

6

5

4

3

2

1

E

D






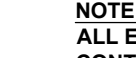

C

B

A

PLAN REFERENCE:
 FLOOR PLAN DERIVED FROM DRAWINGS BY OTHERS PROVIDED TO
 HALEY WARD, INC. AND ARE NOT WARRANTED AS TO ACCURACY AND
 ARE INTENDED TO BE SCHEMATIC.

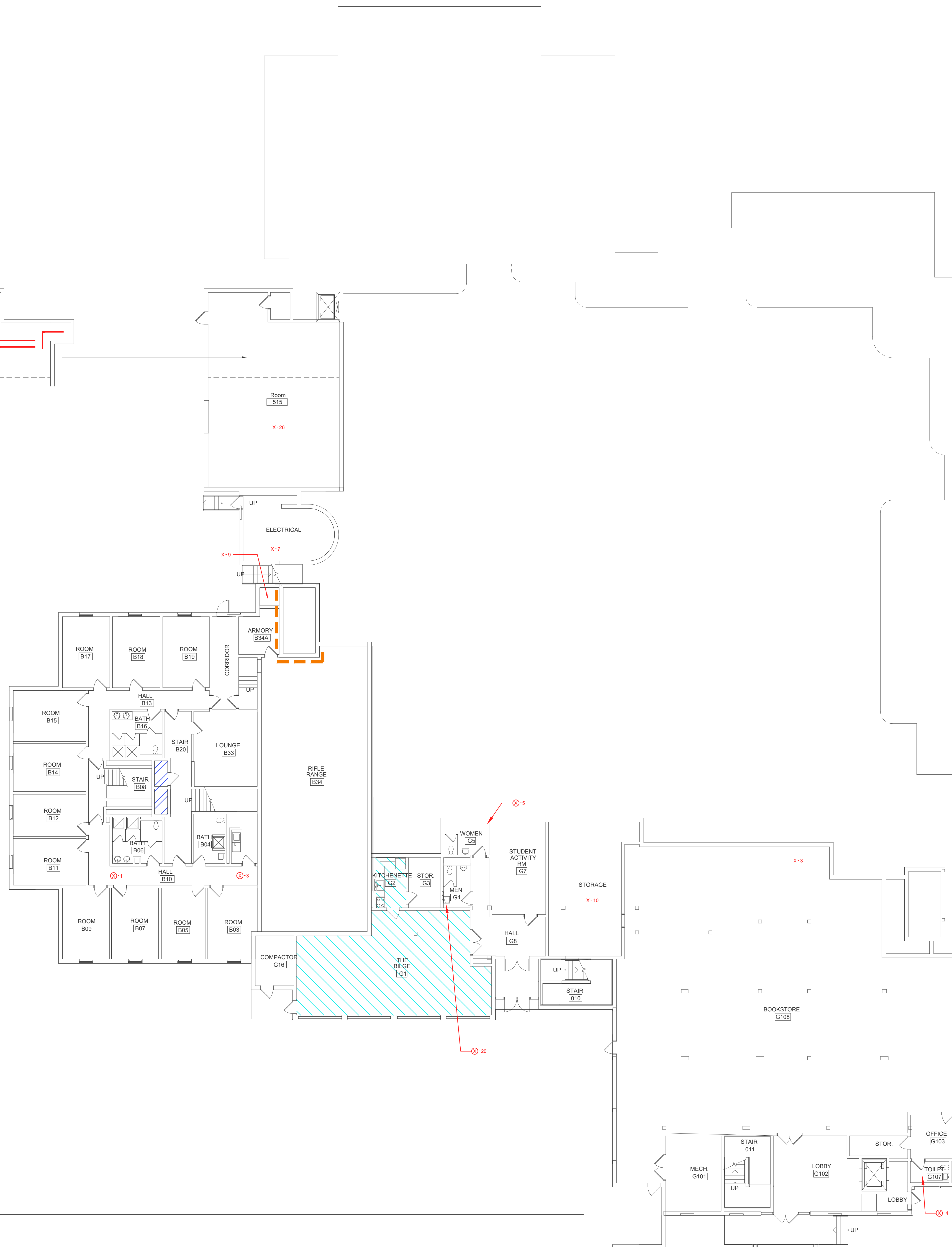
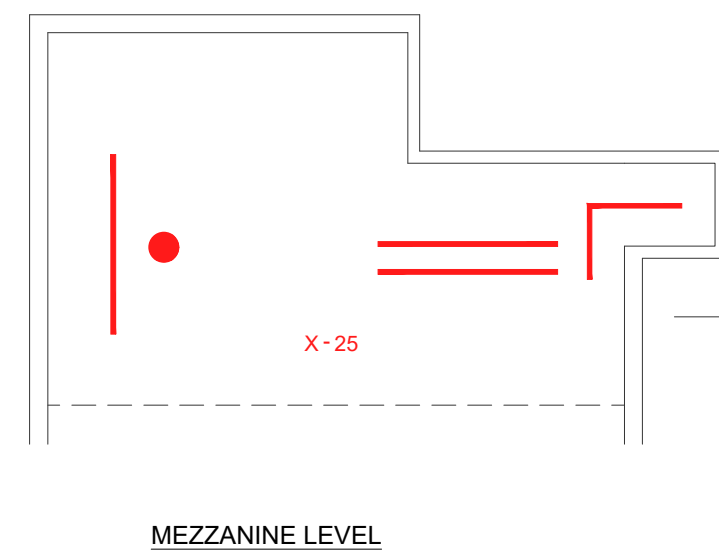
LEGEND

-  NON-ACM FLOOR TILE WITH ASSOCIATED ACM ADHESIVE
-  ACM FLOOR TILE WITH ASSOCIATED ACM ADHESIVE
-  ACM INSULATED PIPE EXPOSED
-  ACM INSULATED PIPE FITTING ABOVE CEILING
-  ACM INSULATED PIPE FITTING
-  ACM ASPHALT VAPOR BARRIER
-  ACM TANK INSULATION

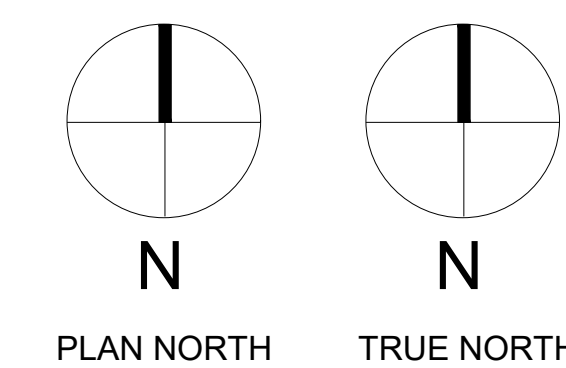
NOTE:
 ALL EXTERIOR WINDOWS HAVE ASBESTOS CONTAINING CAULKING.

NOTES:

1. DRAWINGS PROVIDE GENERAL COORDINATION OF INFORMATION ONLY AND ARE SCHEMATIC IN THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED AS REQUIRED BY THE RENOVATION PROJECT. SUBCONTRACTOR RESPONSIBLE FOR CONFIRMING ACTUAL QUANTITIES OF ASBESTOS-CONTAINING MATERIALS (ACM) AND NON-ACM BUILDING MATERIALS TO BE REMOVED PRIOR TO SUBMITTAL OF BIDS.
2. IDENTIFIED ACM TO BE ABATED AS PART OF RENOVATION/DEMOLITION ACTIVITIES. REFER TO TABLE 1: SUMMARY OF IDENTIFIED ASBESTOS-CONTAINING MATERIALS (ACM) AND ESTIMATED QUANTITIES, CURTIS HALL, MAINE MARITIME ACADEMY, CASTINE, MAINE.
3. SUBCONTRACTOR RESPONSIBLE FOR A SITE-SPECIFIC ASBESTOS ABATEMENT PROJECT DESIGN AND WORK PLAN FOR EACH WORK AREA PREPARED BY A MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION (MDEP) LICENSED ASBESTOS DESIGN CONSULTANT.
4. SUBCONTRACTOR RESPONSIBLE FOR SUBMISSION OF FEDERAL AND STATE NOTIFICATIONS AND ASSOCIATED FEES.
5. SUBCONTRACTOR TO PROVIDE A MDEP LICENSED INDEPENDENT AIR MONITOR FOR VISUAL INSPECTIONS AND AIR CLEARANCES, AS REQUIRED. EVIDENCE OF VISUAL INSPECTION AND AIR CLEARANCES, AS REQUIRED, MUST BE SUBMITTED TO THE OWNER.
6. CONTAMINATED WASTE HANDLING COSTS, SUCH AS WASTE PACKAGING, STORING/HANDLING, TRANSPORT/DISPOSAL, PERMITTING, RECORD KEEPING, AND NON-CONTAMINATED WASTE HANDLING MUST BE INCLUDED IN THE CONTRACTOR'S PROPOSAL AS APPLICABLE TO REMOVAL OF ASBESTOS MATERIALS AND/OR PERFORMANCE OF THE RELATED ABATEMENT ACTIVITIES.
7. PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR ACM REMOVALS.
8. ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE SUBCONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF.

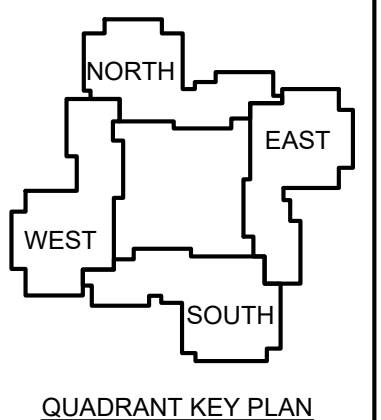


GROUND FLOOR PLAN
 SCALE: 3/32"=1'-0"



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| No. | Date | Description |
|-----|------|-------------|
| | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
ADDENDUM #1
ISSUED FOR
BIDDING

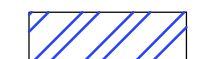

DECEMBER 5, 2023

TITLE
GROUND FLOOR
IDENTIFIED
ASBESTOS-CONTAINING
MATERIALS

SHEET
H100

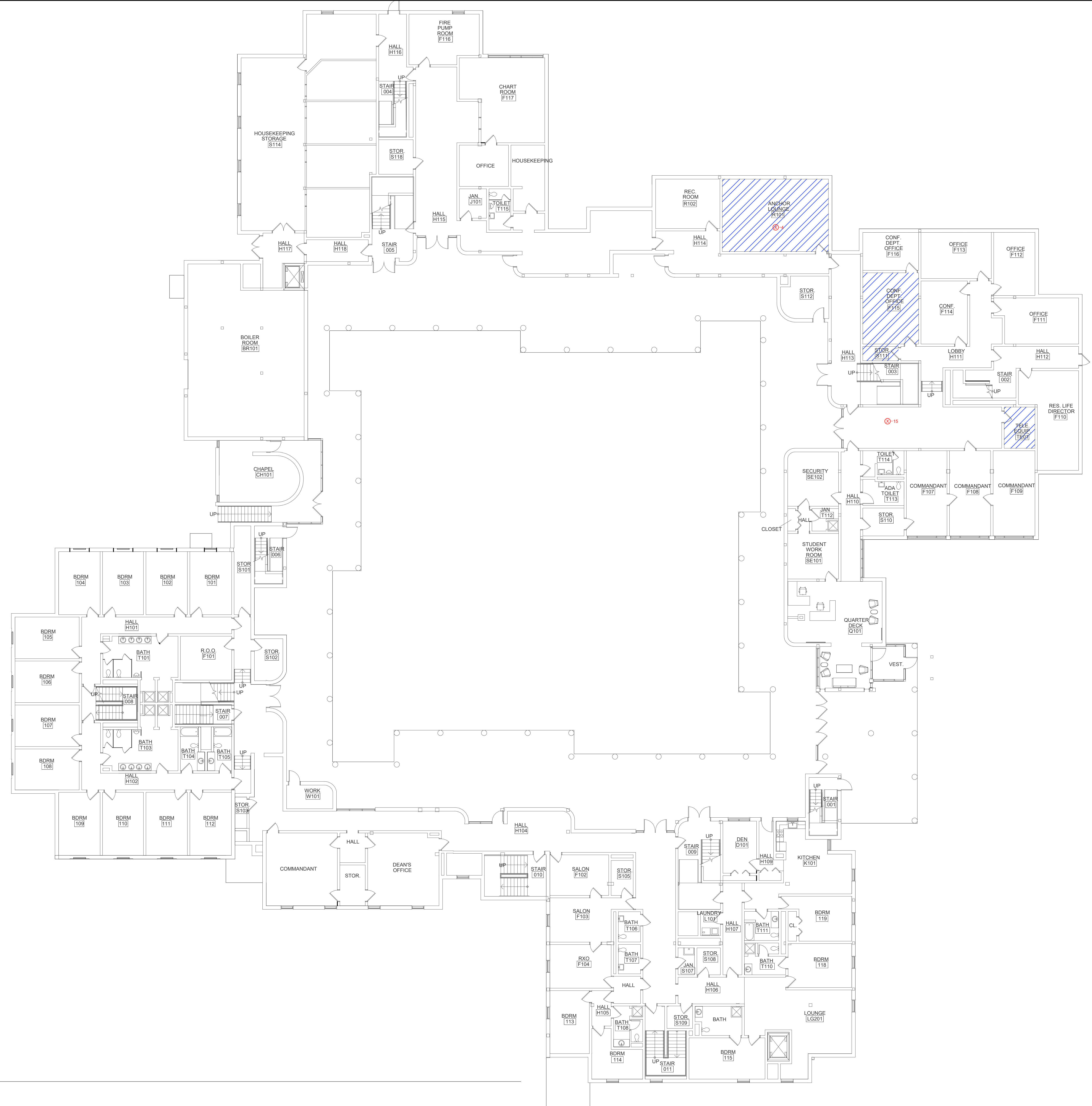
PLAN REFERENCE:
 FLOOR PLAN DERIVED FROM DRAWINGS BY OTHERS PROVIDED TO
 HALEY WARD, INC. AND ARE NOT WARRANTED AS TO ACCURACY AND
 ARE INTENDED TO BE SCHEMATIC.

LEGEND

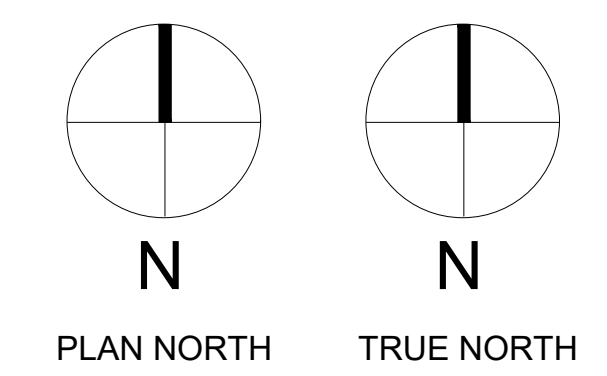
-  ACM FLOOR TILE WITH ASSOCIATED ACM ADHESIVE
-  1 ACM INSULATED PIPE FITTING ABOVE CEILING

NOTE:
 ALL EXTERIOR WINDOWS HAVE ASBESTOS
 CONTAINING CAULKING.

- NOTES:**
- DRAWINGS PROVIDE GENERAL COORDINATION OF INFORMATION ONLY AND ARE SCHEMATIC IN THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED AS REQUIRED BY THE RENOVATION PROJECT. SUBCONTRACTOR RESPONSIBLE FOR CONFIRMING ACTUAL QUANTITIES OF ASBESTOS-CONTAINING MATERIALS (ACM) AND NON-ACM BUILDING MATERIALS TO BE REMOVED PRIOR TO SUBMITTAL OF BIDS.
 - IDENTIFIED ACM TO BE ABATED AS PART OF RENOVATION/DEMOLITION ACTIVITIES. REFER TO TABLE 1: SUMMARY OF IDENTIFIED ASBESTOS-CONTAINING MATERIALS (ACM) AND ESTIMATED QUANTITIES, CURTIS HALL, MAINE MARITIME ACADEMY, CASTINE, MAINE.
 - SUBCONTRACTOR RESPONSIBLE FOR A SITE-SPECIFIC ASBESTOS ABATEMENT PROJECT DESIGN AND WORK PLAN FOR EACH WORK AREA PREPARED BY A MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION (MDEP) LICENSED ASBESTOS DESIGN CONSULTANT.
 - SUBCONTRACTOR RESPONSIBLE FOR SUBMISSION OF FEDERAL AND STATE NOTIFICATIONS AND ASSOCIATED FEES.
 - SUBCONTRACTOR TO PROVIDE A MDEP LICENSED INDEPENDENT AIR MONITOR FOR VISUAL INSPECTIONS AND AIR CLEARANCES. AS REQUIRED, EVIDENCE OF VISUAL INSPECTION AND AIR CLEARANCES, AS REQUIRED, MUST BE SUBMITTED TO THE OWNER.
 - CONTAMINATED WASTE HANDLING COSTS, SUCH AS WASTE PACKAGING, STORING/HANDLING, TRANSPORT/DISPOSAL, PERMITTING, RECORD KEEPING, AND NON-CONTAMINATED WASTE HANDLING MUST BE INCLUDED IN THE CONTRACTOR'S PROPOSAL AS APPLICABLE TO REMOVAL OF ASBESTOS MATERIALS AND/OR PERFORMANCE OF THE RELATED ABATEMENT ACTIVITIES.
 - PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR ACM REMOVALS.
 - ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE SUBCONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF.

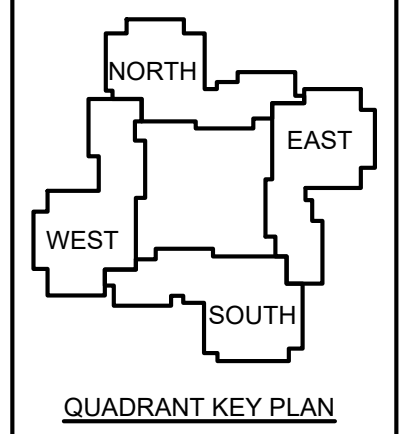


FIRST FLOOR PLAN
 SCALE: 3/32"=1'-0"



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| No. | Date | Description |
|-----|------|-------------|
| | | |

Revision Schedule

NOT FOR
 CONSTRUCTION

JOB NO.
 076982

ISSUE
 ADDENDUM #1
 ISSUED FOR
 BIDDING

TITLE
FIRST FLOOR
 IDENTIFIED
 ASBESTOS-CONTAINING
 MATERIALS

SHEET

H101

E

D

C

B

A

E

D

C

B

A

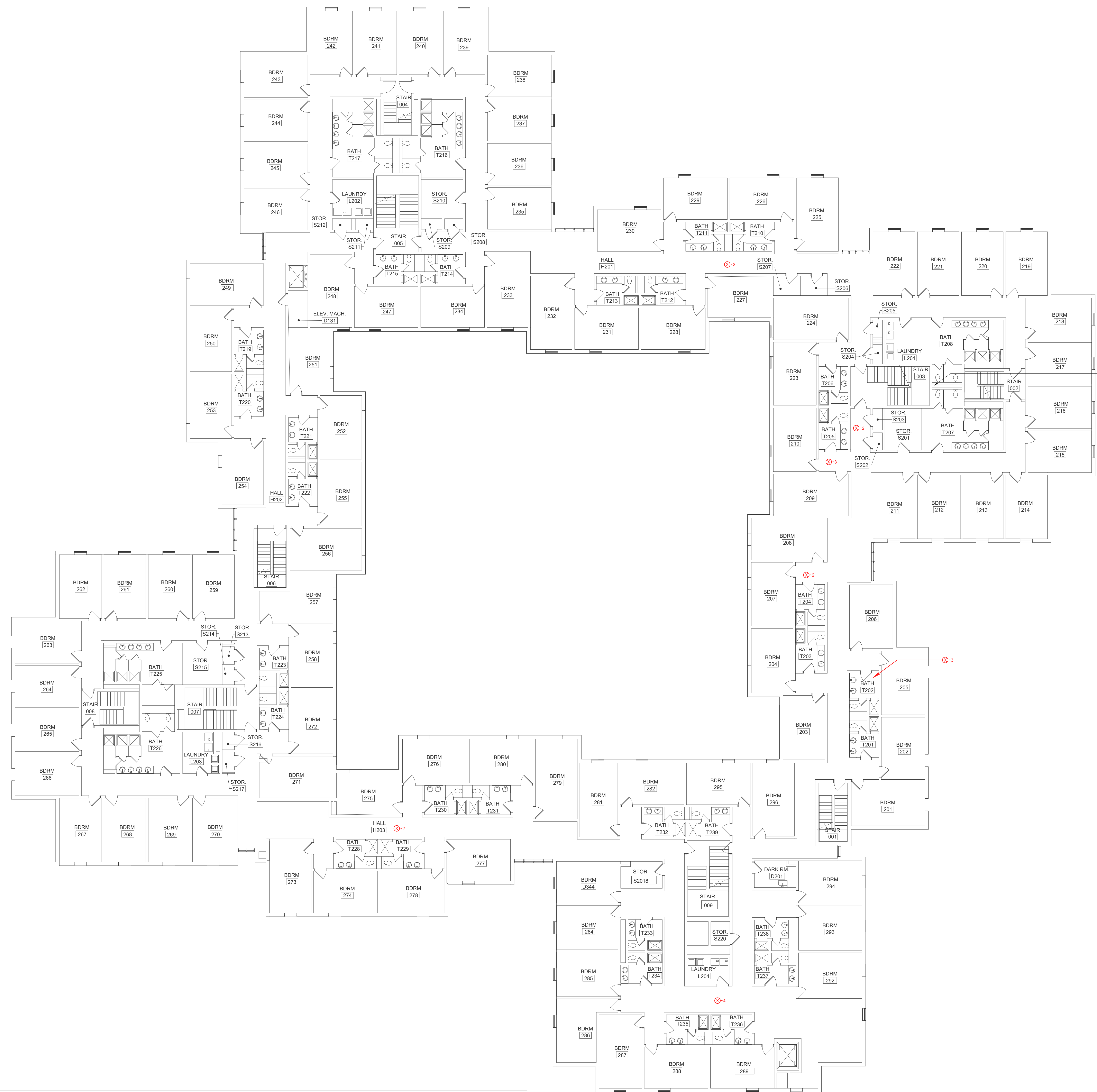
PLAN REFERENCE:
 FLOOR PLAN DERIVED FROM DRAWINGS BY OTHERS PROVIDED TO
 HALEY WARD, INC. AND ARE NOT WARRANTED AS TO ACCURACY AND
 ARE INTENDED TO BE SCHEMATIC.

