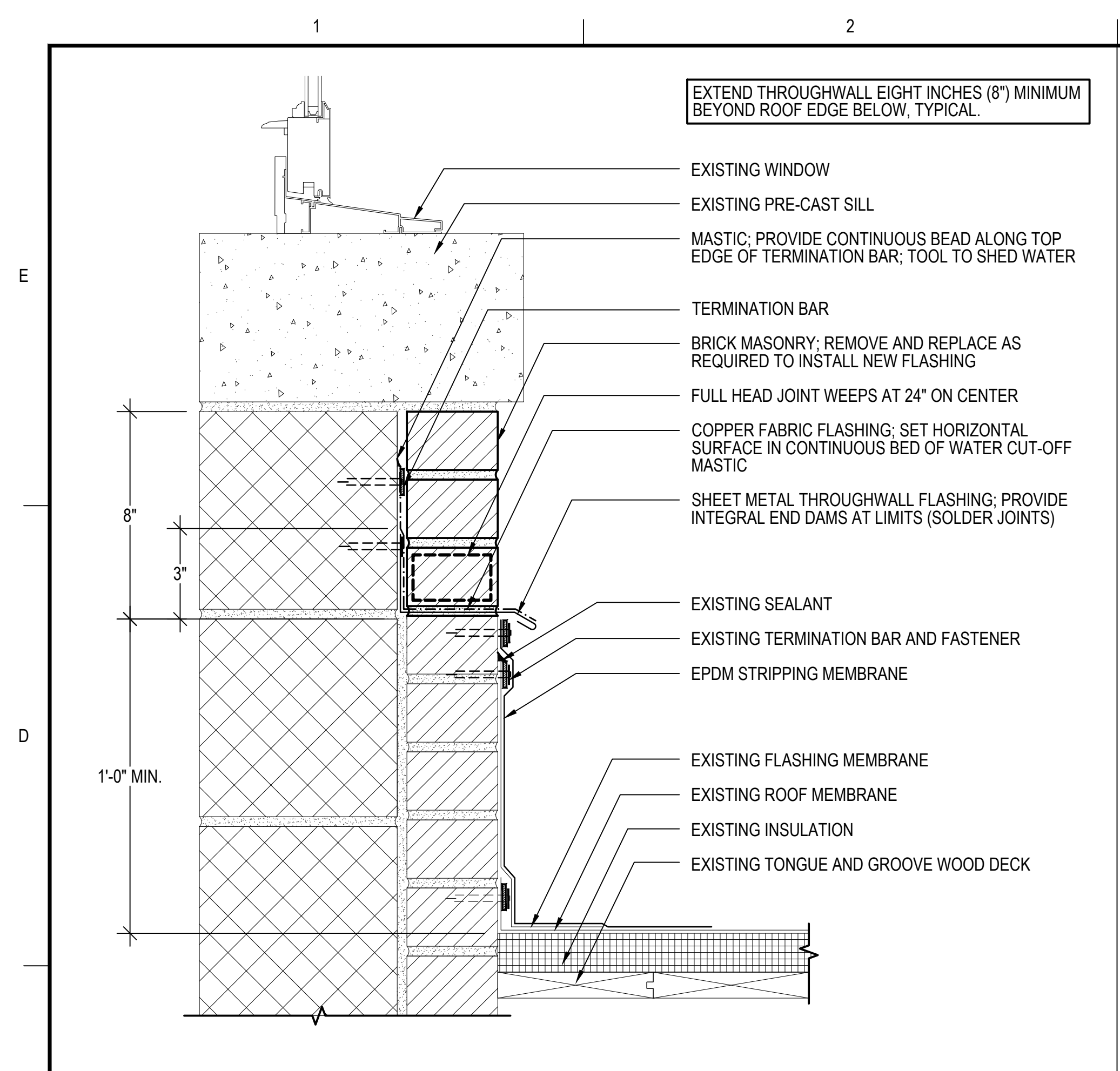
GRAPHIC SCALE

SHEET TITLE

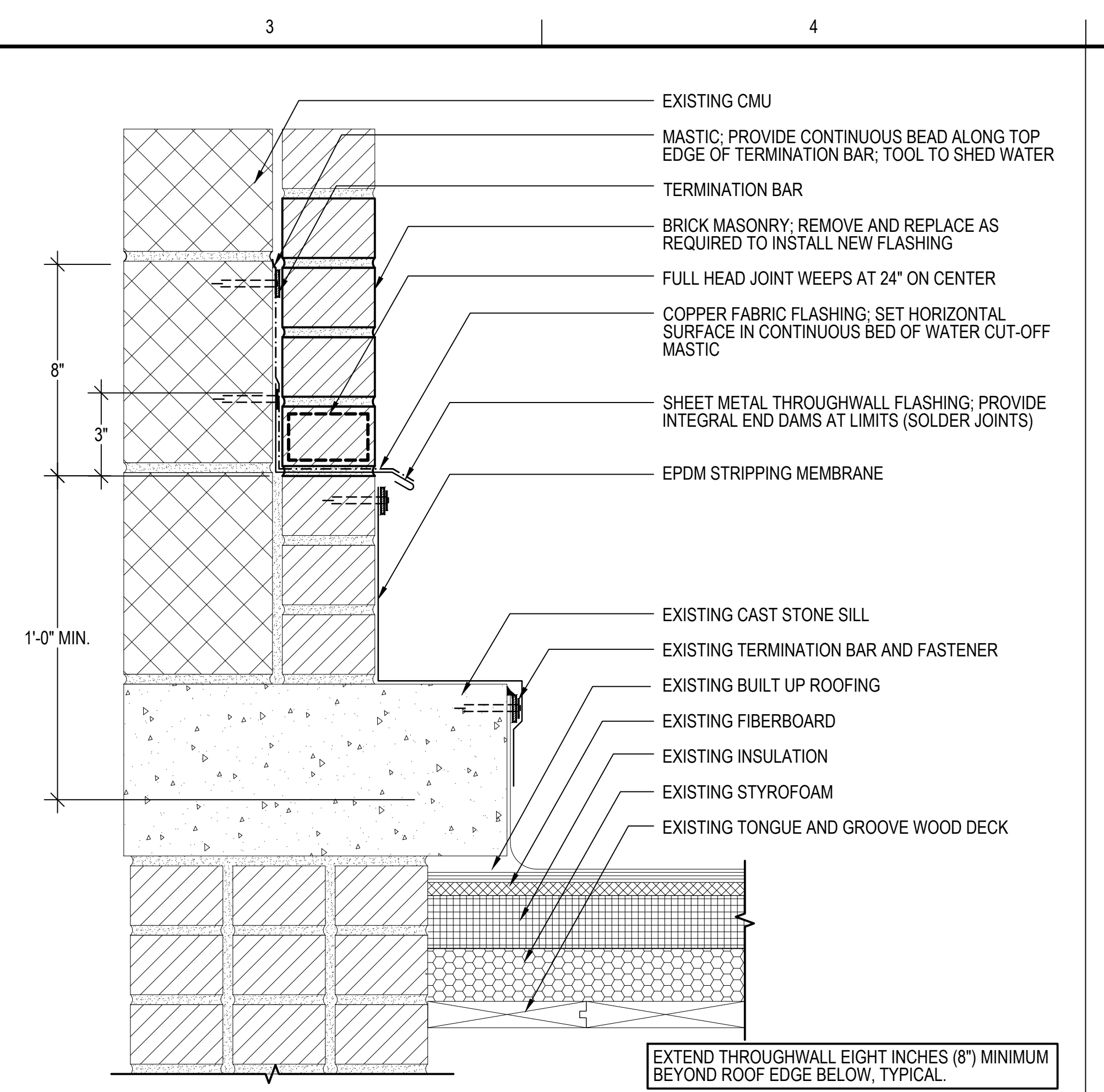
ELEVATIONS

DRAWING NO.