LEGEND
 Ⓧ-1 ACM INSULATED PIPE FITTING ABOVE CEILING

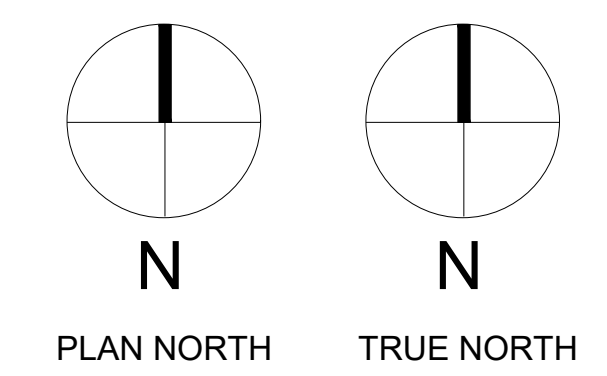
NOTE:
 ALL EXTERIOR WINDOWS HAVE ASBESTOS
 CONTAINING CAULKING.

- NOTES:**
- DRAWINGS PROVIDE GENERAL COORDINATION OF INFORMATION ONLY AND ARE SCHEMATIC IN THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED AS REQUIRED BY THE RENOVATION PROJECT. SUBCONTRACTOR RESPONSIBLE FOR CONFIRMING ACTUAL QUANTITIES OF ASBESTOS-CONTAINING MATERIALS (ACM) AND NON-ACM BUILDING MATERIALS TO BE REMOVED PRIOR TO SUBMITTAL OF BIDS.
 - IDENTIFIED ACM TO BE ABATED AS PART OF RENOVATION/DEMOLITION ACTIVITIES. REFER TO TABLE 1: SUMMARY OF IDENTIFIED ASBESTOS-CONTAINING MATERIALS (ACM) AND ESTIMATED QUANTITIES, CURTIS HALL, MAINE MARITIME ACADEMY, CASTINE, MAINE.
 - SUBCONTRACTOR RESPONSIBLE FOR A SITE-SPECIFIC ASBESTOS ABATEMENT PROJECT DESIGN AND WORK PLAN FOR EACH WORK AREA PREPARED BY A MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION (MDEP) LICENSED ASBESTOS DESIGN CONSULTANT.
 - SUBCONTRACTOR RESPONSIBLE FOR SUBMISSION OF FEDERAL AND STATE NOTIFICATIONS AND ASSOCIATED FEES.
 - SUBCONTRACTOR TO PROVIDE A MDEP LICENSED INDEPENDENT AIR MONITOR FOR VISUAL INSPECTION AND AIR CLEARANCES, AS REQUIRED, MUST BE SUBMITTED TO THE OWNER.
 - CONTAMINATED WASTE HANDLING COSTS, SUCH AS WASTE PACKAGING, STORAGE/HANDLING, TRANSPORT/SPSAL, PERMITTING, RECORD KEEPING, AND NON-CONTAMINATED WASTE HANDLING MUST BE INCLUDED IN THE CONTRACTOR'S PROPOSAL AS APPLICABLE TO REMOVAL OF ASBESTOS MATERIALS AND/OR PERFORMANCE OF THE RELATED ABATEMENT ACTIVITIES.
 - PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR ACM REMOVALS.
 - ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE SUBCONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF.

NOTE: ROOF DRAIN



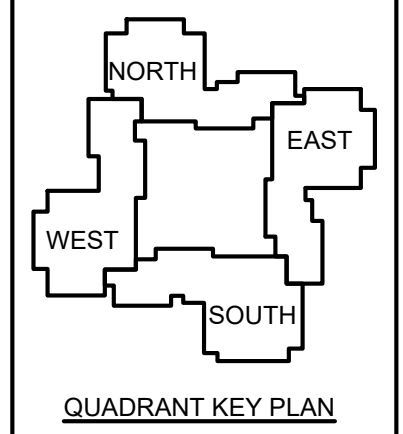
SECOND FLOOR PLAN
 SCALE: 3/32"=1'-0"



CHA Architecture, P.C.
 1016 Spring Villa Point
 Winter Springs, FL 32738
 407.678.5358 - www.chacompanies.com

COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| No. | Date | Description |
|-----|------|-------------|
| | | |

| Revision | Schedule |
|----------|----------|
| | |

NOT FOR
 CONSTRUCTION

JOB NO.
 076982

ISSUE
 ADDENDUM #1
 ISSUED FOR
 BIDDING

TITLE
SECOND FLOOR
 IDENTIFIED
 ASBESTOS-CONTAINING
 MATERIALS

SHEET

H102

E

D

C

B

A

E

D

C

B

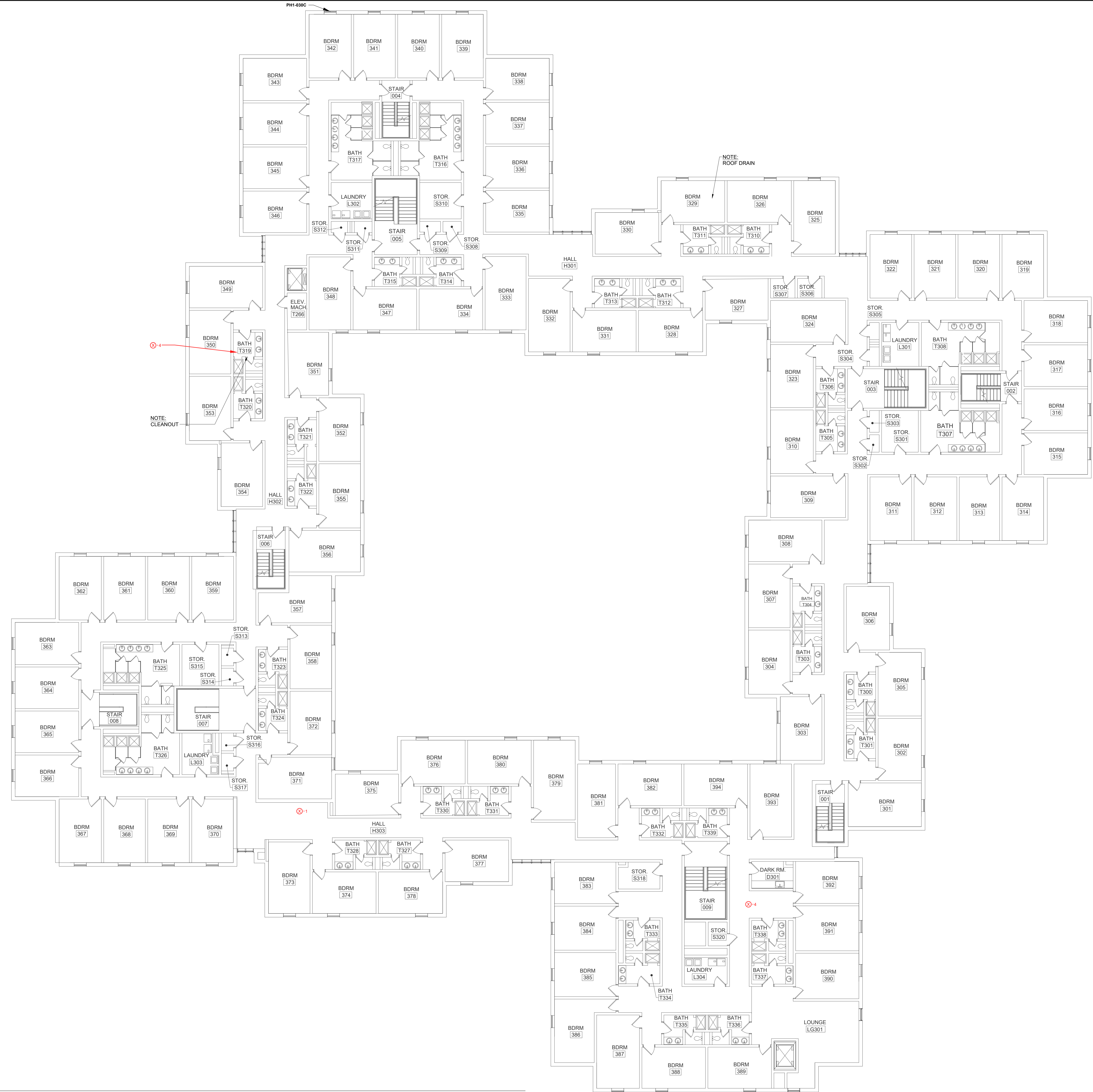
A

PLAN REFERENCE:
 FLOOR PLAN DERIVED FROM DRAWINGS BY OTHERS PROVIDED TO
 HALEY WARD, INC. AND ARE NOT WARRANTED AS TO ACCURACY AND
 ARE INTENDED TO BE SCHEMATIC.

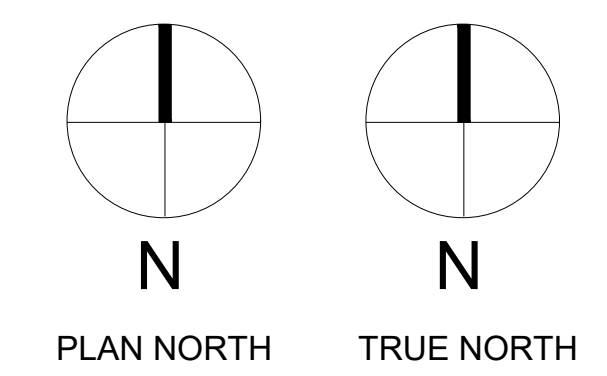
LEGEND
 (Symbol) ACM INSULATED PIPE FITTING ABOVE CEILING

NOTE:
 ALL EXTERIOR WINDOWS HAVE ASBESTOS
 CONTAINING CAULKING.

- NOTES:**
- DRAWINGS PROVIDE GENERAL COORDINATION OF INFORMATION ONLY AND ARE SCHEMATIC IN THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED AS REQUIRED BY THE RENOVATION PROJECT. SUBCONTRACTOR RESPONSIBLE FOR CONFIRMING ACTUAL QUANTITIES OF ASBESTOS-CONTAINING MATERIALS (ACM) AND NON-ACM BUILDING MATERIALS TO BE REMOVED PRIOR TO SUBMITTAL OF BIDS.
 - IDENTIFIED ACM TO BE ABATED AS PART OF RENOVATION/DEMOLITION ACTIVITIES. REFER TO TABLE 1: SUMMARY OF IDENTIFIED ASBESTOS-CONTAINING MATERIALS (ACM) AND ESTIMATED QUANTITIES, CURTIS HALL, MAINE MARITIME ACADEMY, CASTINE, MAINE.
 - SUBCONTRACTOR RESPONSIBLE FOR A SITE-SPECIFIC ASBESTOS ABATEMENT PROJECT DESIGN AND WORK PLAN FOR EACH WORK AREA PREPARED BY A MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION (MDEP) LICENSED ASBESTOS DESIGN CONSULTANT.
 - SUBCONTRACTOR RESPONSIBLE FOR SUBMISSION OF FEDERAL AND STATE NOTIFICATIONS AND ASSOCIATED FEES.
 - SUBCONTRACTOR TO PROVIDE A MDEP LICENSED INDEPENDENT AIR MONITOR FOR VISUAL INSPECTIONS AND AIR CLEARANCES. AS REQUIRED, EVIDENCE OF VISUAL INSPECTION AND AIR CLEARANCES, AS REQUIRED, MUST BE SUBMITTED TO THE OWNER.
 - CONTAMINATED WASTE HANDLING COSTS, SUCH AS WASTE PACKAGING, STORAGE/HANDLING, TRANSPORT/DISPOSAL, PERMITTING, RECORD KEEPING, AND NON-CONTAMINATED WASTE HANDLING MUST BE INCLUDED IN THE CONTRACTOR'S PROPOSAL AS APPLICABLE TO REMOVAL OF ASBESTOS MATERIALS AND/OR PERFORMANCE OF THE RELATED ABATEMENT ACTIVITIES.
 - PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR ACM REMOVALS.
 - ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE SUBCONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF.

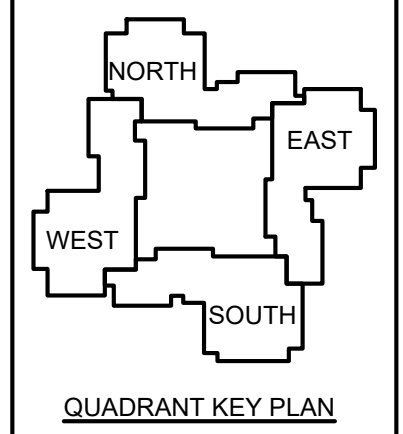


THIRD FLOOR PLAN
 SCALE: 3/32"=1'-0"



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| No. | Date | Description |
|-------------------|------|-------------|
| Revision Schedule | | |

NOT FOR
 CONSTRUCTION

JOB NO.
 076982

ISSUE
 ADDENDUM #1
 ISSUED FOR
 BIDDING

TITLE
THIRD FLOOR
 IDENTIFIED
 ASBESTOS-CONTAINING
 MATERIALS

SHEET
H103

E

D

C

B

A

E

D

C

B

A

PLAN REFERENCE:
 FLOOR PLAN DERIVED FROM DRAWINGS BY OTHERS PROVIDED TO
 HALEY WARD, INC. AND ARE NOT WARRANTED AS TO ACCURACY AND
 ARE INTENDED TO BE SCHEMATIC.

LEGEND
 Ⓢ-1 ACM INSULATED PIPE FITTING ABOVE CEILING

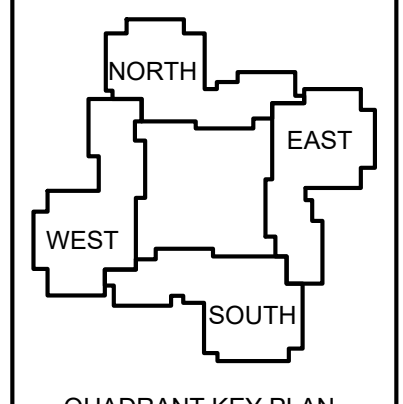
NOTE:
 ALL EXTERIOR WINDOWS HAVE ASBESTOS
 CONTAINING CAULKING.

- NOTES:**
- DRAWINGS PROVIDE GENERAL COORDINATION OF INFORMATION ONLY AND ARE SCHEMATIC IN THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED AS REQUIRED BY THE RENOVATION PROJECT. SUBCONTRACTOR RESPONSIBLE FOR CONFIRMING ACTUAL QUANTITIES OF ASBESTOS-CONTAINING MATERIALS (ACM) AND NON-ACM BUILDING MATERIALS TO BE REMOVED PRIOR TO SUBMITTAL OF BIDS.
 - IDENTIFIED ACM TO BE ABATED AS PART OF RENOVATION/DEMOLITION ACTIVITIES. REFER TO TABLE 1: SUMMARY OF IDENTIFIED ASBESTOS-CONTAINING MATERIALS (ACM) AND ESTIMATED QUANTITIES, CURTIS HALL, MAINE MARITIME ACADEMY, CASTINE, MAINE.
 - SUBCONTRACTOR RESPONSIBLE FOR A SITE-SPECIFIC ASBESTOS ABATEMENT PROJECT DESIGN AND WORK PLAN FOR EACH WORK AREA PREPARED BY A MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION (MDEP) LICENSED ASBESTOS DESIGN CONSULTANT.
 - SUBCONTRACTOR RESPONSIBLE FOR SUBMISSION OF FEDERAL AND STATE NOTIFICATIONS AND ASSOCIATED FEES.
 - SUBCONTRACTOR TO PROVIDE A MDEP LICENSED INDEPENDENT AIR MONITOR FOR VISUAL INSPECTIONS AND AIR CLEARANCES. AS REQUIRED, EVIDENCE OF VISUAL INSPECTION AND AIR CLEARANCES, AS REQUIRED, MUST BE SUBMITTED TO THE OWNER.
 - CONTAMINATED WASTE HANDLING COSTS, SUCH AS WASTE PACKAGING, STORAGE/HANDLING, TRANSPORT/SPSAL, PERMITTING, RECORD KEEPING, AND NON-CONTAMINATED WASTE HANDLING MUST BE INCLUDED IN THE CONTRACTOR'S PROPOSAL AS APPLICABLE TO REMOVAL OF ASBESTOS MATERIALS AND/OR PERFORMANCE OF THE RELATED ABATEMENT ACTIVITIES.
 - PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR ACM REMOVALS.
 - ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE SUBCONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF.