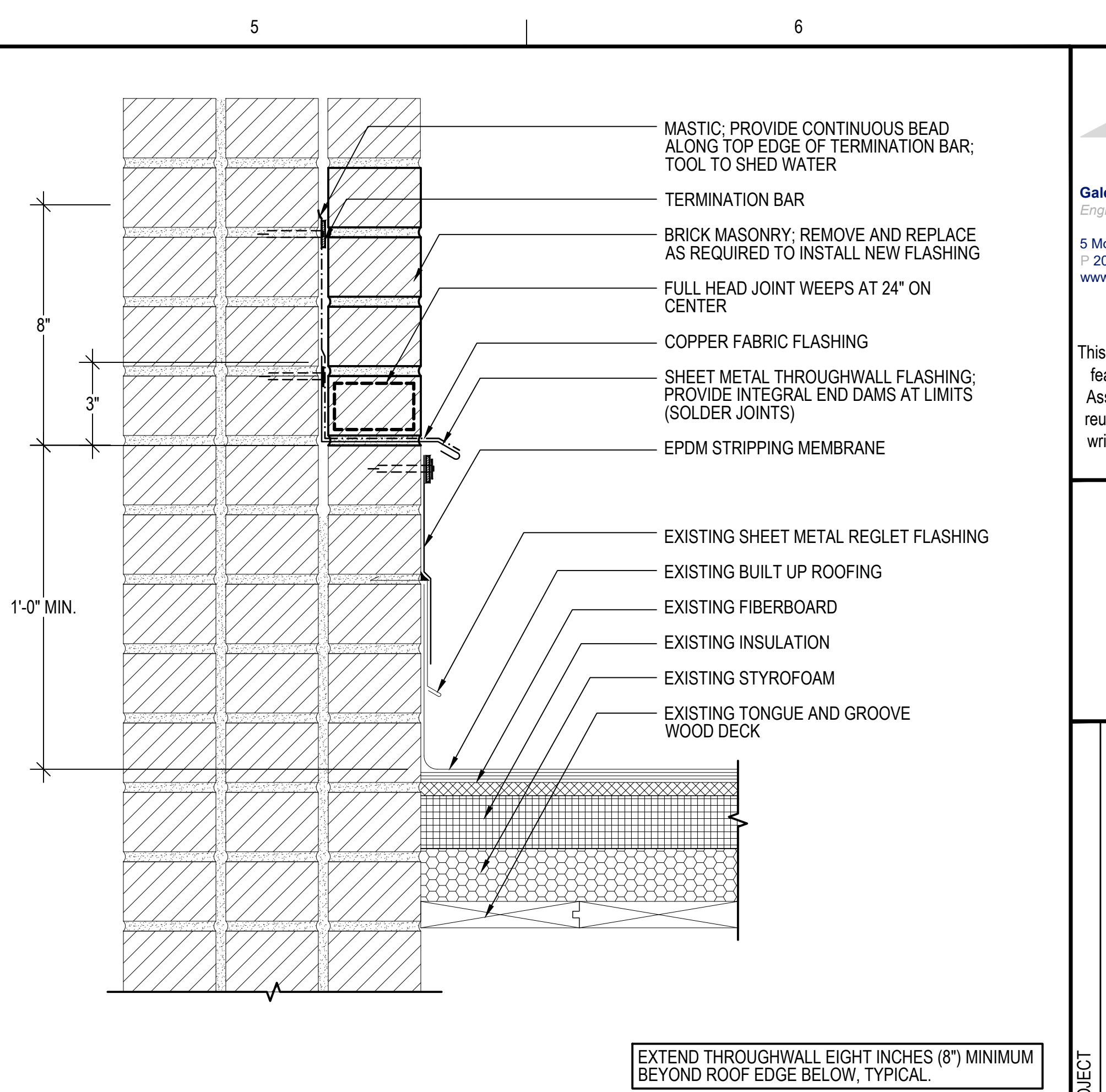
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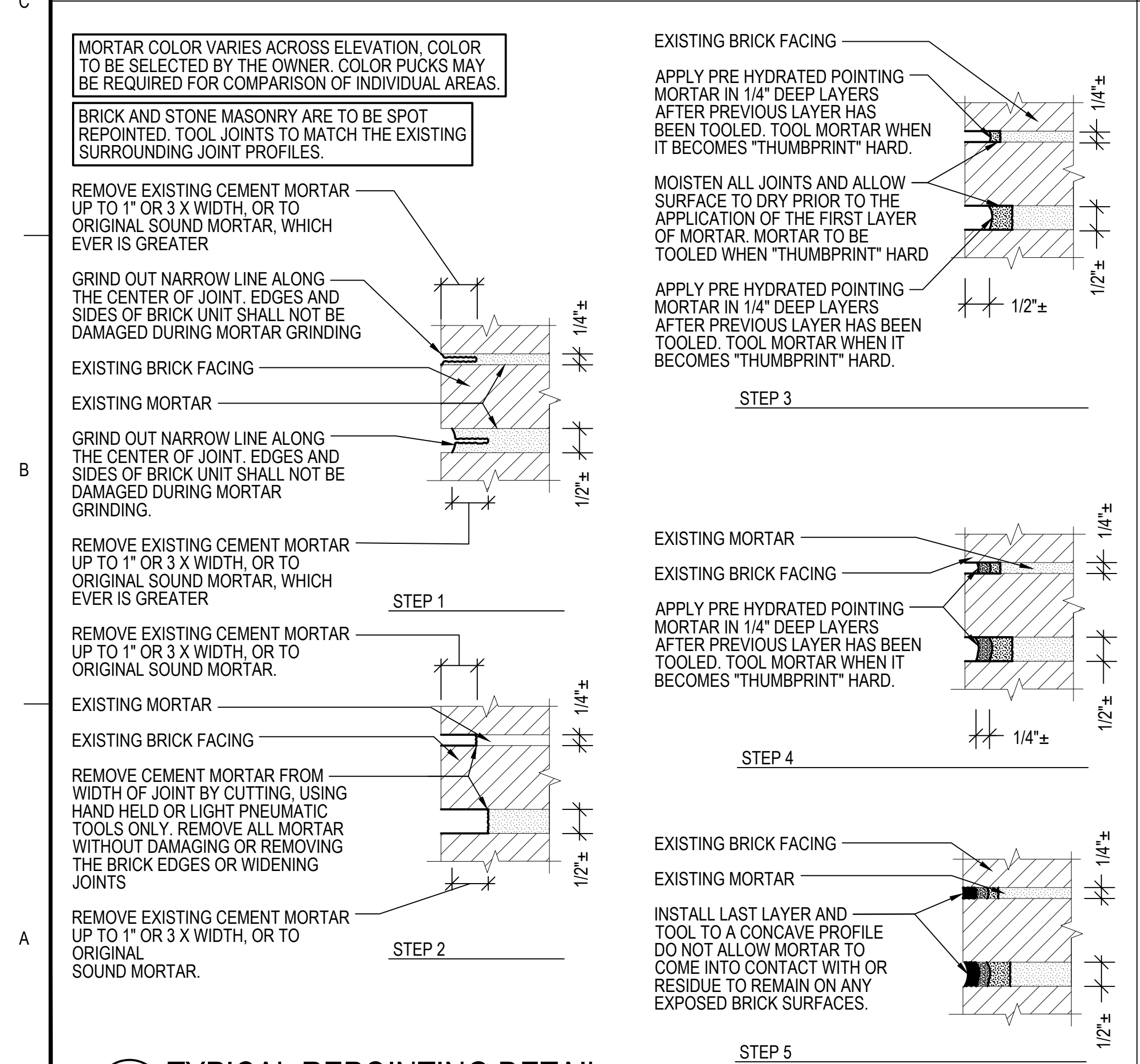
1 THROUGHWALL FLASHING DETAIL TYPE 1
 A701 SCALE: 3"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