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| No. | Date | Description |
|-----|------|-------------|
| | | |

Revision Schedule

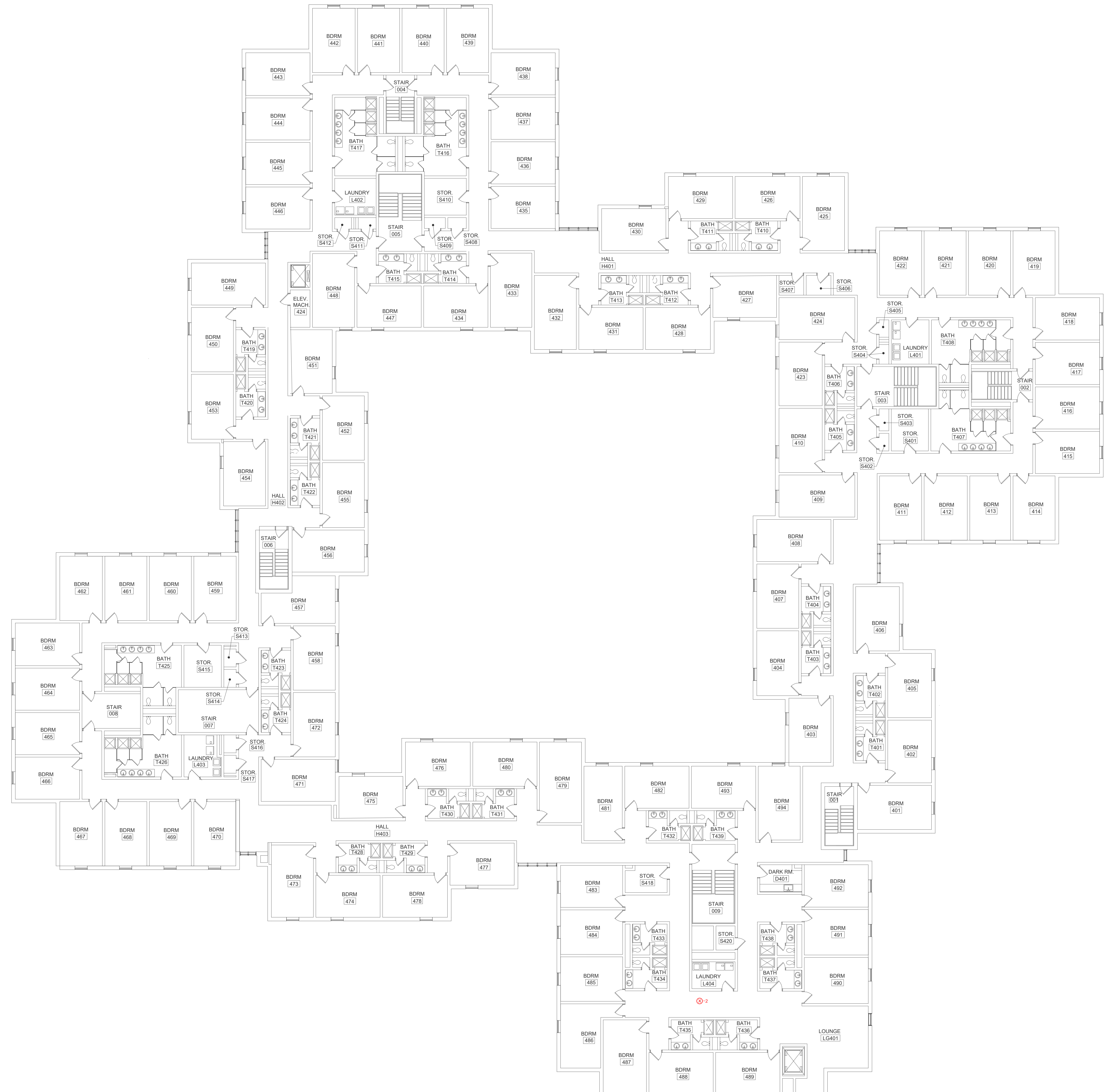
NOT FOR CONSTRUCTION

JOB NO.
076982

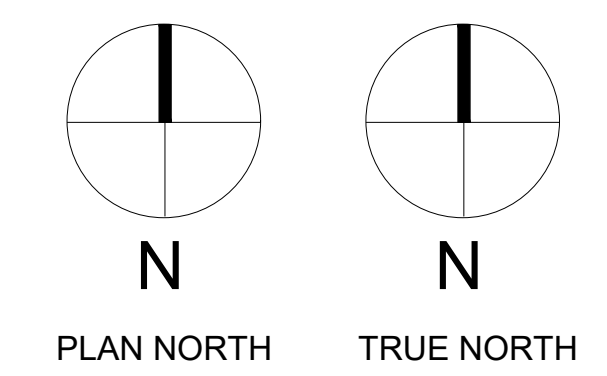
ISSUE
ADDENDUM #1
ISSUED FOR
BIDDING

TITLE
FOURTH FLOOR
IDENTIFIED
ASBESTOS-CONTAINING
MATERIALS

SHEET
H104



GROUND FLOOR PLAN
 SCALE: 3/32"=1'-0"



CURTIS HALL RENOVATIONS
Maine Maritime Academy,
1 Pleasant Street, Castine, Maine 04421

| | | |
|-------------------|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

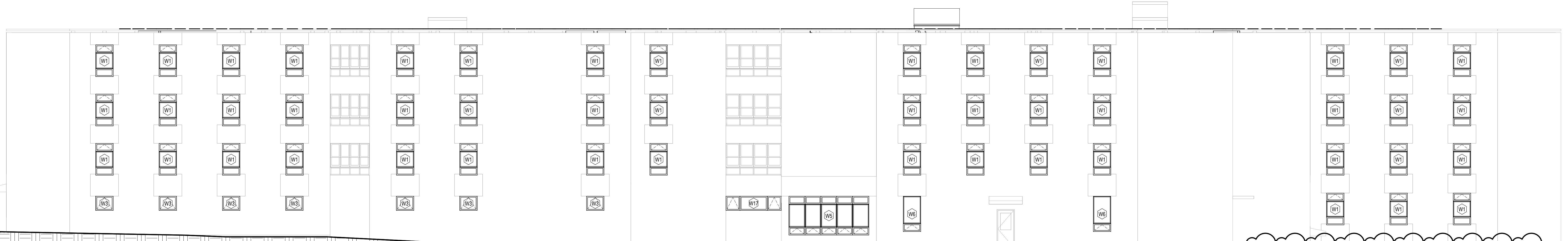
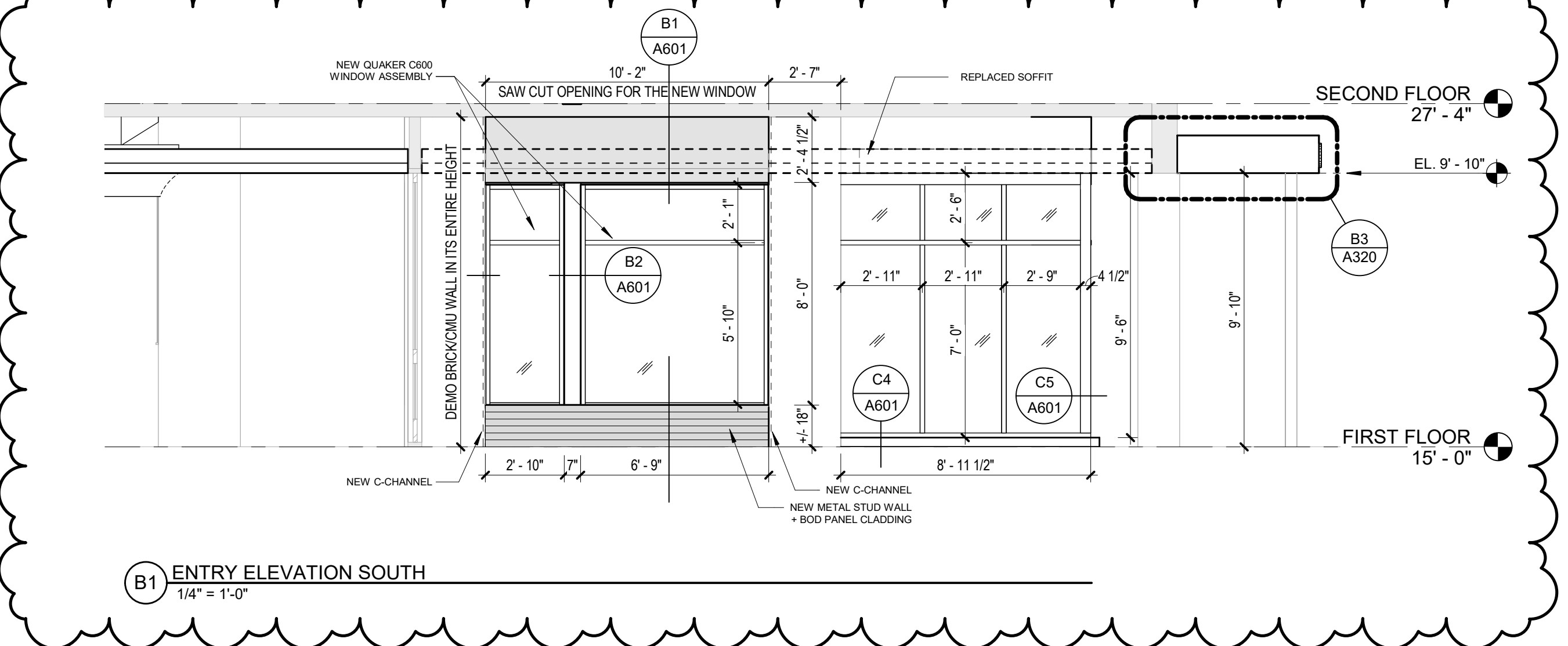
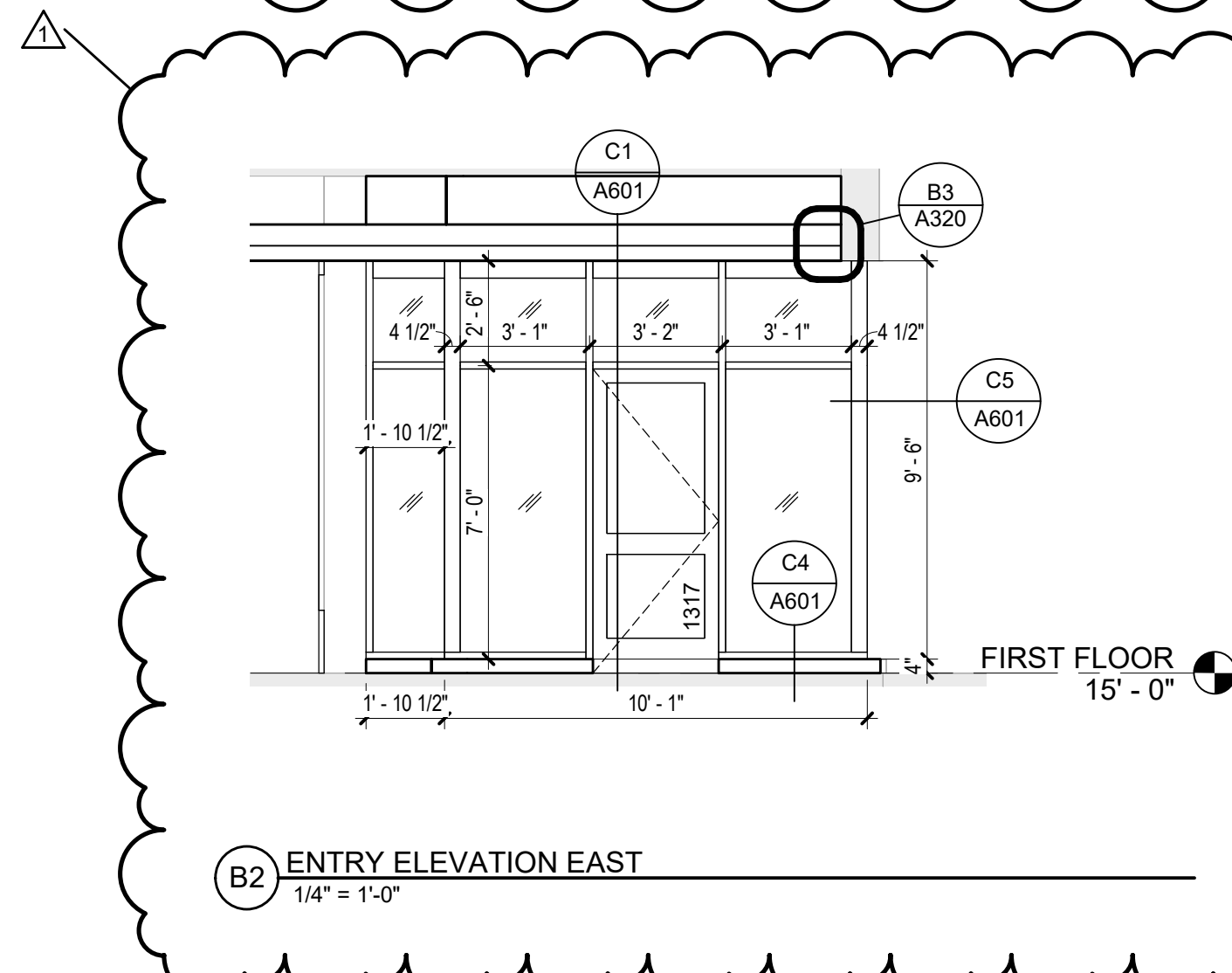
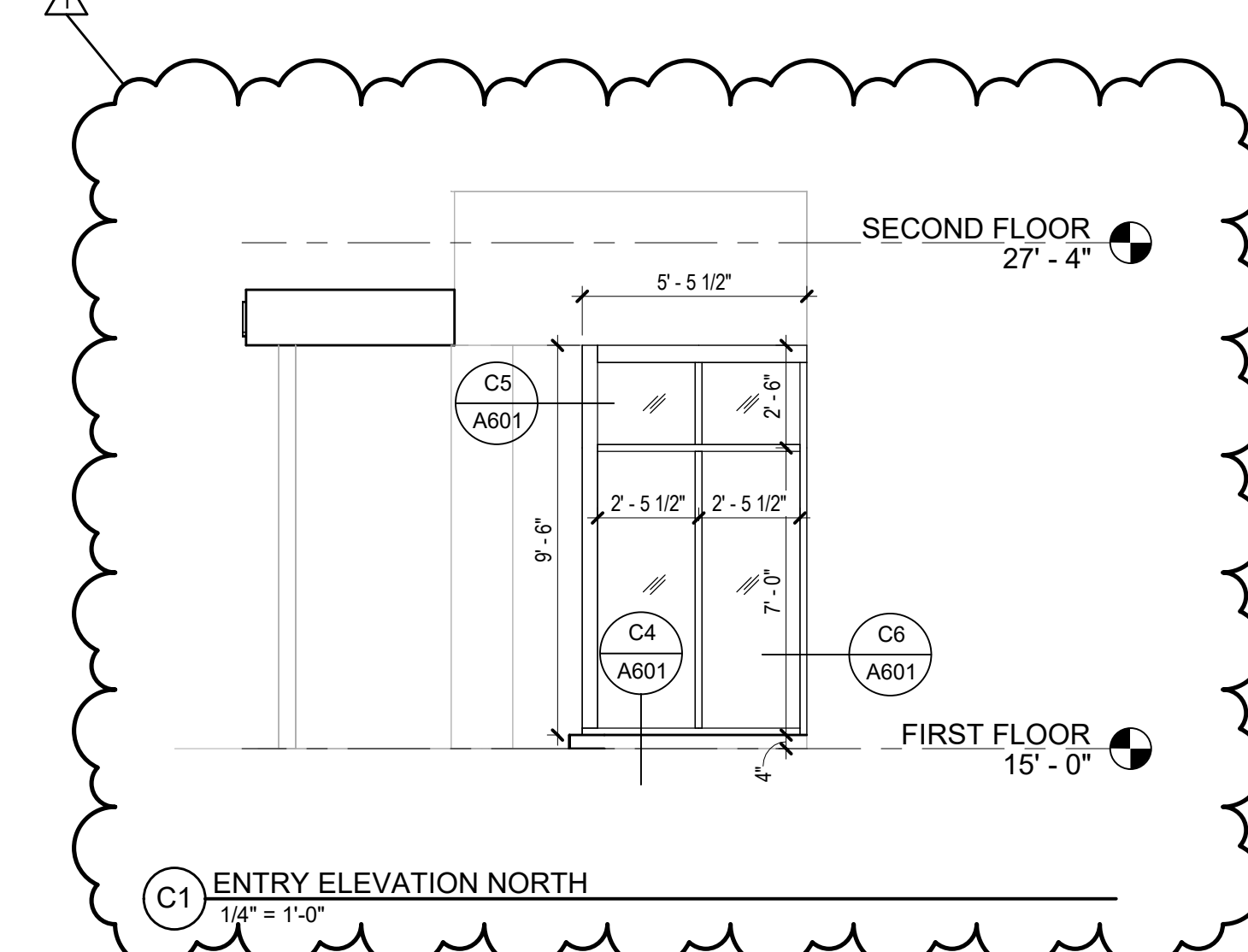
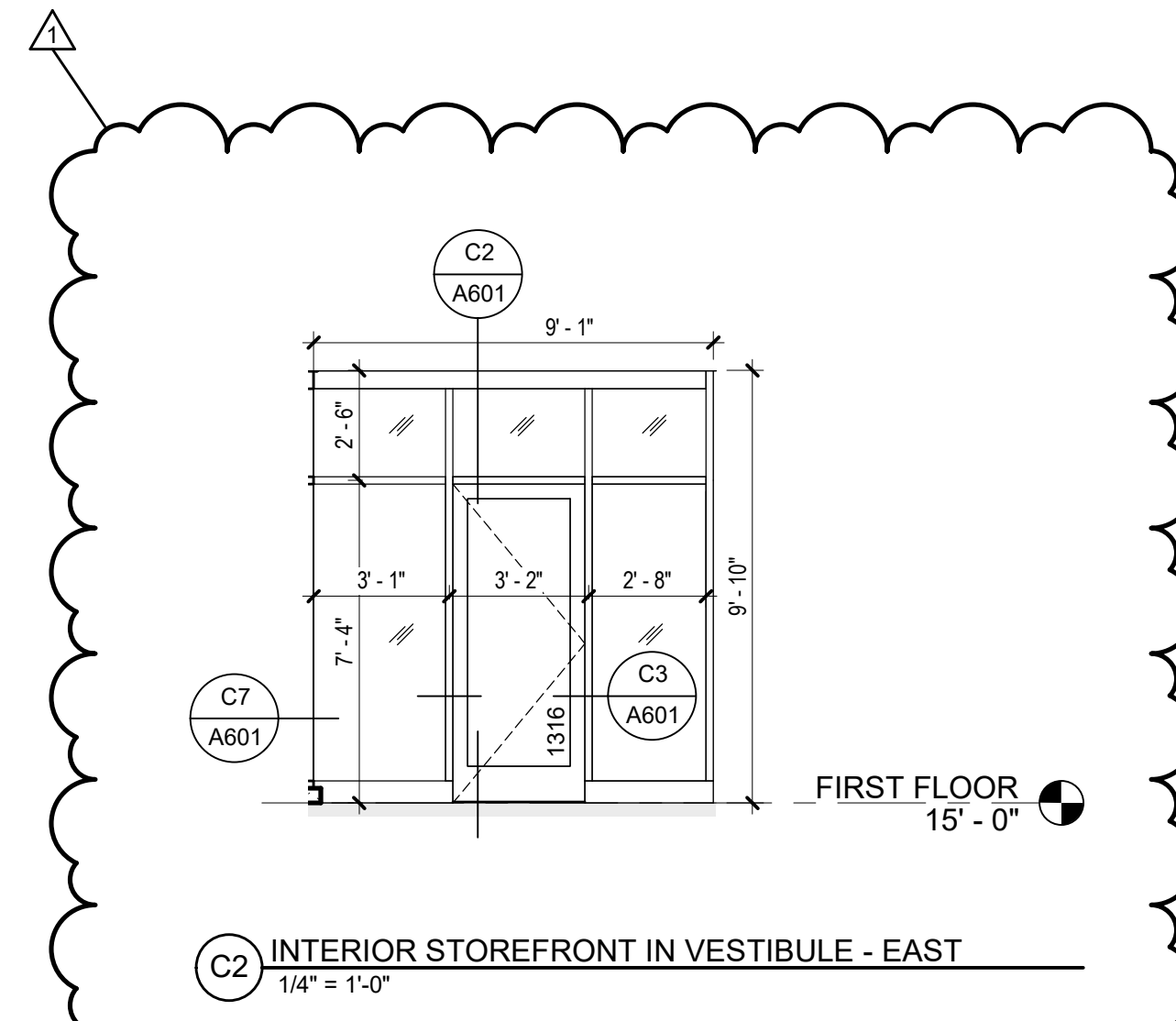
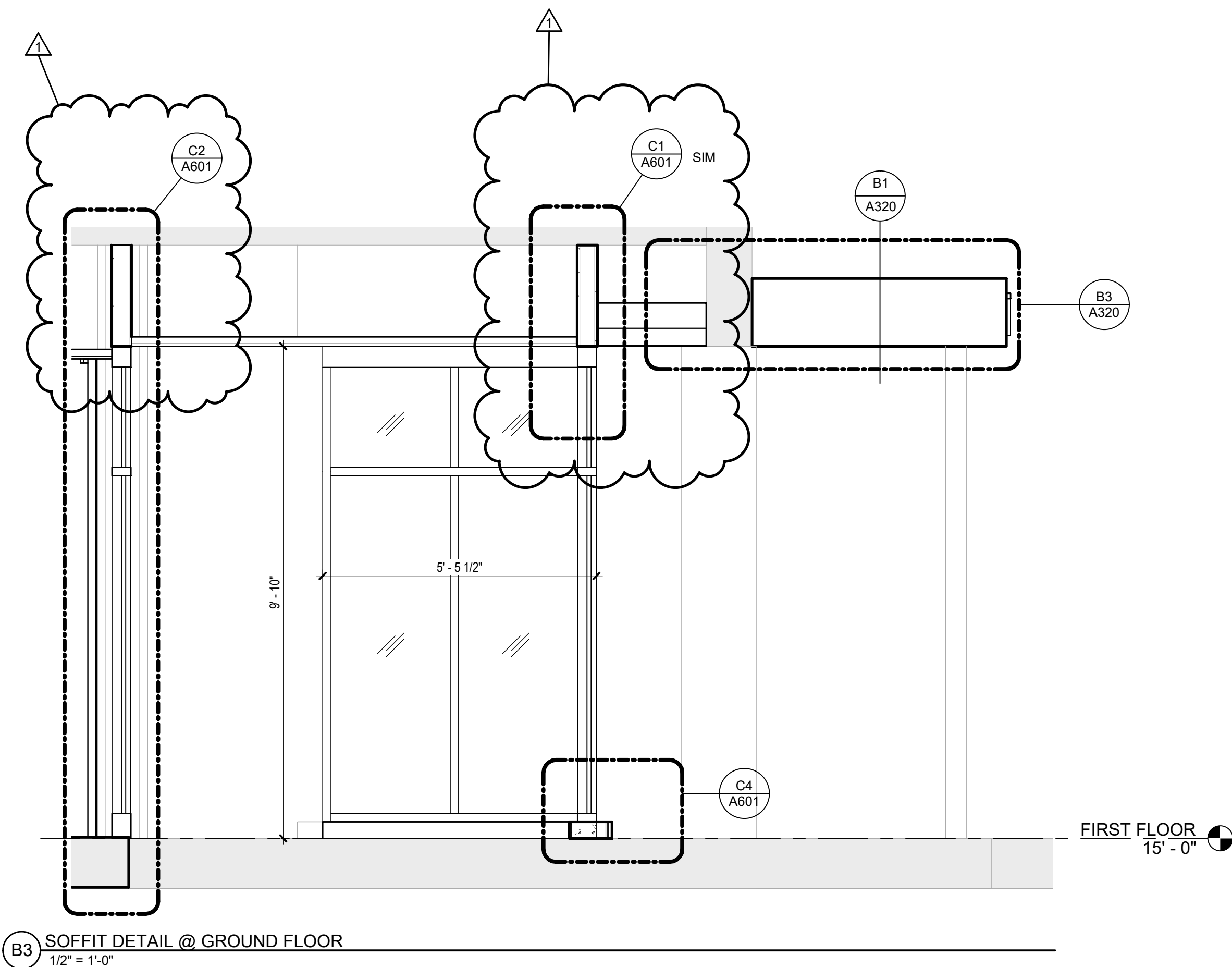
JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
EXTERIOR
ELEVATIONS AND
ENLARGED
ELEVATIONS OF
LOBBY

SHEET

A203



- GENERAL ELEVATION NOTES**
1. EXISTING VINYL REPLACEMENT WINDOWS ARE TO REMAIN.
 2. EXISTING STEEL WINDOWS ARE TO BE REPLACED, BUT FRAME ATTACHED TO MASONRY OPENING IS TO REMAIN IN PLACE, U.N.O.
 3. EXISTING EXTERIOR OUTER PERIMETER DOORS ARE TO REMAIN, U.N.O.
 4. NOT ALL MEP ITEMS ARE SHOWN ON ELEVATIONS. COORDINATE WITH MEP DRAWINGS FOR ADDITIONAL WORK TO FACADE INCLUDING WALL VENT CAPS.
 5. UNTAGGED WINDOWS AND DOORS ARE NOT IN SCOPE.
 6. REFER TO SHEET A600 FOR WINDOW INFORMATION.

BATHROOM INTERIORS GENERAL NOTES

- 1. SOLID SURFACE SHOWER INSERT UNIT, SEE DETAIL XXX
- 1.1 EXISTING FIBERGLASS SHOWER UNIT TO BE REMOVED AND REINSTALLED
- 2. SOLID SURFACE SHOWER SURROUND AND FLOOR, SEE DETAIL XXX
- 2.2 ADA UNIT WITH SOLID SURFACE SHOWER AND FLOOR
- 3. EXISTING TILE TO REMAIN
- 4. ALTERNATIVE #X: REPLACE WITH COUNTER APRON AND NEW PLAM APRON
- 5. ALL SALVAGED PLUMBING FIXTURES, MIRRORS, STALL DIVIDERS AND TOILET ACCESSORIES TO BE REINSTALLED AFTER INFILL IS COMPLETE

FINISH GENERAL NOTES

- 1. REFER TO FINISH PLAN AND SCHEDULE FOR ACCENT PAINT AT LOBBY
- 2. REFER TO FINISH PLANS FOR FLOOR MATERIAL TRANSITIONS AND FOR FLOOR PATTERN PLANS
- 3. TILE MEMBRANE USED IN CONJUNCTION WITH FLOOR TILE (FT-1, FT-1), INSTALL, REFER TO SPECIFICATIONS
- 4. PROVIDE FLOOR/WALL TRANSITION TRIM BETWEEN FLOOR AND WALL TILE; REFER TO SPECIFICATIONS
- 5. [P] INDICATES ACCENT WALL COLORS
- 6. REFER TO RCP FOR ACCENT PAINT COLORS
- 7. REFER TO FINISH PLANS FOR WALL FINISHES.



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy,
 1 Pleasant Street, Castine, Maine 04421

| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

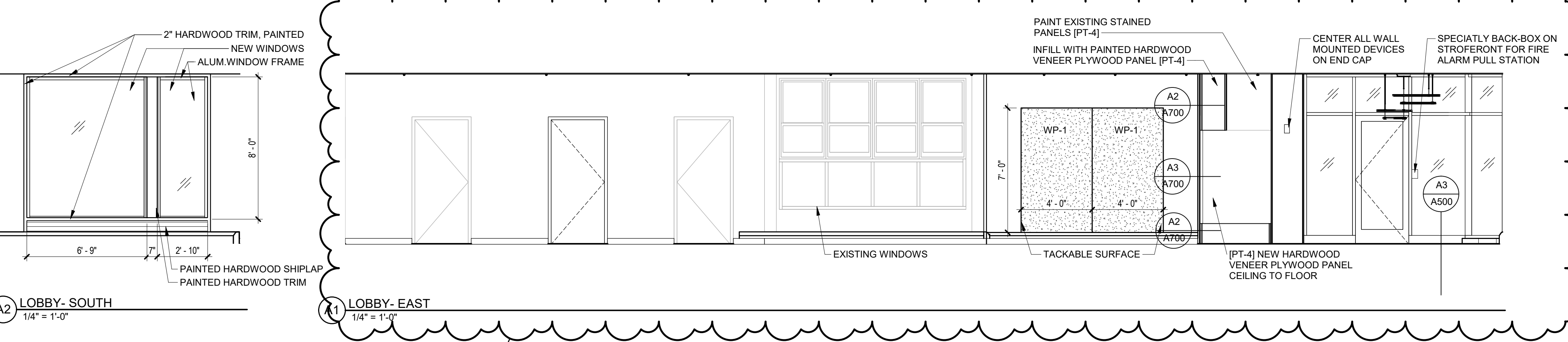
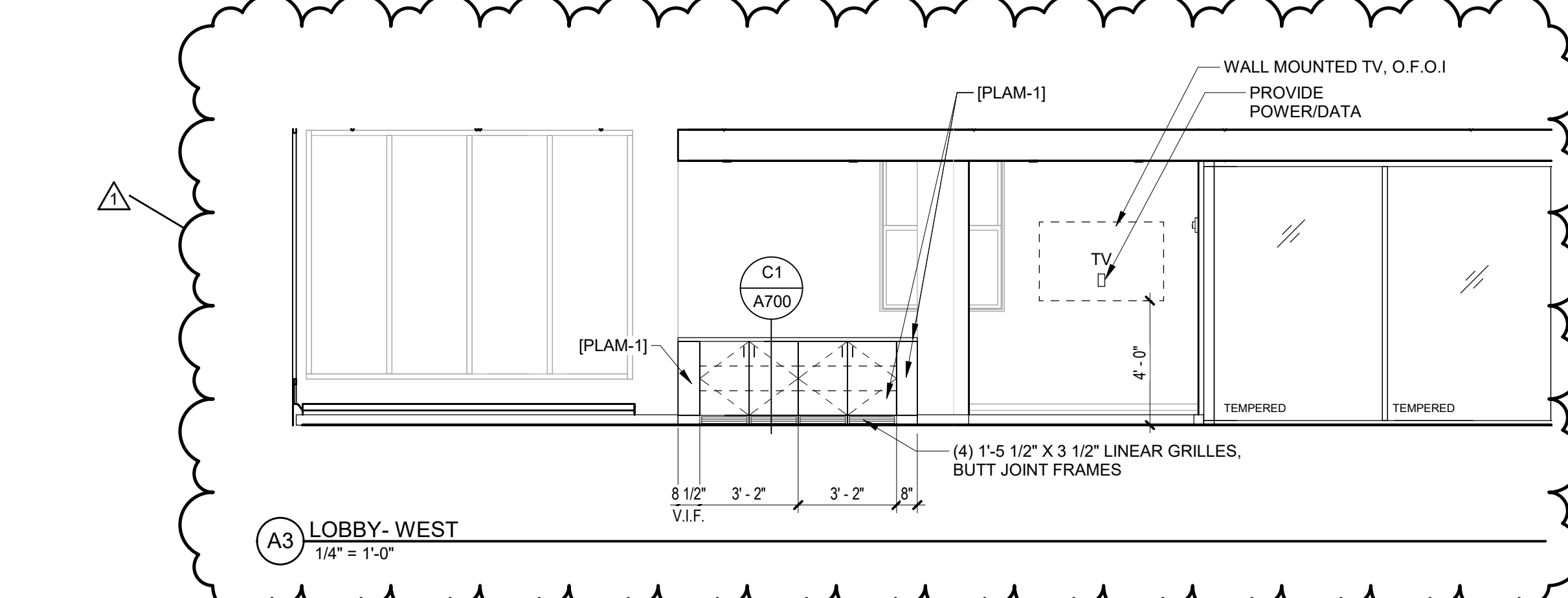
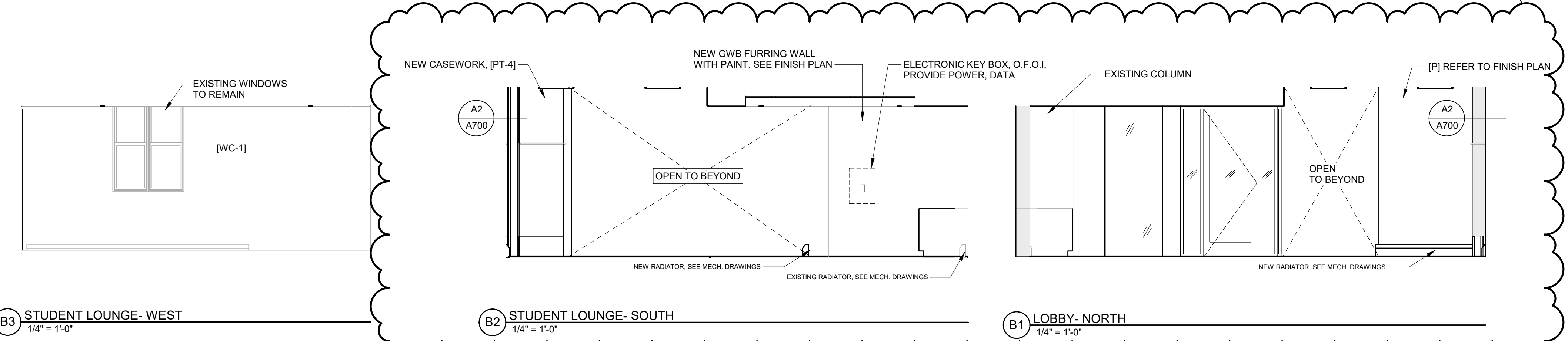
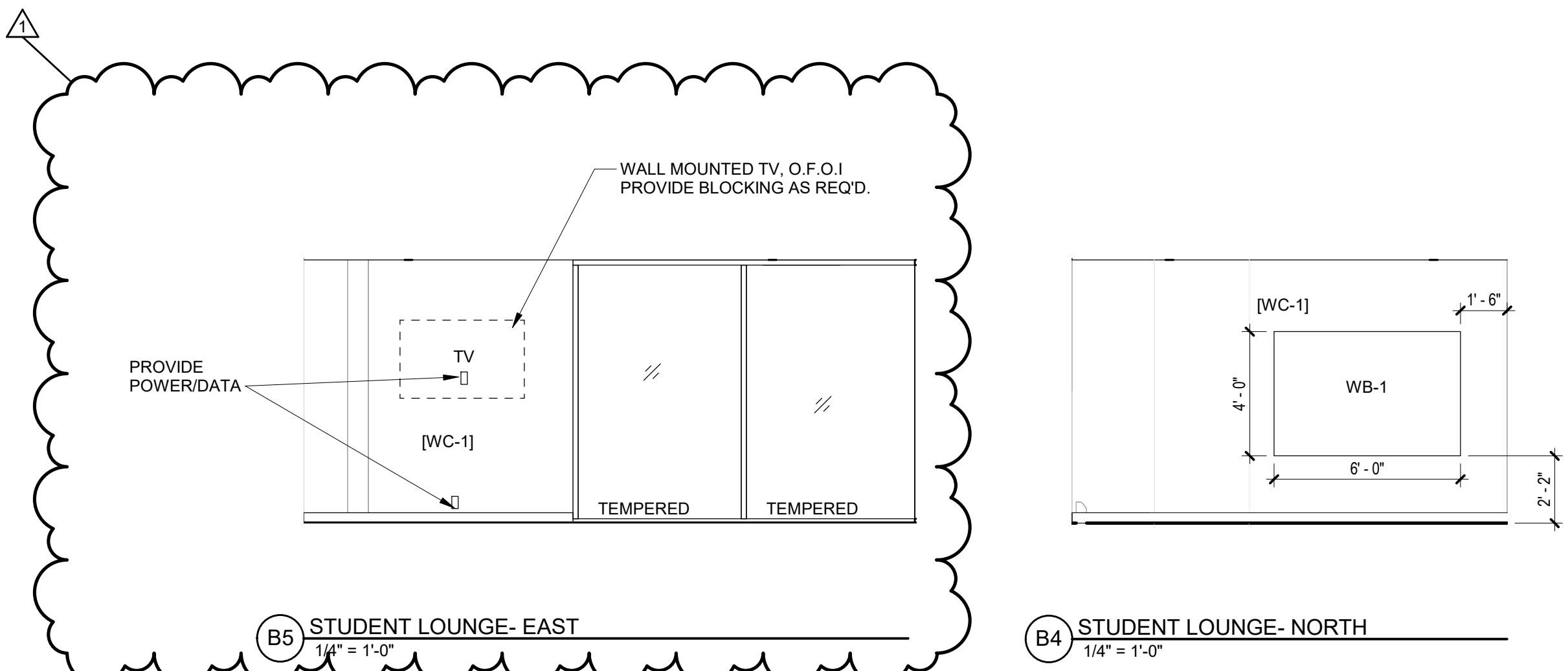
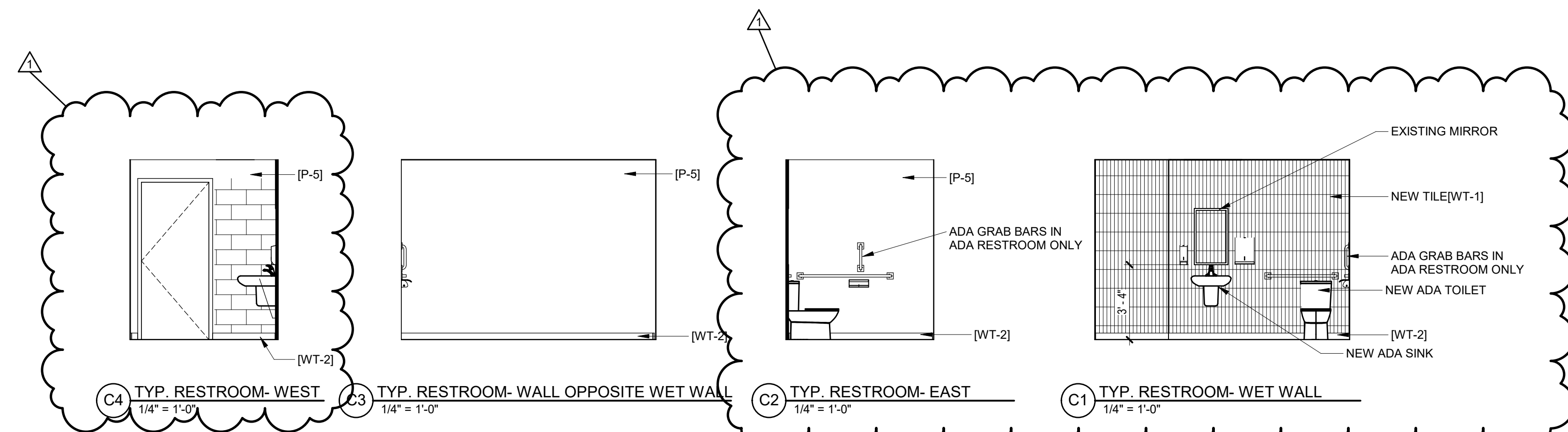
NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

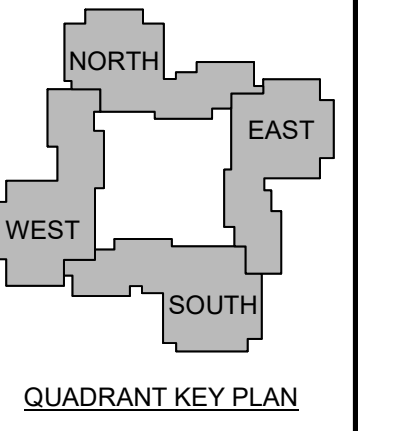
TITLE INTERIOR ELEVATIONS

SHEET A210



INTERIOR WALL FINISH NOTES

- 1. REFER TO WALL FINISH PLAN FOR INTERIOR FINISHES
- 2. ALL MATERIALS CALLED OUT ARE NEW
- 3. REFER TO TYPICAL MOUNTING HEIGHTS AND REQUIRED CLEARANCES ON SHEET A000.2
- 4. ALL STOREFRONT GLAZING PANES TO BE TEMPERED GLASS. REFER TO SPEC FOR GLASS TYPES