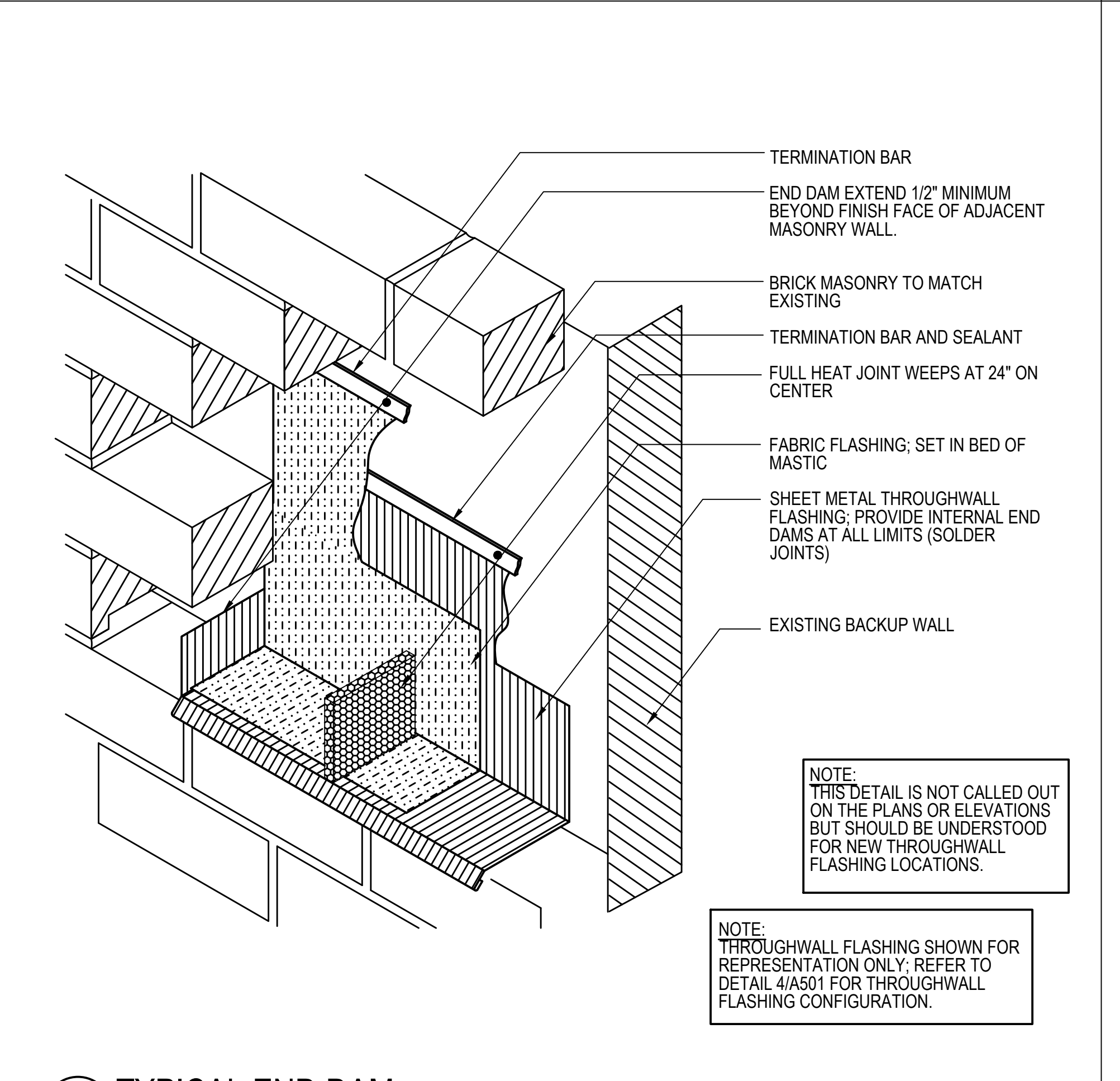
2 THROUGHWALL FLASHING DETAIL TYPE 2
 A701 SCALE: 3"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



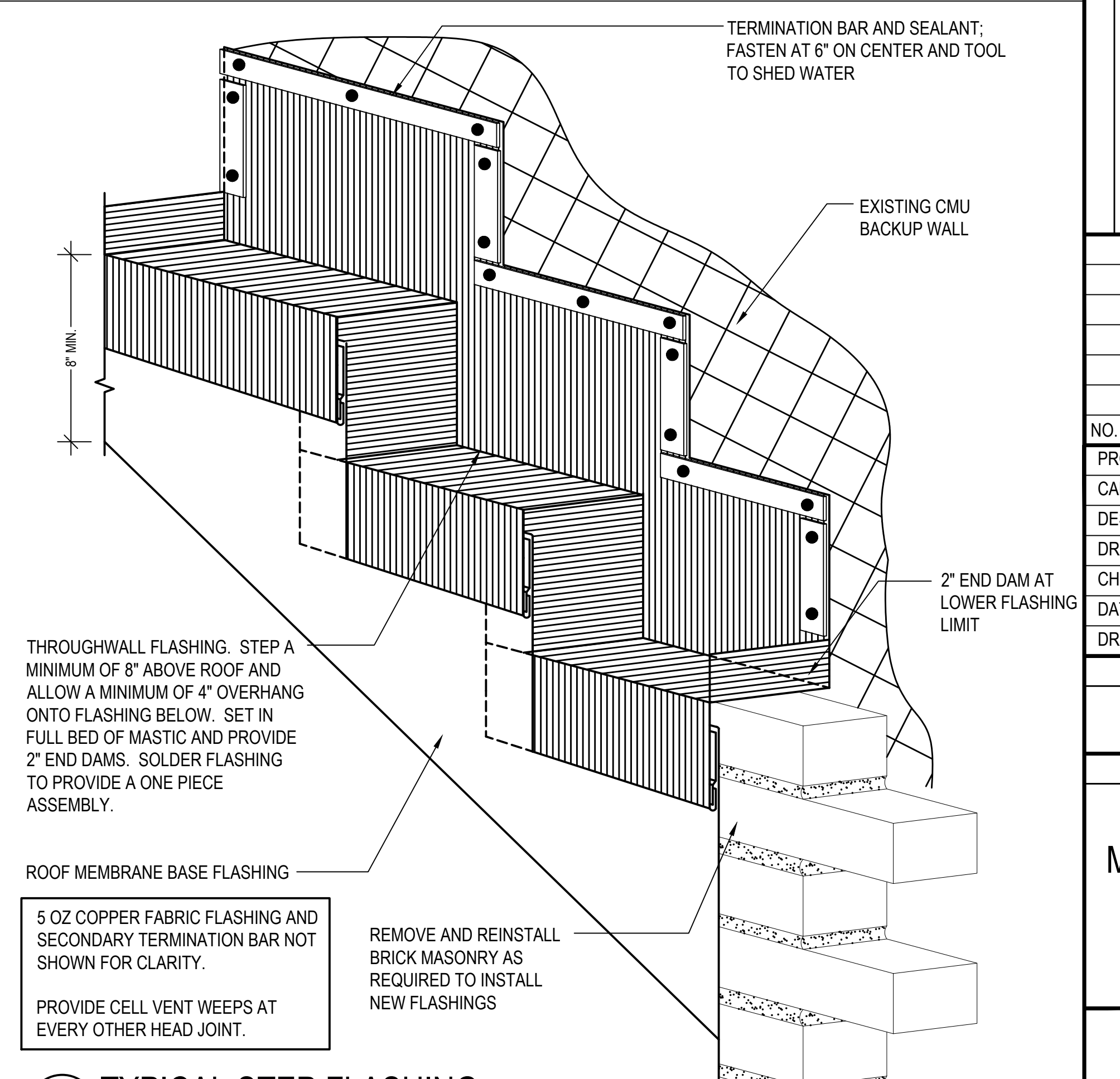
3 THROUGHWALL FLASHING DETAIL TYPE 3
 A701 SCALE: 3"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