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

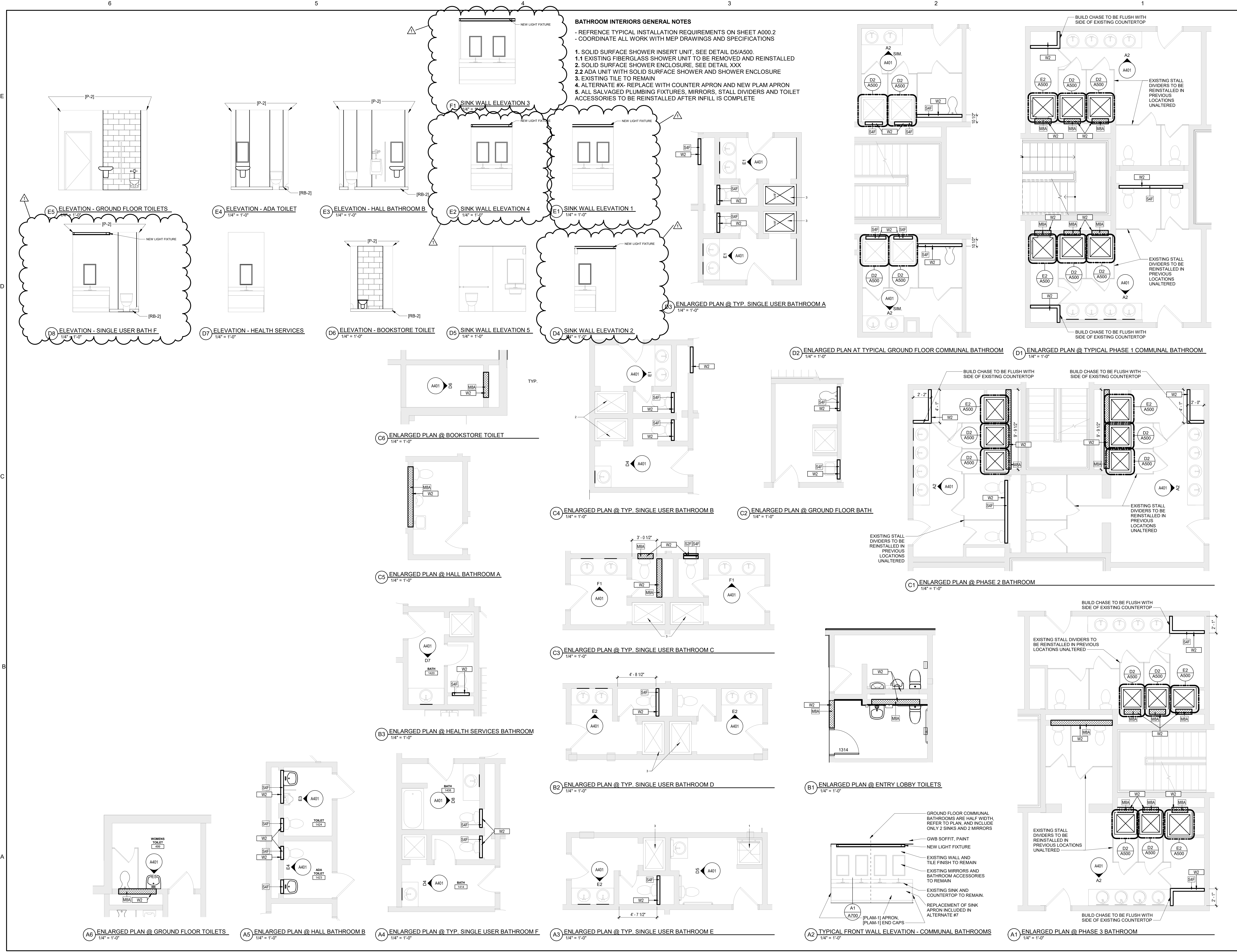
TITLE
TYPICAL ENLARGED PLANS - BATHROOMS

SHEET
A401

BATHROOM INTERIORS GENERAL NOTES

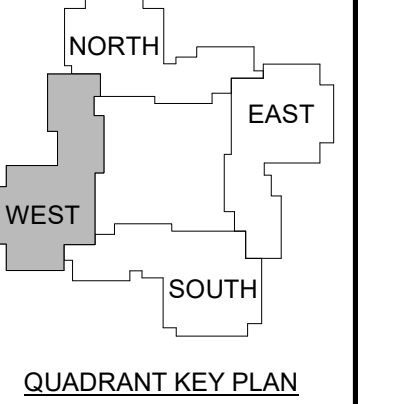
- REFERENCE TYPICAL INSTALLATION REQUIREMENTS ON SHEET A000.2
- COORDINATE ALL WORK WITH MEP DRAWINGS AND SPECIFICATIONS

1. SOLID SURFACE SHOWER INSERT UNIT. SEE DETAIL D5/A500.
- 1.1 EXISTING FIBERGLASS SHOWER UNIT TO BE REMOVED AND REINSTALLED
2. SOLID SURFACE SHOWER ENCLOSURE. SEE DETAIL XXX
- 2.2 ADA UNIT WITH SOLID SURFACE SHOWER AND SHOWER ENCLOSURE
3. EXISTING TILE TO REMAIN
4. ALTERNATE #X- REPLACE WITH COUNTER APRON AND NEW PLAM APRON
5. ALL SALVAGED PLUMBING FIXTURES, MIRRORS, STALL DIVIDERS AND TOILET ACCESSORIES TO BE REINSTALLED AFTER INFILL IS COMPLETE



E
D
C
B
A

6
5
4
3
2
1



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 1 FIRST FLOOR STRUCTURAL PLANS

SHEET
S101.1

FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

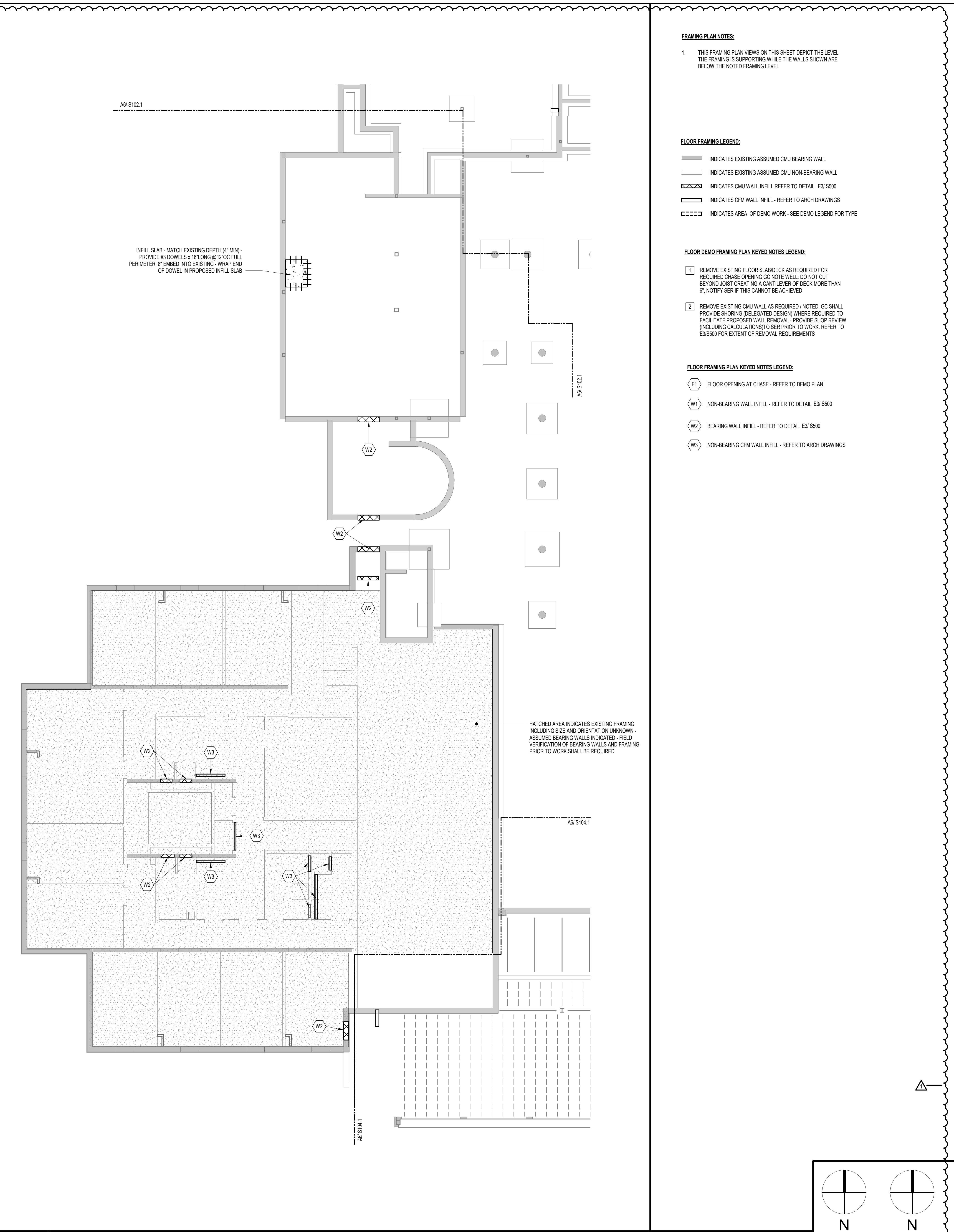
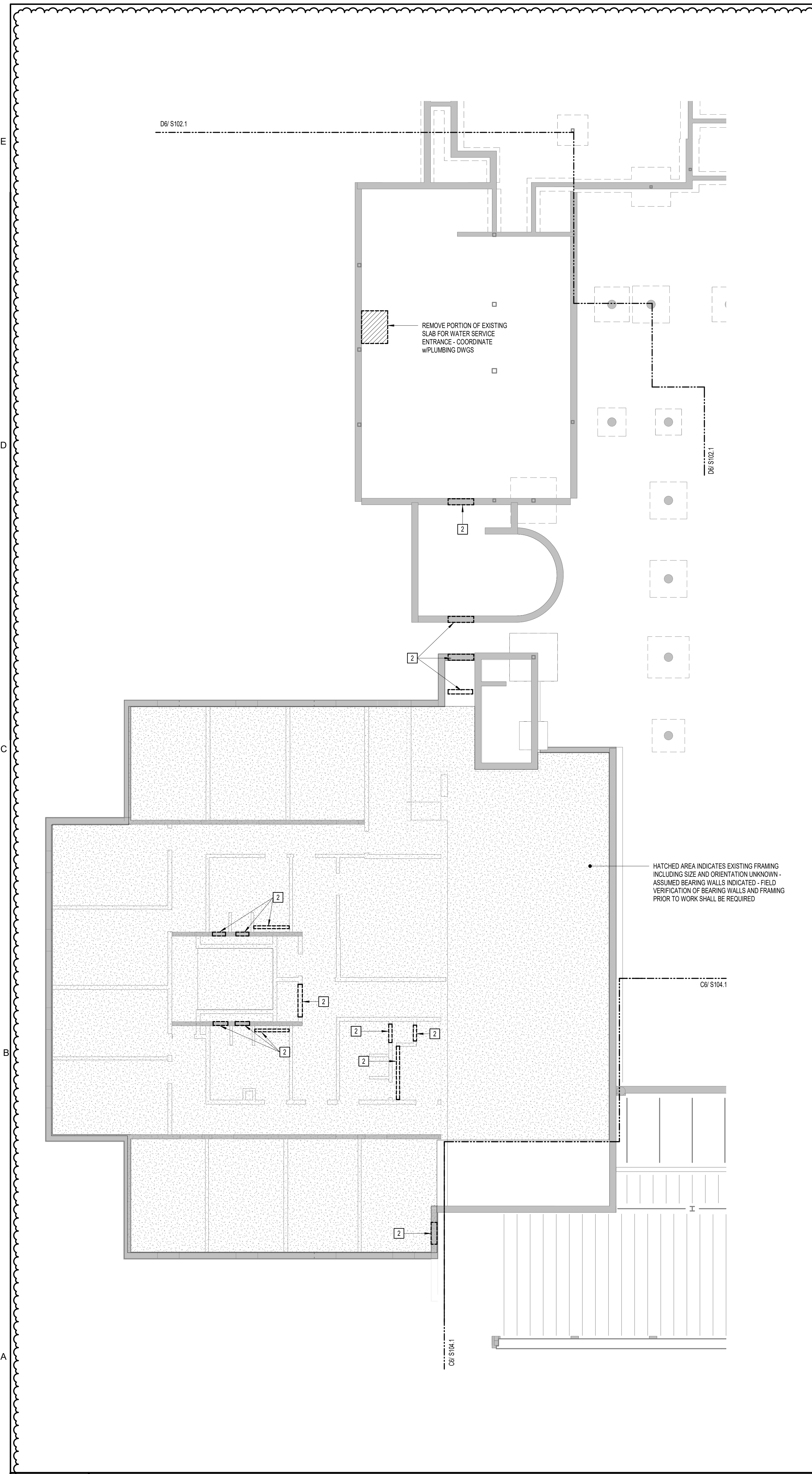
- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- ▨ INDICATES CMU WALL INFILL - REFER TO DETAIL E3/S500
- ▤ INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- - - - - INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL: DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 8', NOTIFY SER IF THIS CANNOT BE ACHIEVED
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS

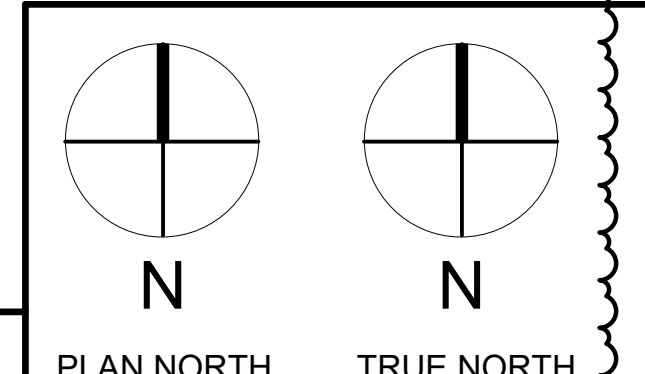
FLOOR FRAMING PLAN KEYED NOTES LEGEND:

- (F1) FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- (W1) NON-BEARING WALL INFILL - REFER TO DETAIL E3/S500
- (W2) BEARING WALL INFILL - REFER TO DETAIL E3/S500
- (W3) NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS



A6 PHASE 1 FIRST FLOOR STRUCTURAL DEMO PLAN
 1/8" = 1'-0"

A3 PHASE 1 FIRST FLOOR STRUCTURAL FRAMING PLAN
 1/8" = 1'-0"



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 SECOND FLOOR STRUCTURAL PLANS

SHEET
S101.2

FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

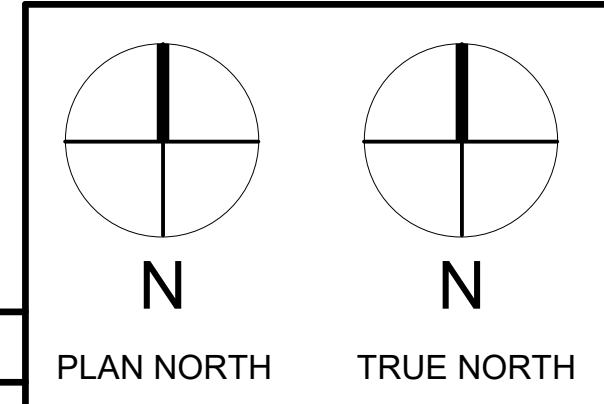
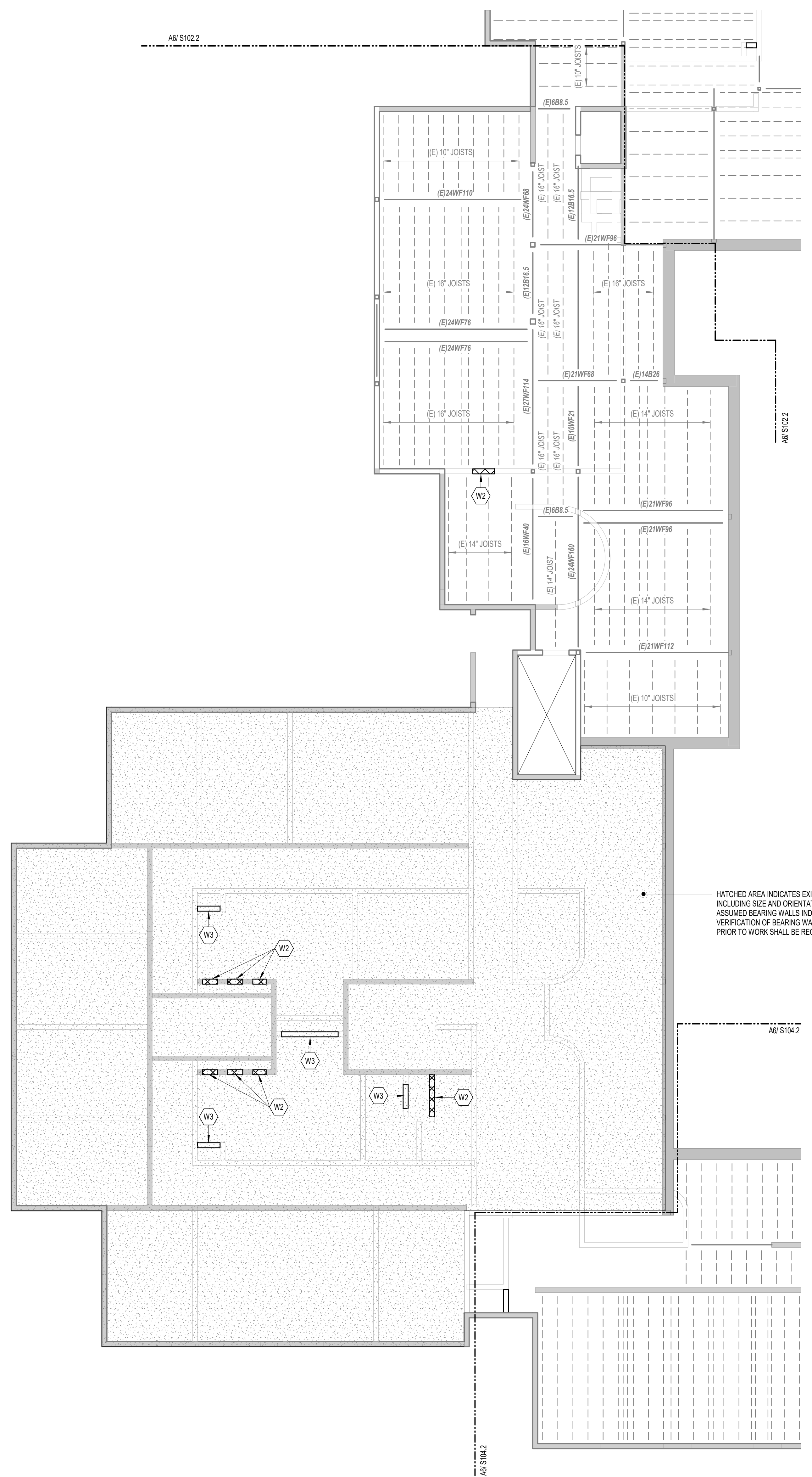
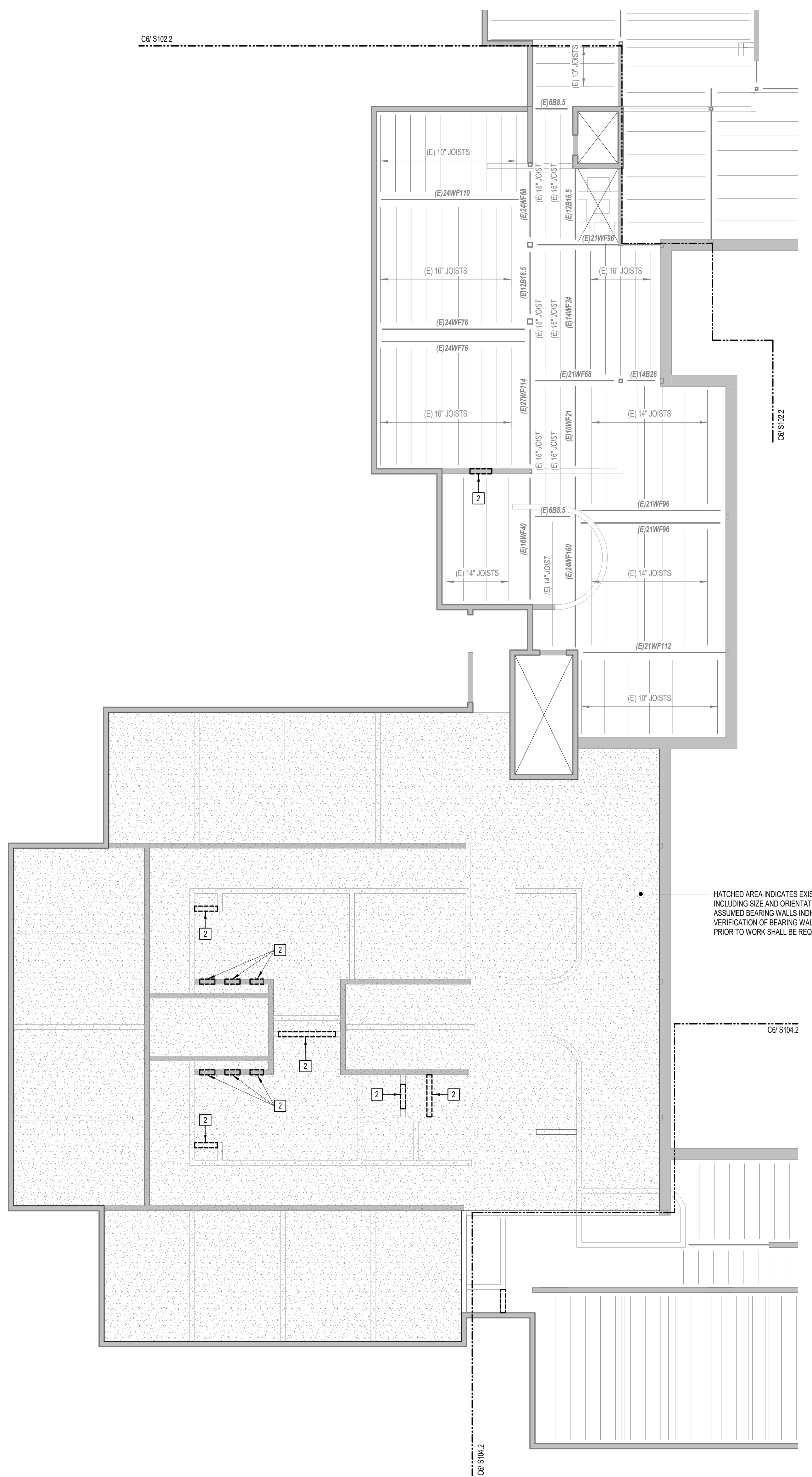
- INDICATES EXISTING ASSUMED CMU BEARING WALL
- - - INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- ▨ INDICATES CMU WALL INFILL REFER TO DETAIL E3/S500
- ▩ INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

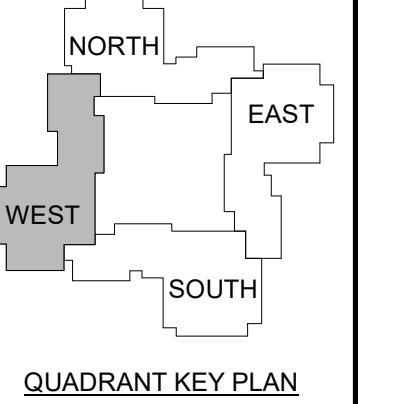
- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6", NOTIFY SFR IF THIS CANNOT BE ACHIEVED
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SFR PRIOR TO WORK. REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS

FLOOR FRAMING PLAN KEYED NOTES LEGEND:

- (F1) FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- (W1) NON-BEARING WALL INFILL - REFER TO DETAIL E3/S500
- (W2) BEARING WALL INFILL - REFER TO DETAIL E3/S500
- (W3) NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS



CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 1 THIRD FLOOR STRUCTURAL PLANS

SHEET
S101.3

FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

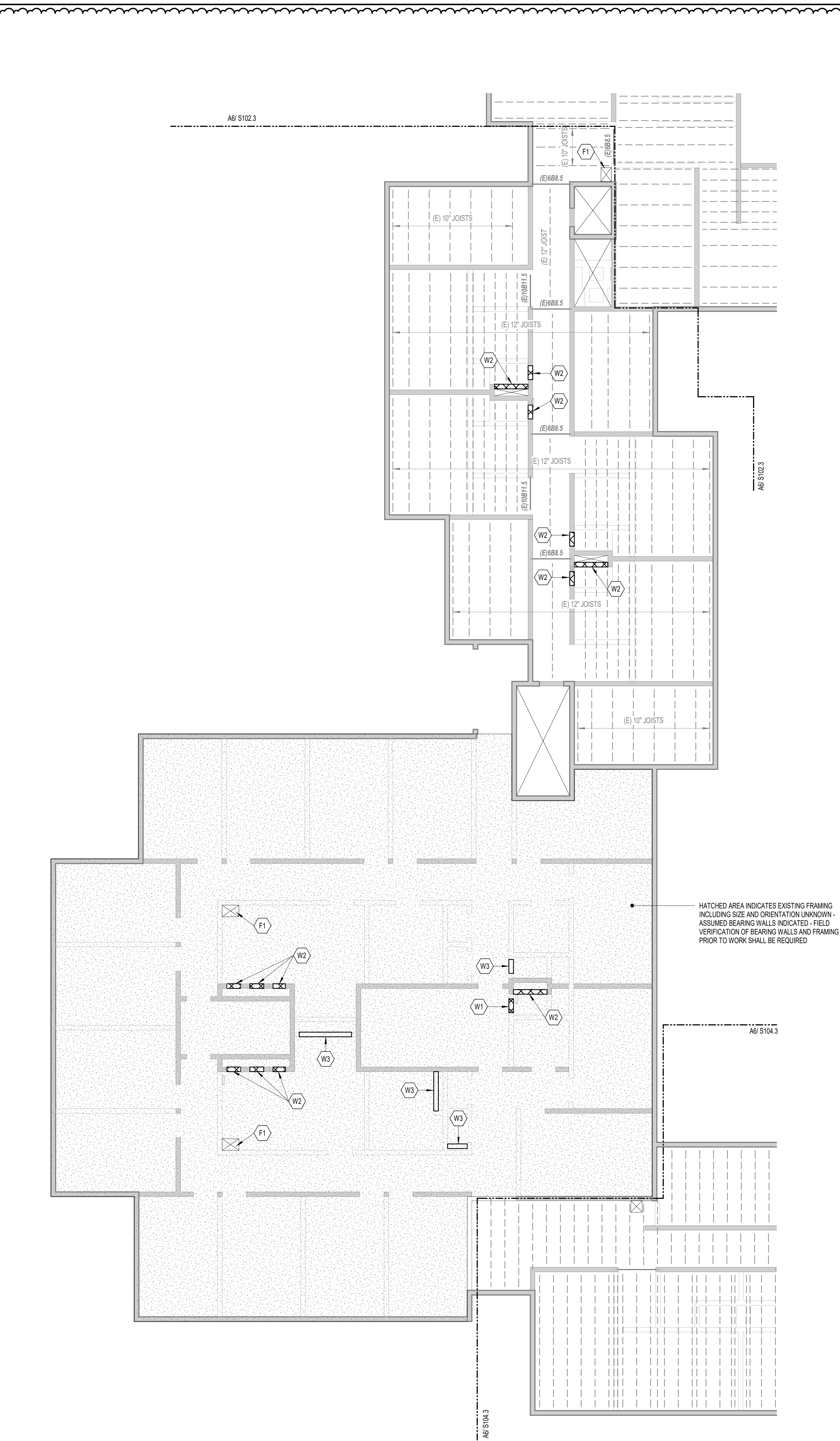
- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- INDICATES CMU WALL INFILL REFER TO DETAIL E3/ S500
- INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL: DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6'. NOTIFY SER IF THIS CANNOT BE ACHIEVED
- REMOVE EXISTING CMU WALLS AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS

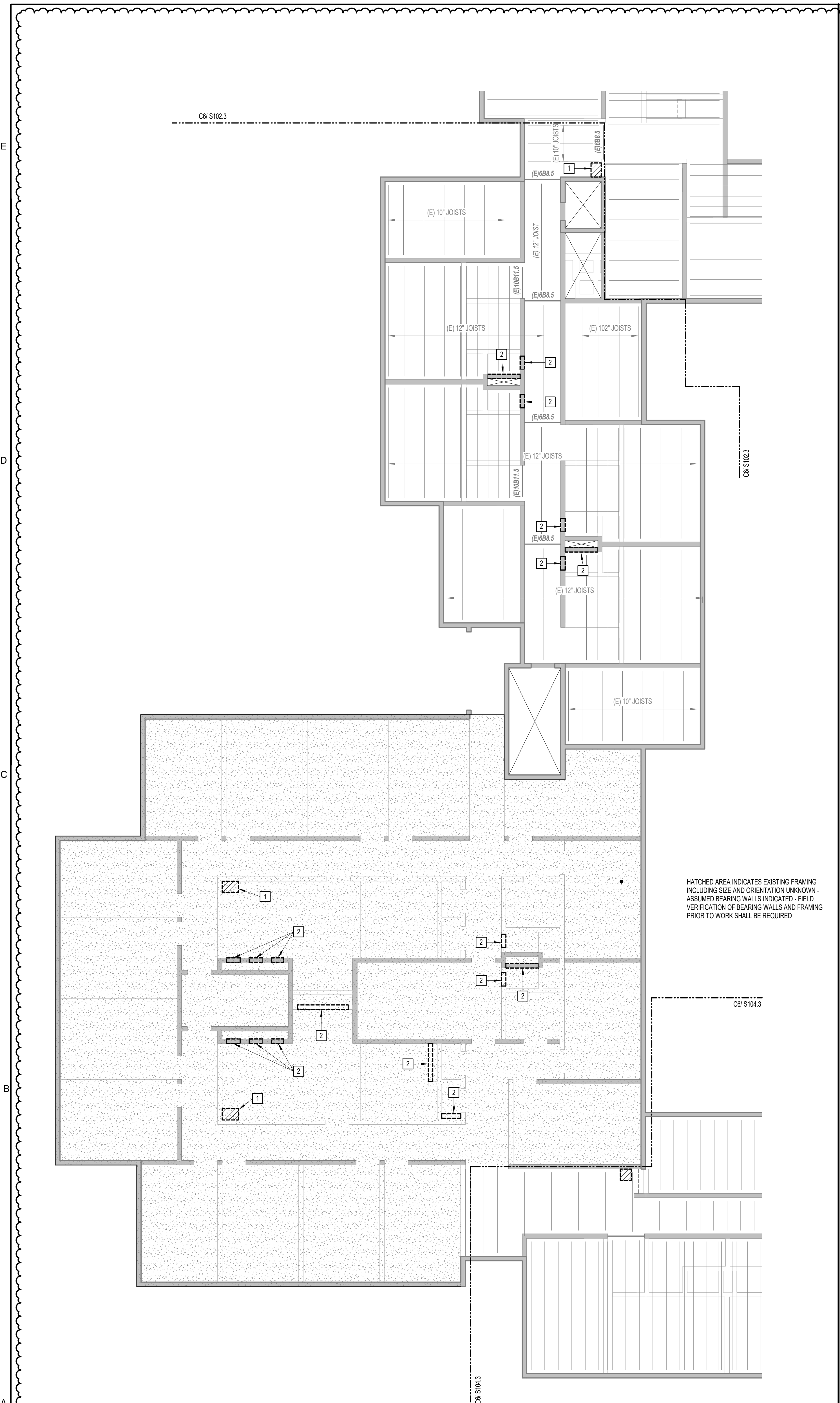
FLOOR FRAMING PLAN KEYED NOTES LEGEND:

- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS



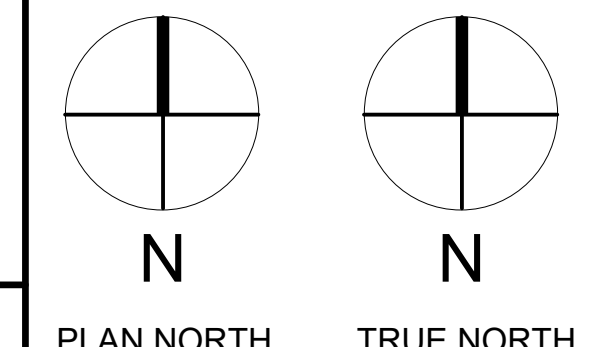
A3 PHASE 1 THIRD FLOOR STRUCTURAL FRAMING PLAN

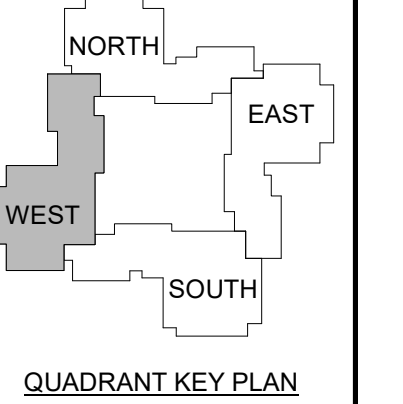
1/8" = 1'-0"



A6 PHASE 1 THIRD FLOOR STRUCTURAL DEMO PLAN

1/8" = 1'-0"





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

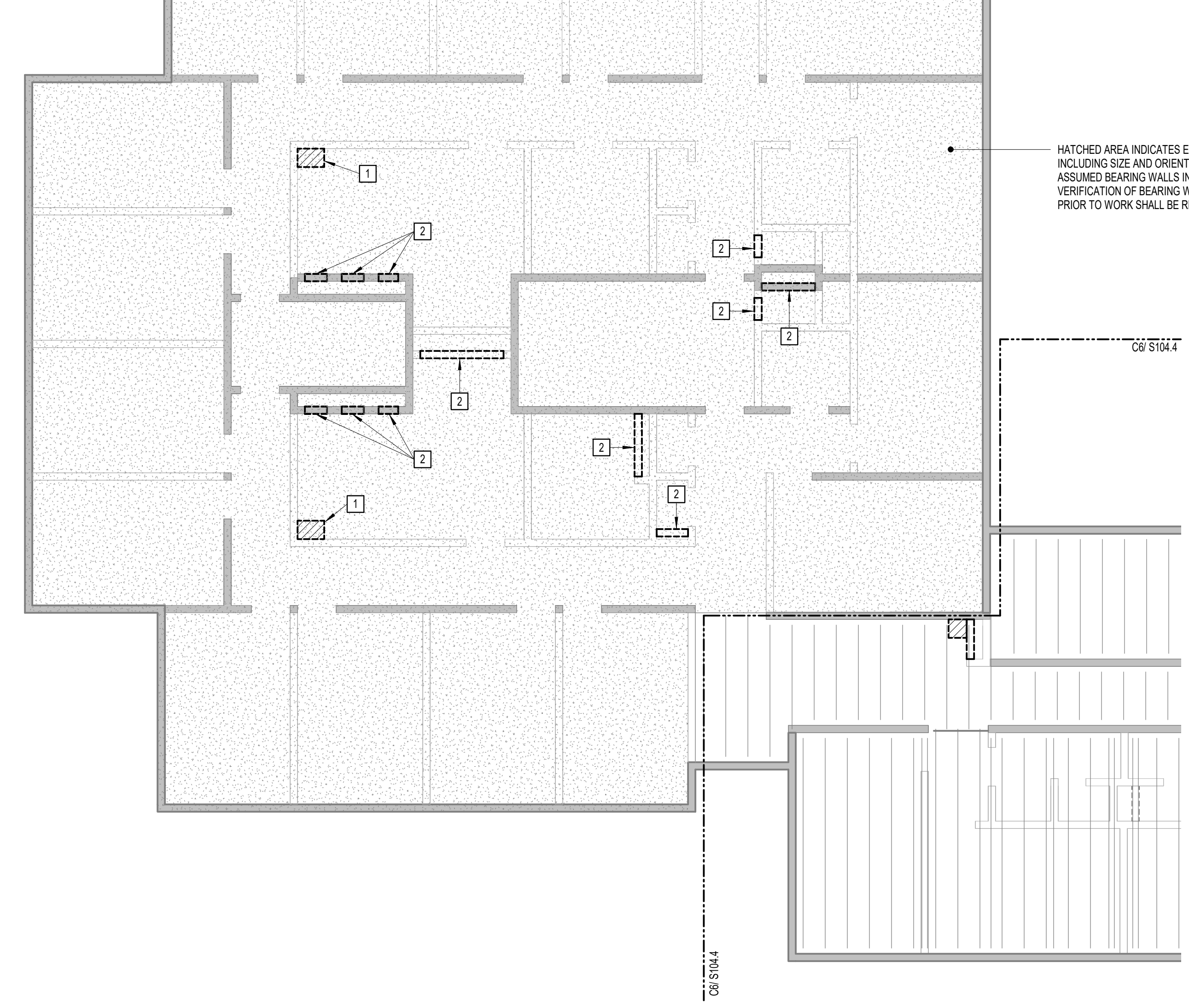
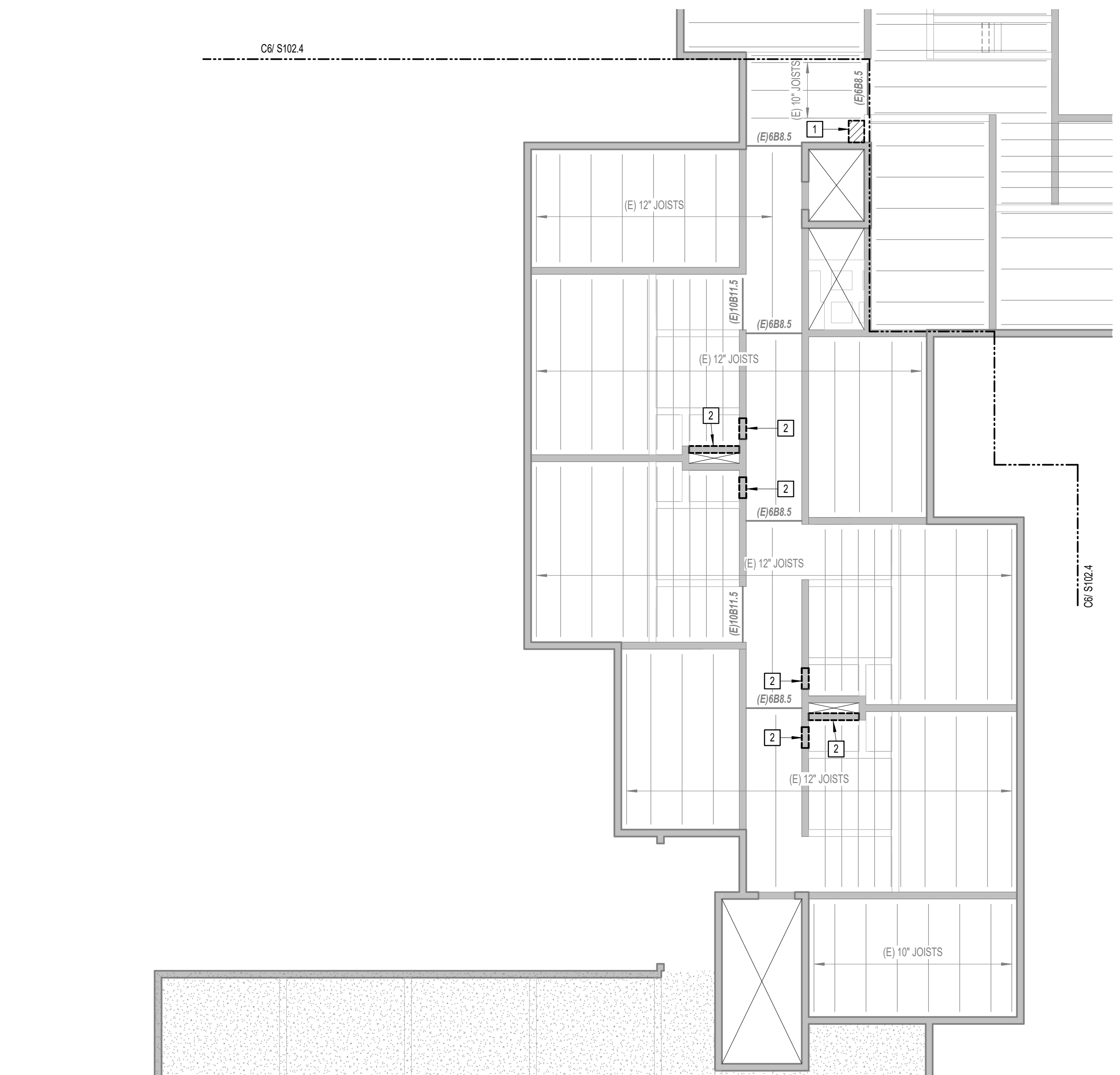
TITLE
 PHASE 1 FOURTH FLOOR STRUCTURAL PLANS