4 TYPICAL REPOINTING DETAIL
 A701 SCALE: NOT TO SCALE
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



5 TYPICAL END DAM
 A701 SCALE: NOT TO SCALE
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



6 TYPICAL STEP FLASHING
 A701 SCALE: NOT TO SCALE
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

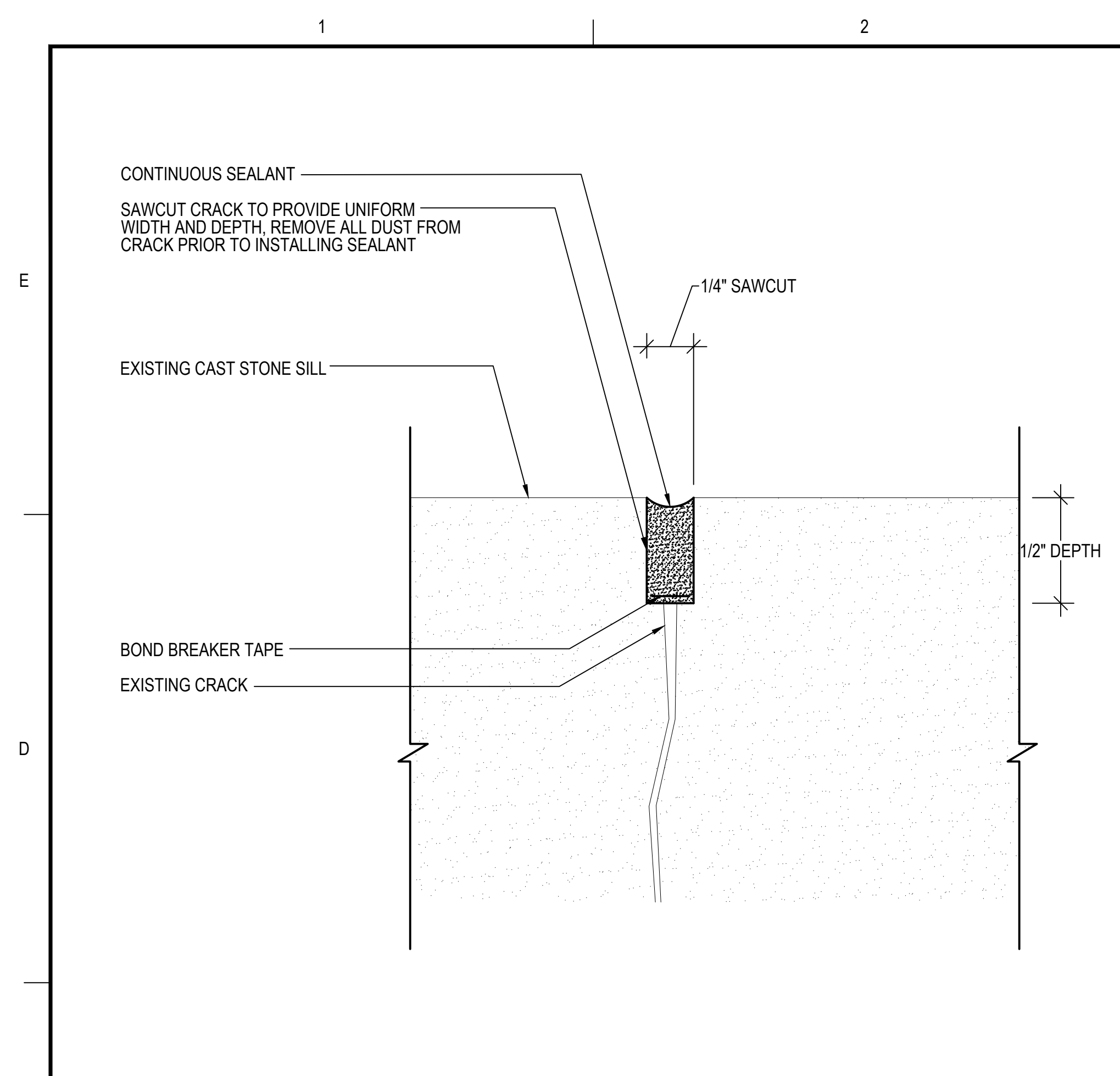
GALE
 Gale Associates, Inc.
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 5 Moulton Street Portland, ME 04101
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 Boston Baltimore Orlando Hartford
 Manchester Portland

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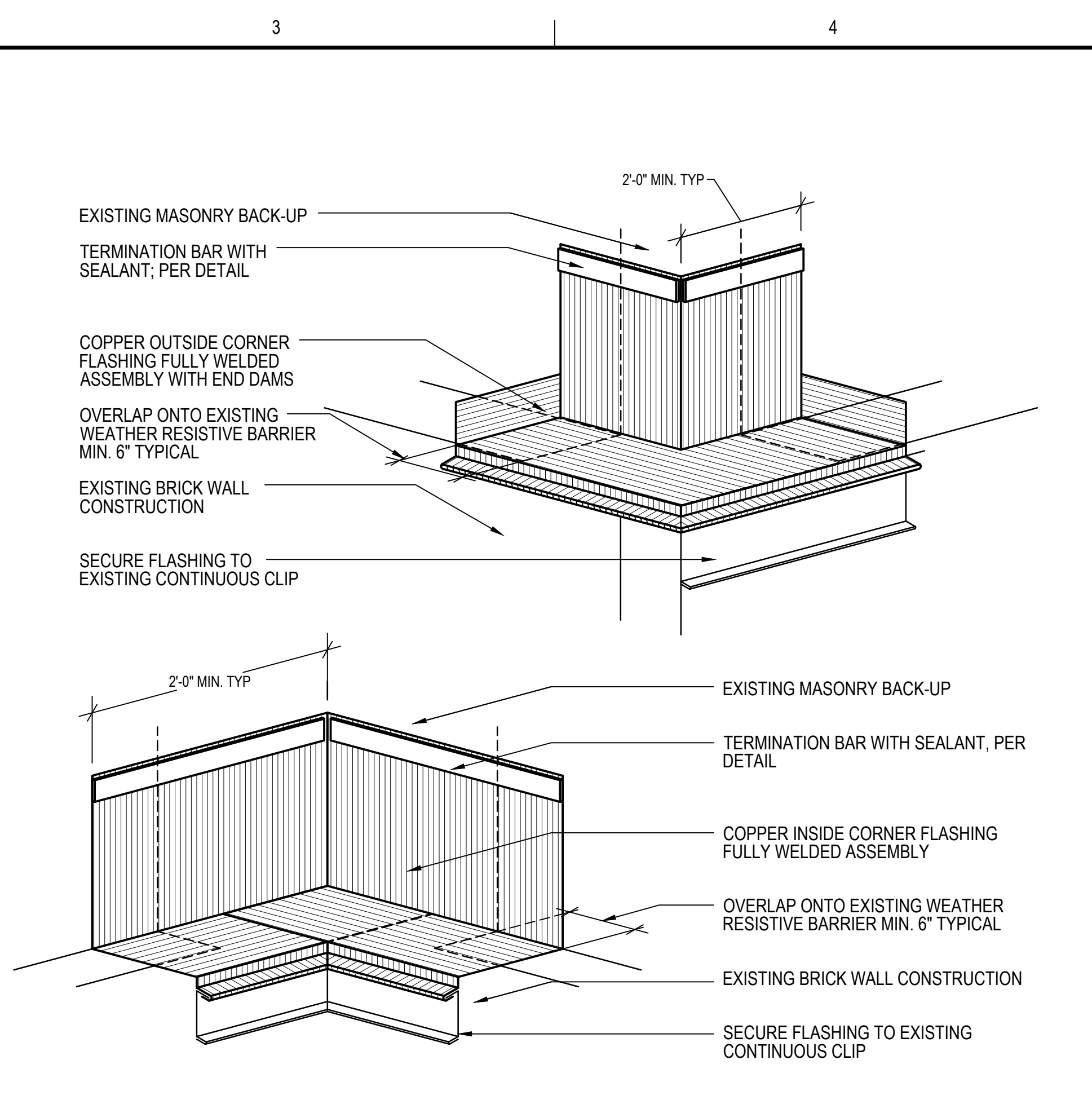
MASONRY REPAIRS AND ASSOCIATED WORK AT THE CENTER BUILDING 67 INDEPENDENCE DRIVE AUGUSTA, ME 04330