SHEET
S101.4

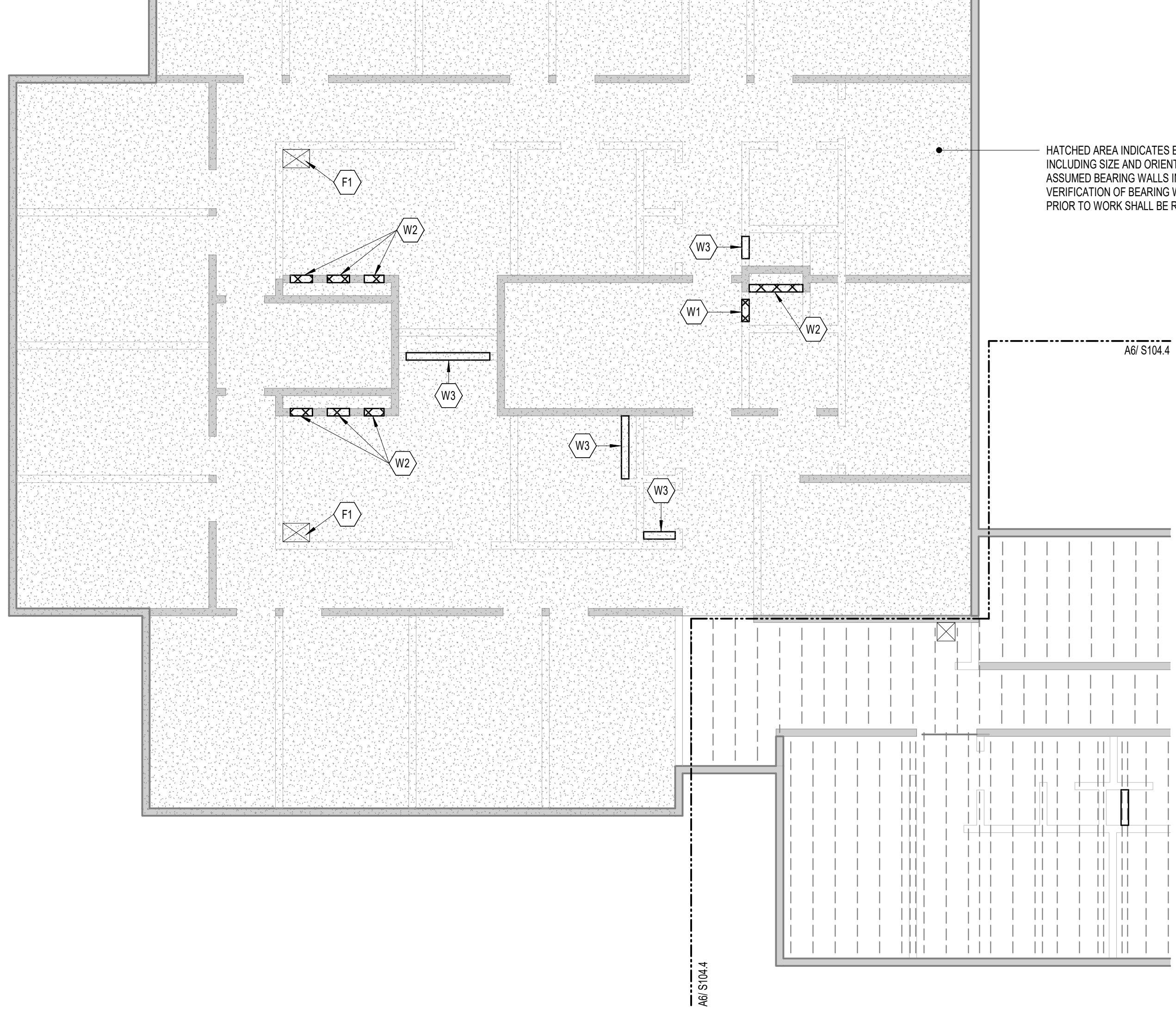
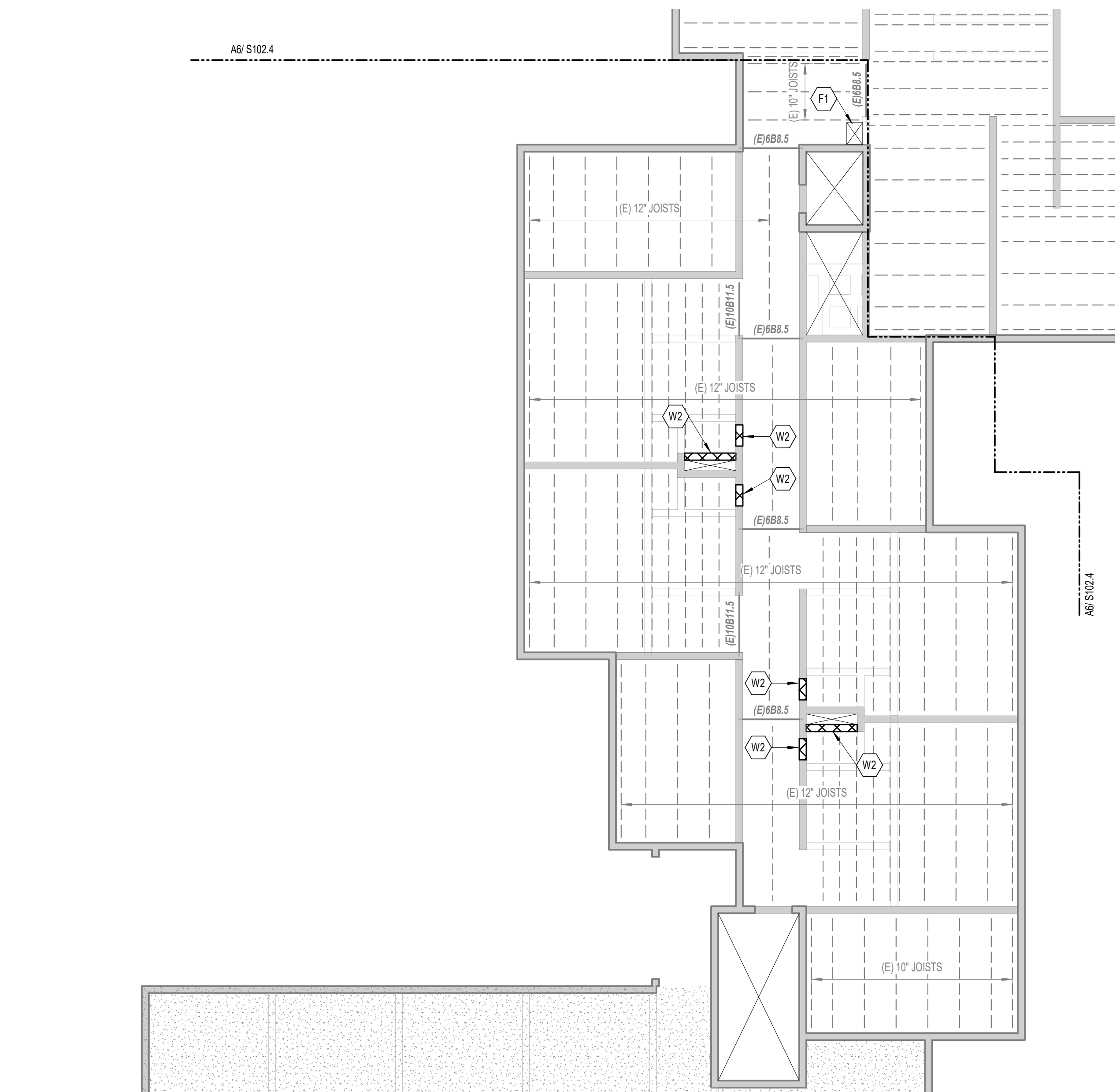
- FRAMING PLAN NOTES:**
- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.
- FLOOR FRAMING LEGEND:**
- INDICATES EXISTING ASSUMED CMU BEARING WALL
 - INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
 - INDICATES CMU WALL INFILL REFER TO DETAIL E3 S500
 - INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
 - INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

- FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:**
- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6". NOTIFY SER IF THIS CANNOT BE ACHIEVED
 - REMOVE EXISTING CMU WALL AS REQUIRED / NOTED GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3 S500 FOR EXTENT OF REMOVAL REQUIREMENTS

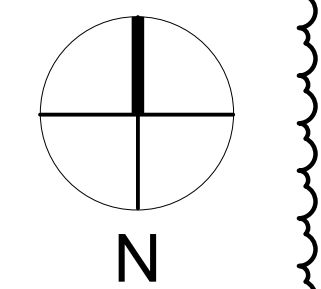
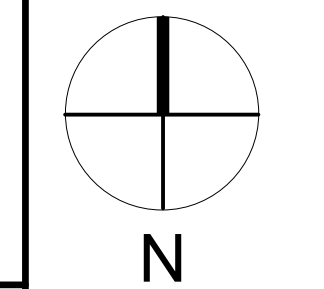
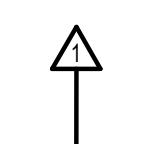
- FLOOR FRAMING PLAN KEYED NOTES LEGEND:**
- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
 - W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3 S500
 - W2 BEARING WALL INFILL - REFER TO DETAIL E3 S500
 - W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS



HATCHED AREA INDICATES EXISTING FRAMING INCLUDING SIZE AND ORIENTATION UNKNOWN - ASSUMED BEARING WALLS INDICATED - FIELD VERIFICATION OF BEARING WALLS AND FRAMING PRIOR TO WORK SHALL BE REQUIRED



HATCHED AREA INDICATES EXISTING FRAMING INCLUDING SIZE AND ORIENTATION UNKNOWN - ASSUMED BEARING WALLS INDICATED - FIELD VERIFICATION OF BEARING WALLS AND FRAMING PRIOR TO WORK SHALL BE REQUIRED



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-------------------|------|-------------|
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 ROOF LEVEL STRUCTURAL PLANS

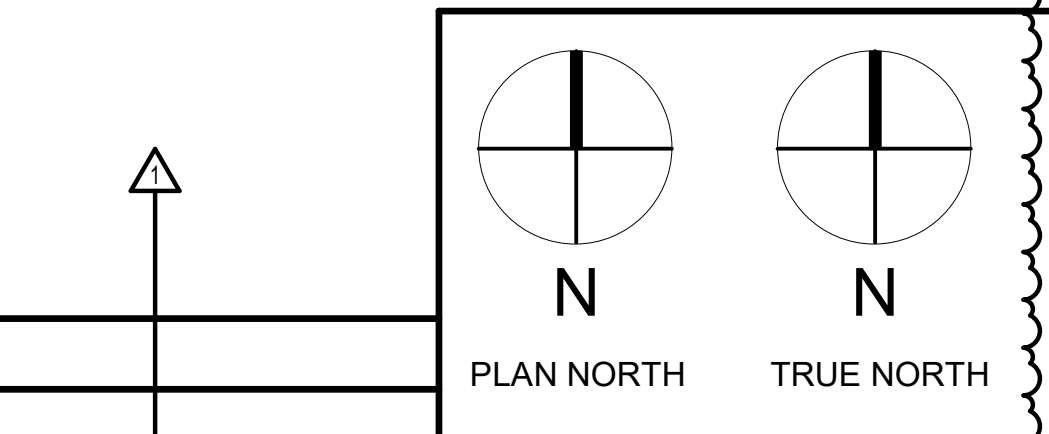
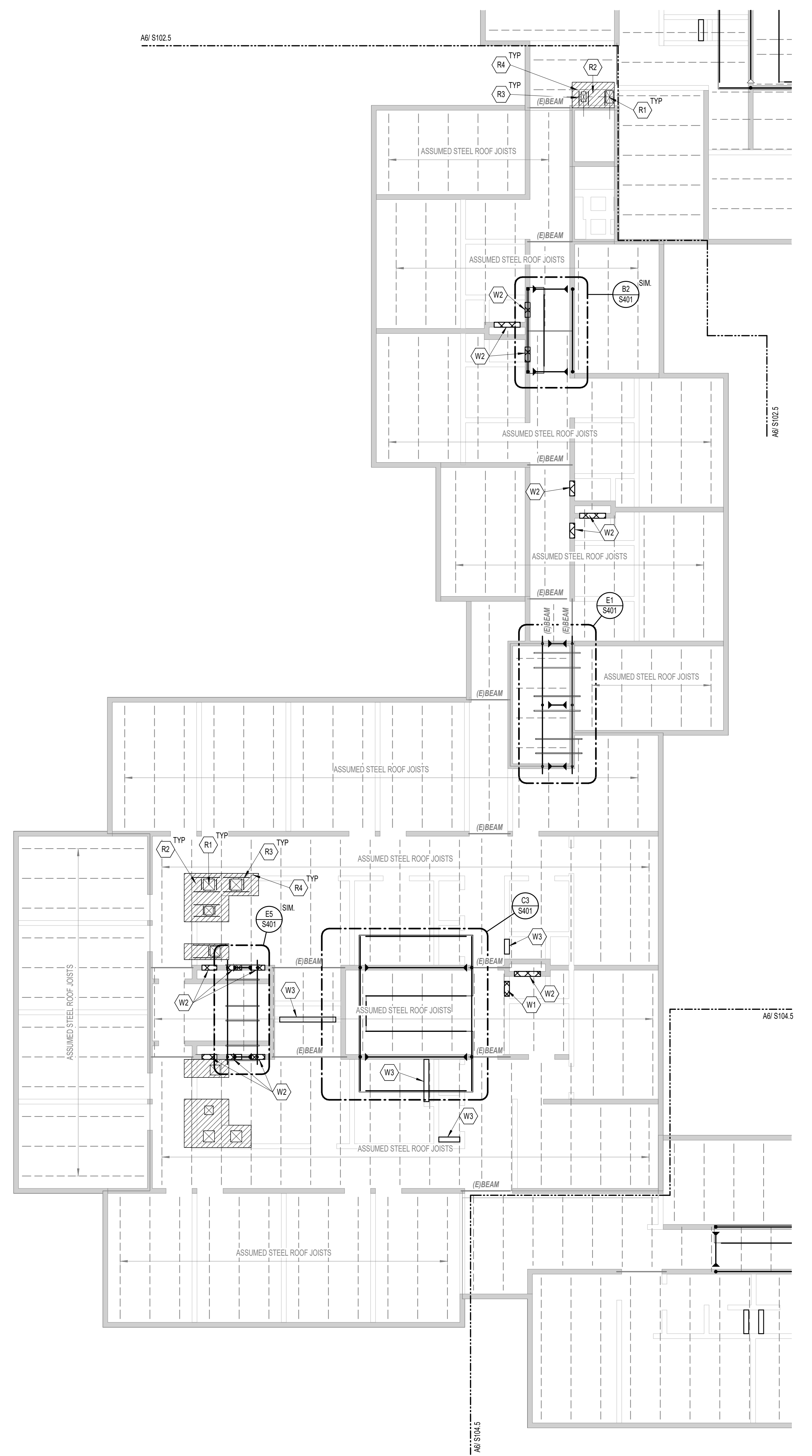
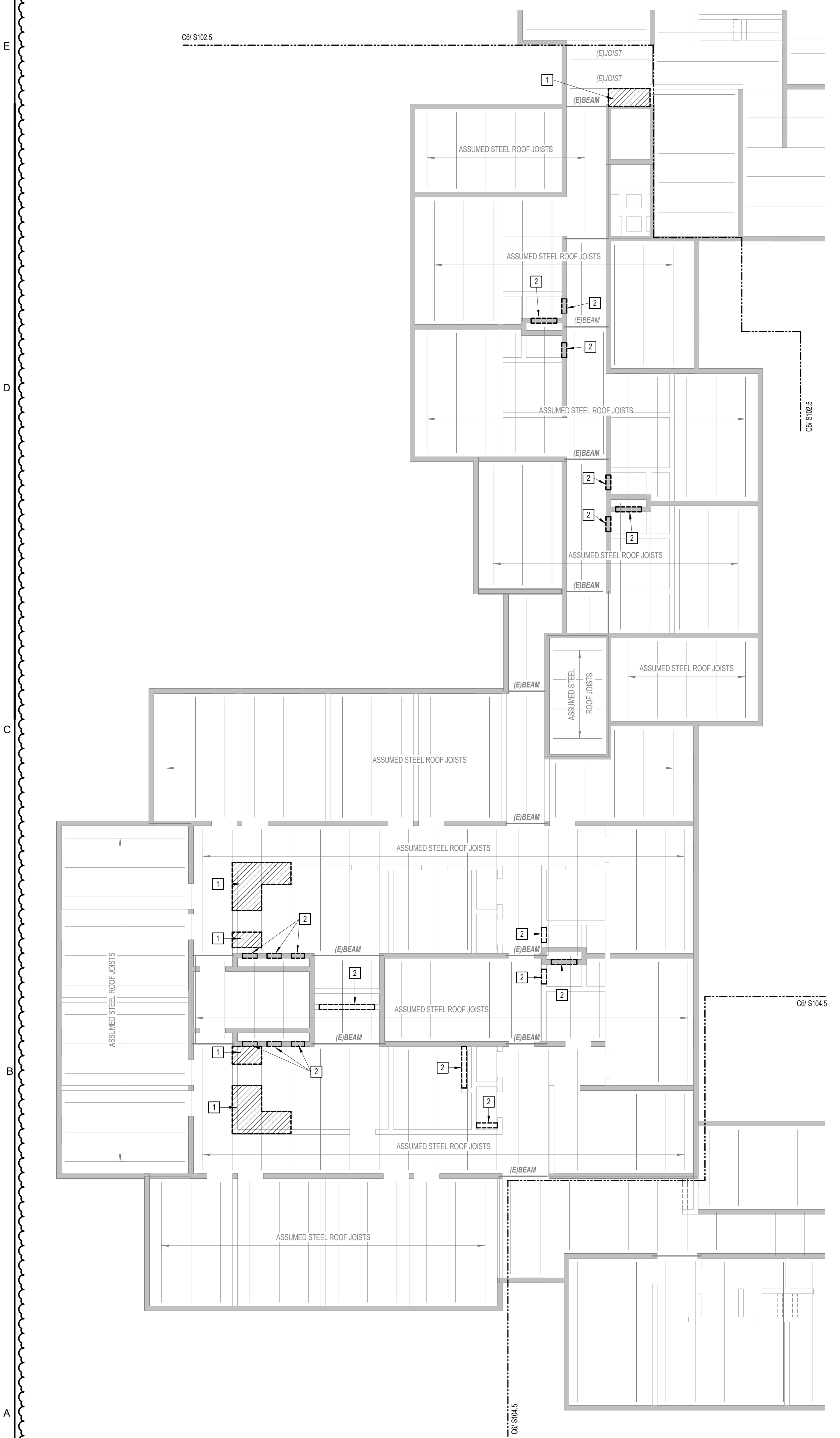
SHEET
S101.5

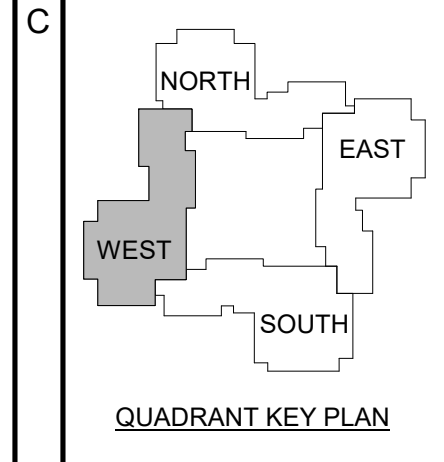
ROOF FRAMING PLAN NOTES:
 1. THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE ROOF FRAMING LEVEL, WHILE THE WALLS SHOWN ARE BELOW THE ROOF FRAMING LEVEL

ROOF LEGEND:
 ——— INDICATES EXISTING ASSUMED CMU BEARING WALL
 - - - - - INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
 [Hatched Box] INDICATES CMU WALL INFILL - REFER TO DETAIL E3' S500
 [Dashed Box] INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
 [Dotted Box] INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

ROOF DEMO FRAMING PLAN KEYED NOTES LEGEND:
 1 REMOVE EXISTING ROOF DECK AS REQUIRED TO FACILITATE PROPOSED WORK FOR PROPOSED DUCTWORK
 2 REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3'S500 FOR EXTENT OF REMOVAL REQUIREMENTS
 3 REMOVE EXISTING ROOF DECK AS REQUIRED FOR REQUIRED ROUGH OPENING OF ROOF ACCESS HATCH

ROOF FRAMING PLAN KEYED NOTES LEGEND:
 (R1) PROVIDE OPENING DECK FOR MECH - COORDINATE LOCATIONS AND SIZES w/MECH DRAWINGS
 (R2) PROVIDE DECK INFILL PER DETAIL A3' S500
 (R3) PROVIDE FRAMED OPENING PER DETAIL B3' S500
 (R4) REINFORCE EXISTING JOISTS PER DETAIL B1' S500
 (R5) PROVIDE FRAME OUT FOR ROOF ACCESS HATCH OPENING PER DETAIL A5' S500
 (W1) NON-BEARING WALL INFILL - REFER TO DETAIL E3' S500
 (W2) BEARING WALL INFILL - REFER TO DETAIL E3' S500
 (W3) NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-------------------|------|-------------|
| Revision Schedule | | |