PROJECT: OWNER: STATE OF MAINE BUREAU OF GENERAL SERVICES 111 SEWALL STREET, 77 STATE HOUSE STATION AUGUSTA, ME 04333

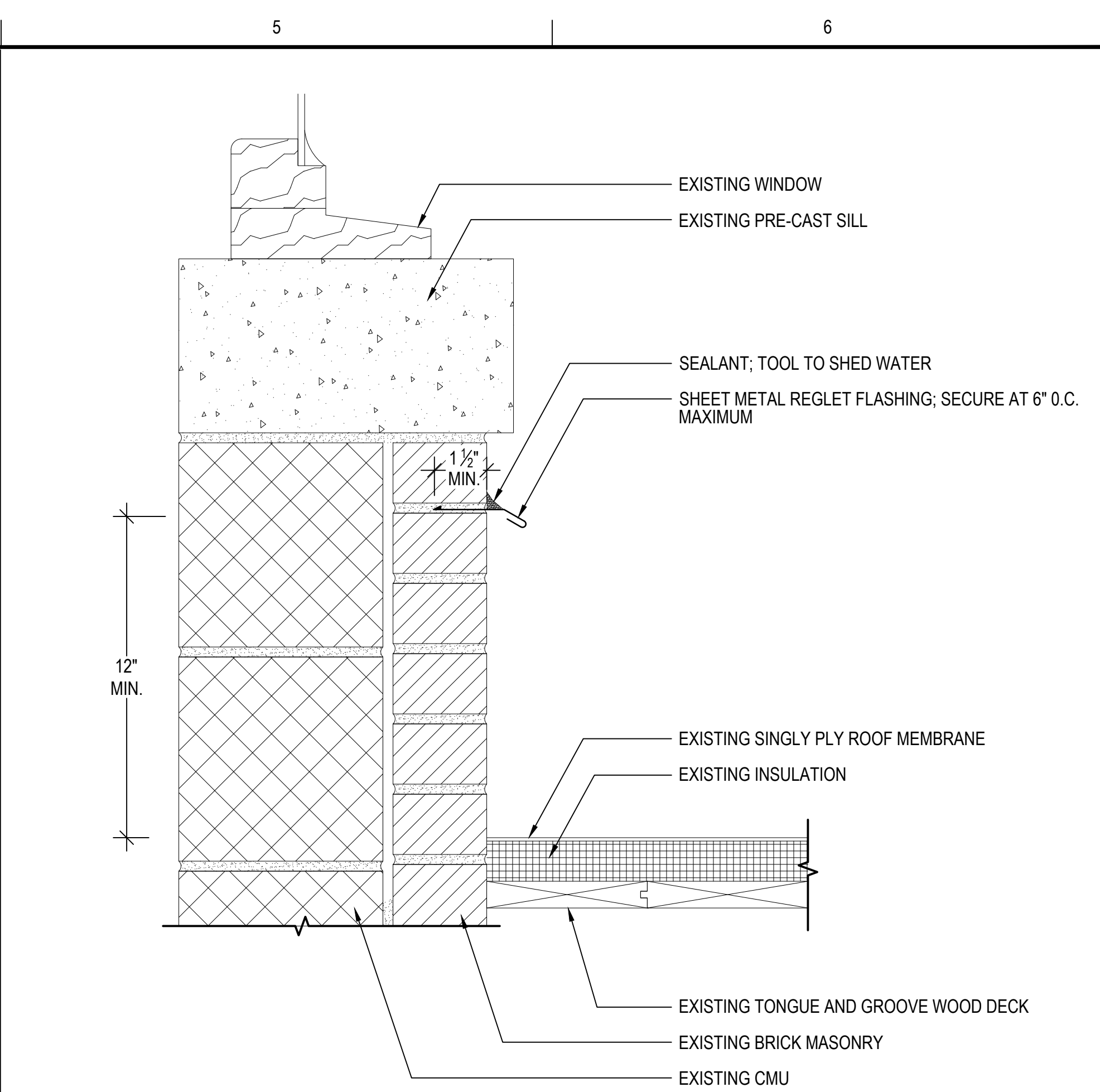
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839100		
CADD FILE	839100 A700s		
DESIGNED BY	ACP		
DRAWN BY	MRS		
CHECKED BY	ACP		
DATE	2/29/2024		
DRAWING SCALE	AS NOTED		
GRAPHIC SCALE			
SHEET TITLE			
MASONRY REPAIR DETAILS			
DRAWING NO.			A701



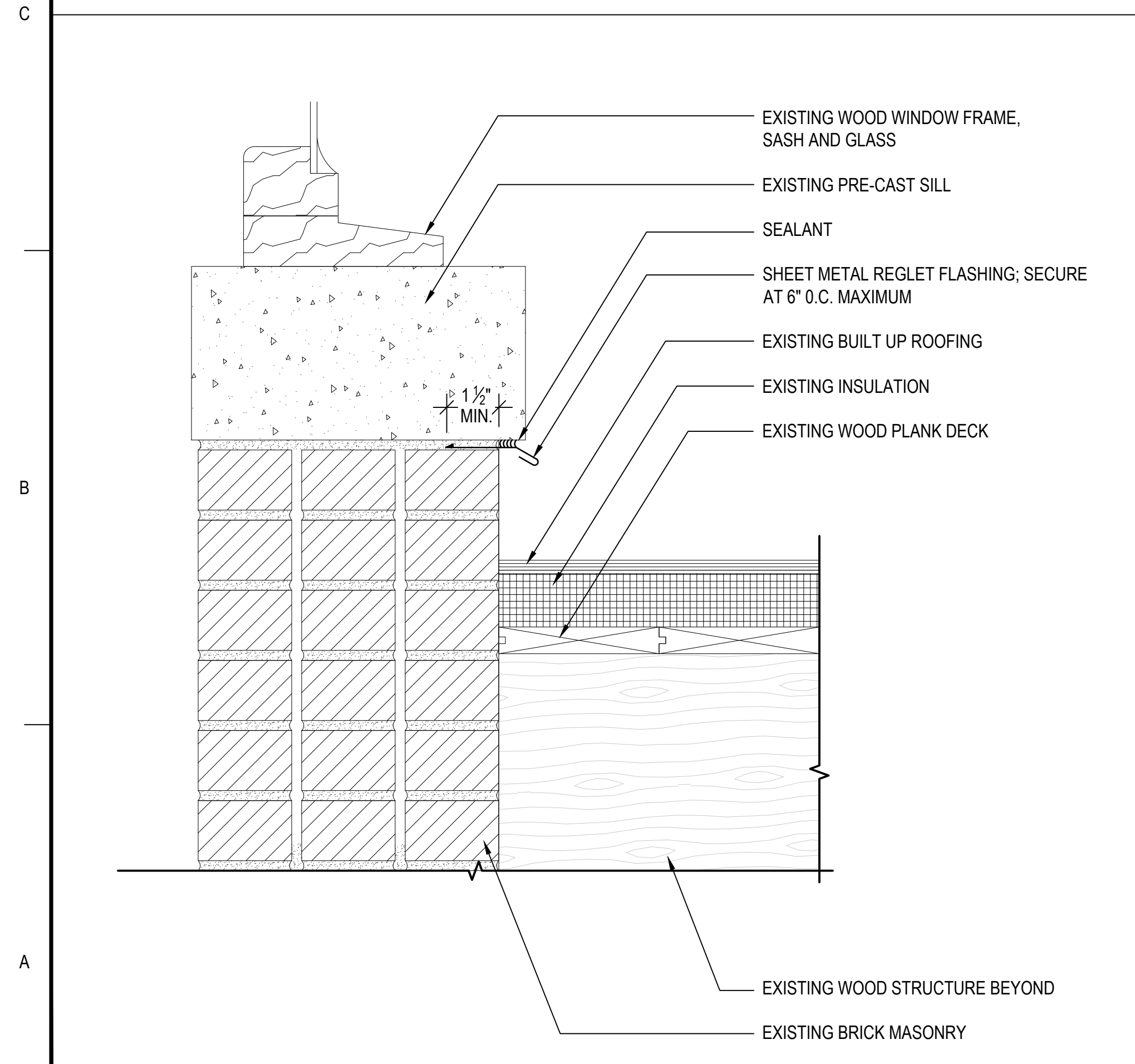
7 TYPICAL ROUT AND SEAL DETAIL
A702 SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



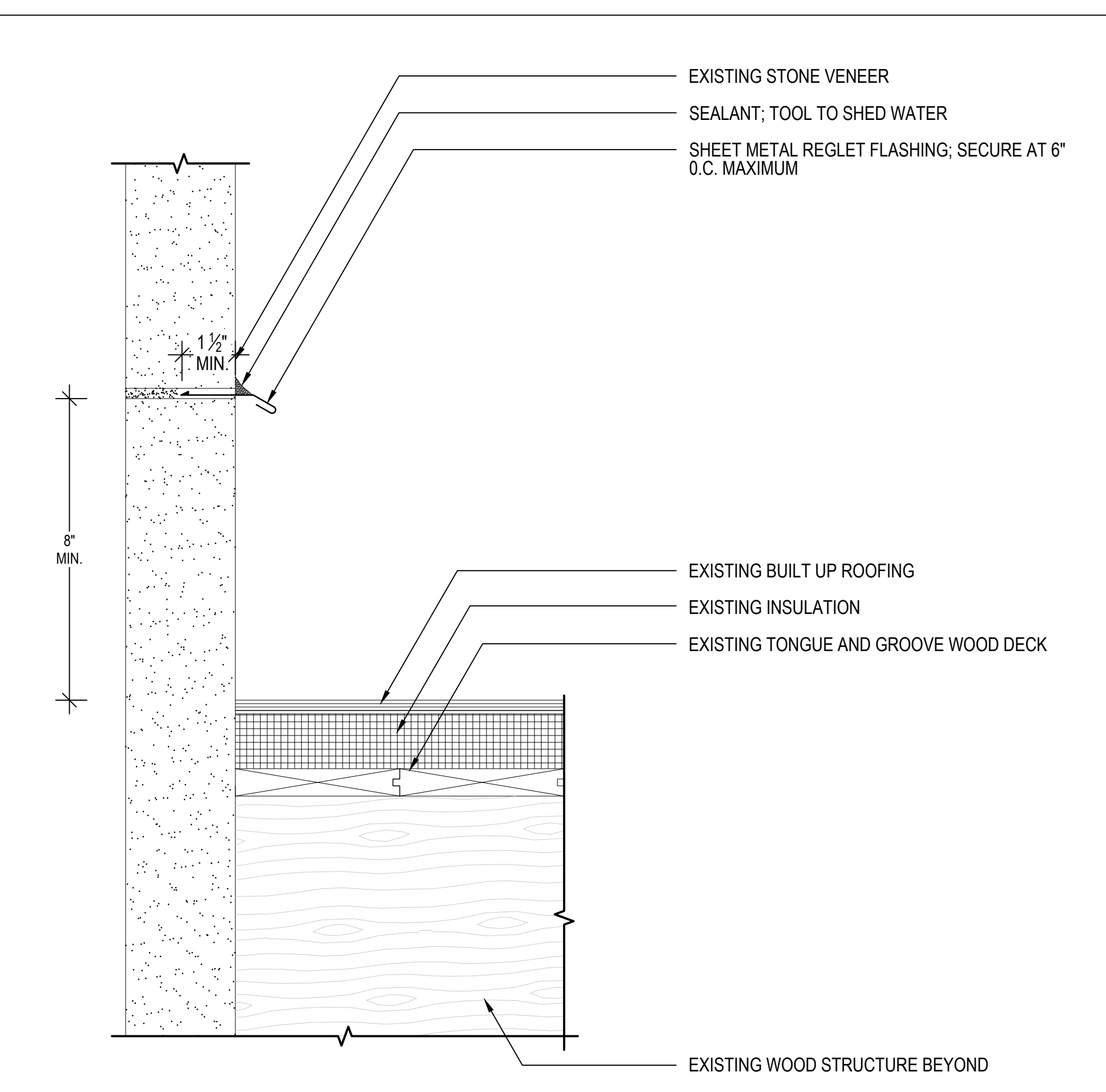
8 TYPICAL THROUGHWALL FLASHING CORNER DETAILS
A702 SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



9 REGLET FLASHING TYPE 1
A702 SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



10 REGLET FLASHING TYPE 2
A702 SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



11 REGLET FLASHING TYPE 3
A702 SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



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PROJECT
MASONRY REPAIRS AND ASSOCIATED WORK AT THE CENTER BUILDING
67 INDEPENDENCE DRIVE
AUGUSTA, ME 04330

OWNER
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NO.	DATE	DESCRIPTION	BY

PROJECT NO.	839100
CADD FILE	839100 A700s
DESIGNED BY	ACP
DRAWN BY	MRS
CHECKED BY	ACP
DATE	2/29/2024
DRAWING SCALE	AS NOTED

GRAPHIC SCALE

SHEET TITLE

MASONRY REPAIR DETAILS

DRAWING NO.
A702