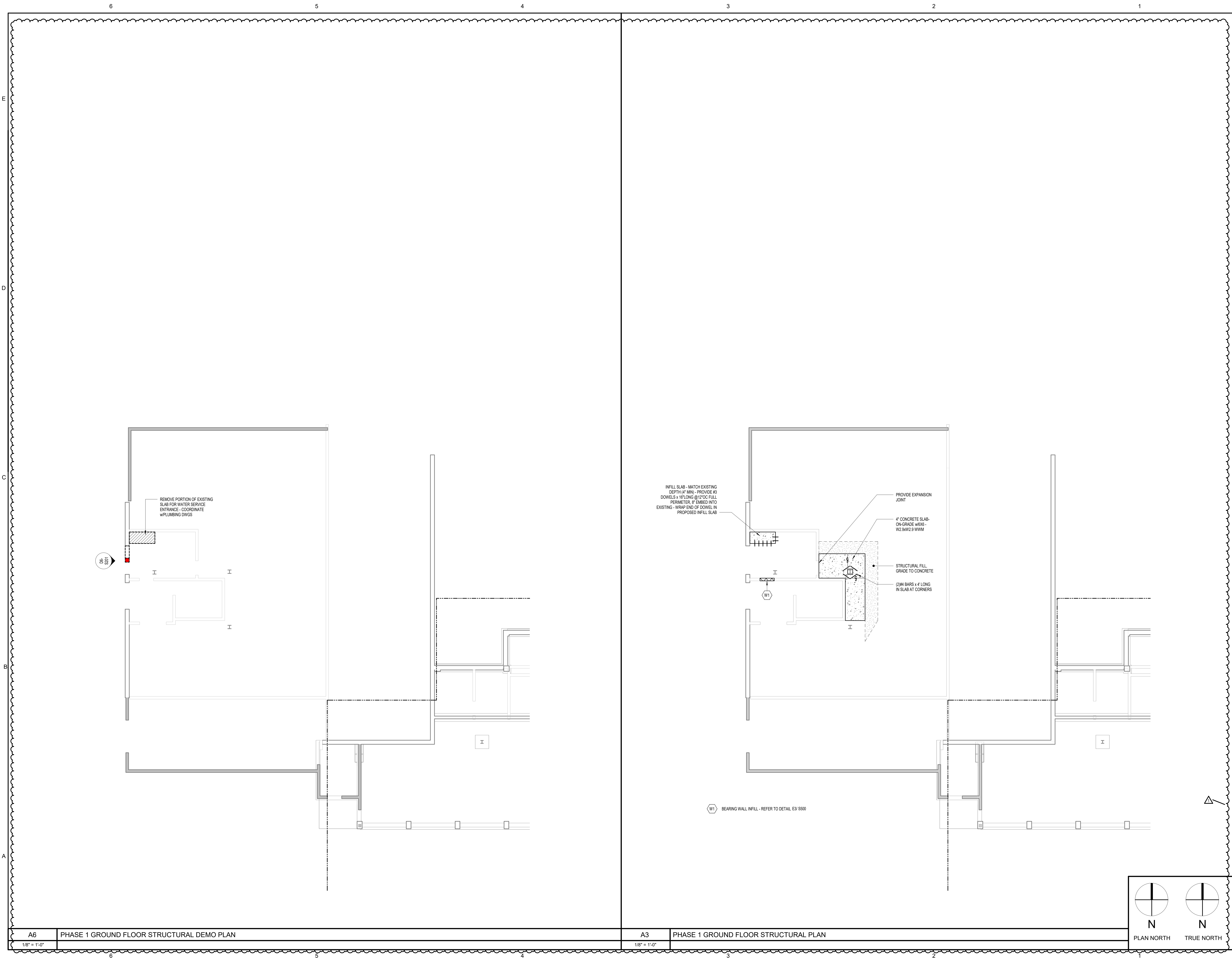
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

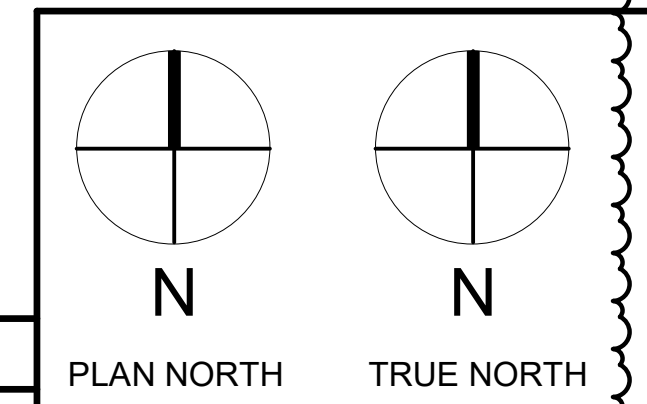
TITLE
PHASE 1 GROUND
FLOOR STRUCTURAL
PLANS

SHEET
S101.G



A6 PHASE 1 GROUND FLOOR STRUCTURAL DEMO PLAN
 1/8" = 1'-0"

A3 PHASE 1 GROUND FLOOR STRUCTURAL PLAN
 1/8" = 1'-0"



6

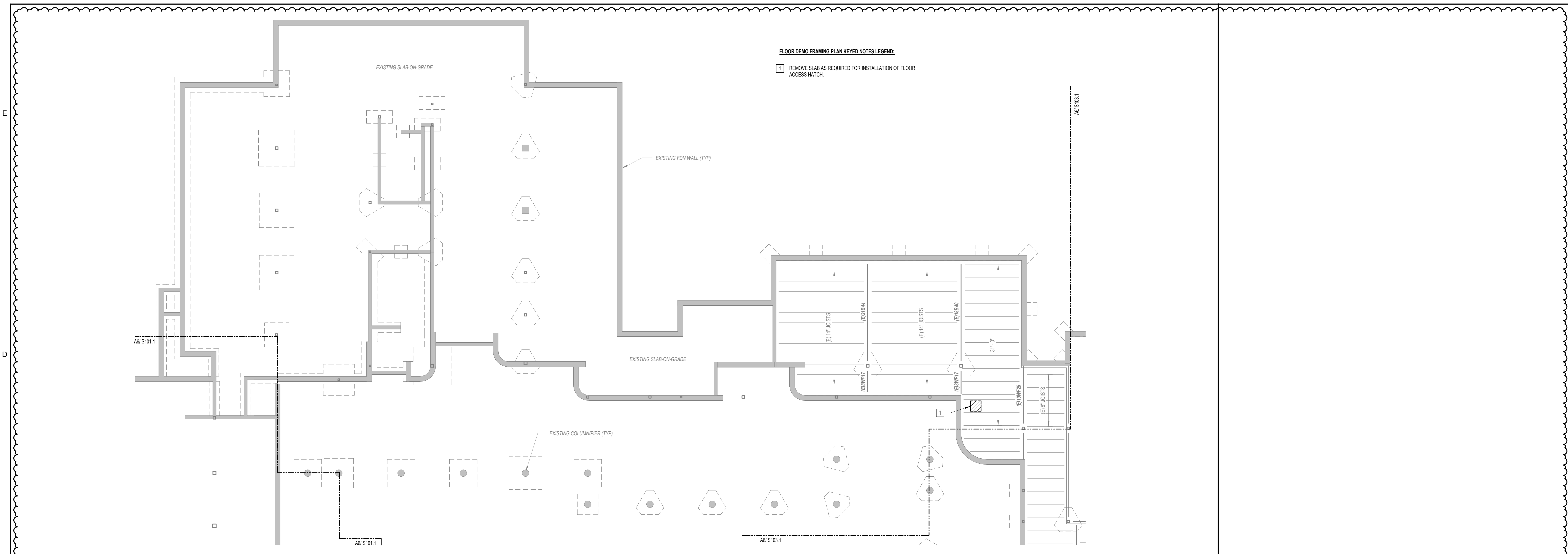
5

4

3

2

1

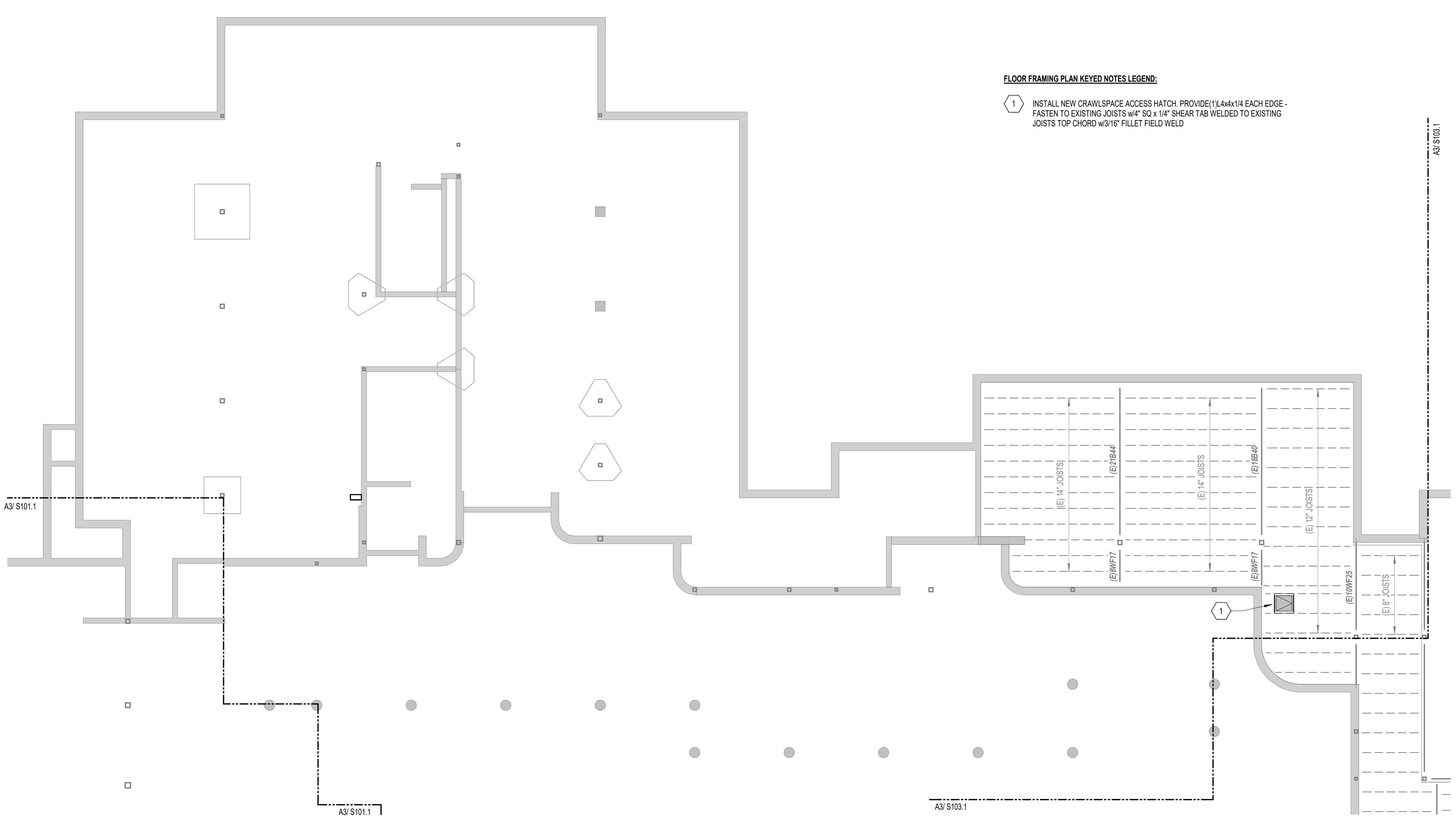


FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

1 REMOVE SLAB AS REQUIRED FOR INSTALLATION OF FLOOR ACCESS HATCH.

D6 PHASE 2 FIRST FLOOR STRUCTURAL DEMO PLAN

1/8" = 1'-0"



FLOOR FRAMING PLAN KEYED NOTES LEGEND:

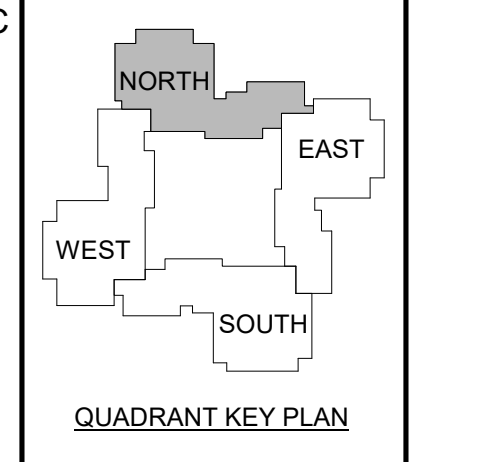
1 INSTALL NEW CRAWLSPACE ACCESS HATCH. PROVIDE 1/4\"/>

A6 PHASE 2 FIRST FLOOR STRUCTURAL FRAMING PLAN

1/8" = 1'-0"

COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Castine, Maine 04421



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

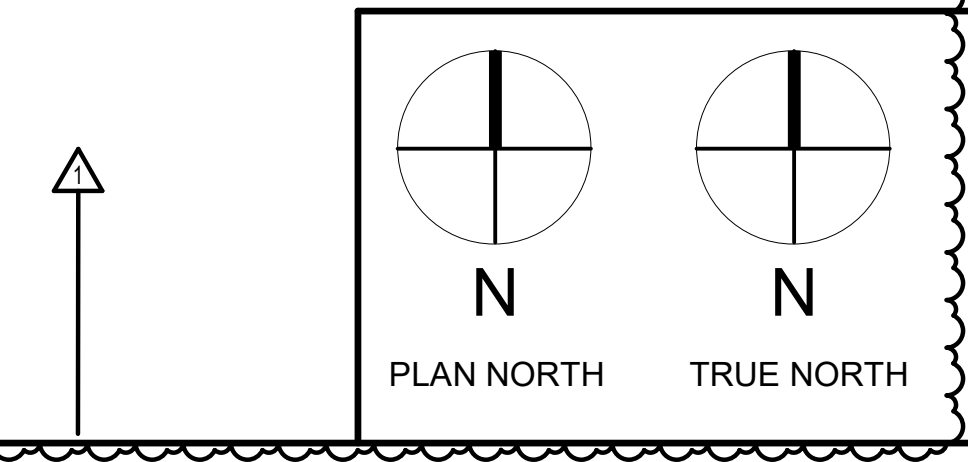
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 2 FIRST FLOOR STRUCTURAL PLANS

SHEET
S102.1



6 5 4 3 2 1



FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- INDICATES CMU WALL INFILL - REFER TO DETAIL E3/ S500
- INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL: DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6', NOTIFY SER IF THIS CANNOT BE ACHIEVED
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS

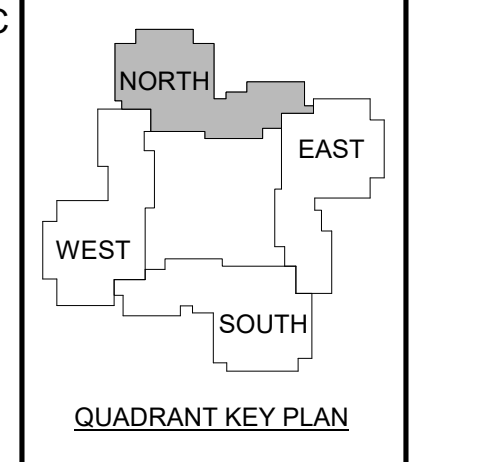
FLOOR FRAMING PLAN KEYED NOTES LEGEND:

- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS

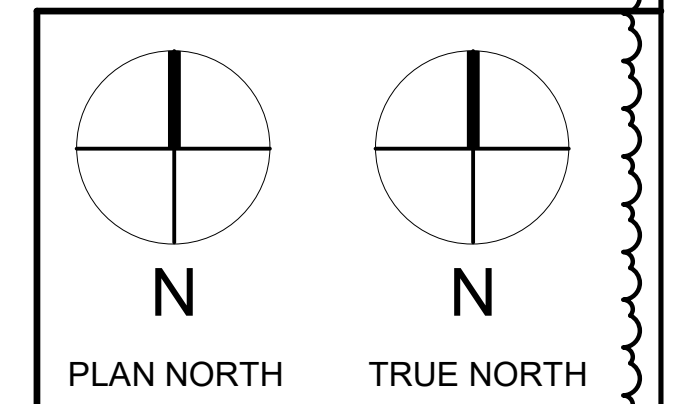


COPYRIGHT CHA Architecture
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Castine, Maine 04421



C6 PHASE 2 SECOND FLOOR STRUCTURAL DEMO PLAN
 1/8" = 1'-0"



A6 PHASE 2 SECOND FLOOR STRUCTURAL FRAMING PLAN
 1/8" = 1'-0"

| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

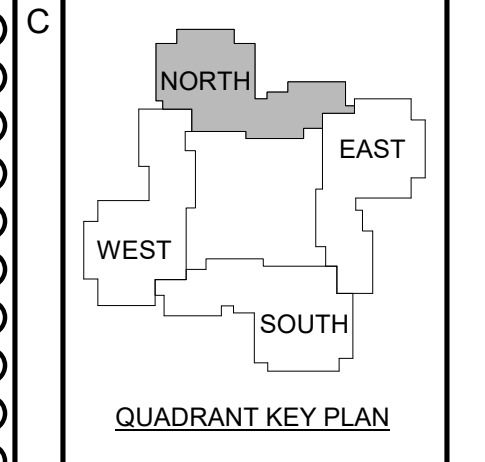
JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 2 SECOND FLOOR STRUCTURAL PLANS

SHEET
S102.2

6 5 4 3 2 1



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| -23 | | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 2 THIRD FLOOR STRUCTURAL PLANS

SHEET
S102.3

FRAMING PLAN NOTES:
 1. THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

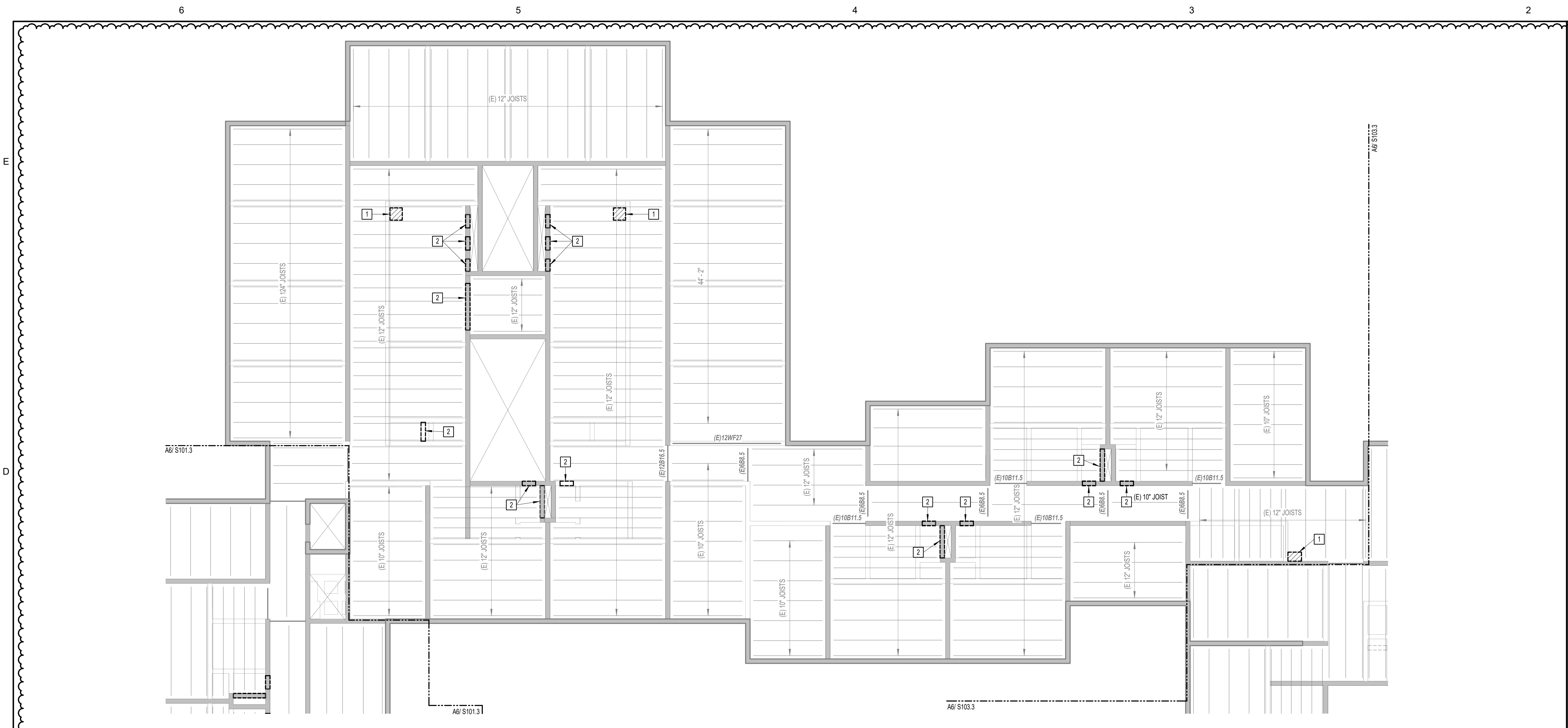
- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- ▨ INDICATES CMU WALL INFILL - REFER TO DETAIL E3/S500
- ▧ INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

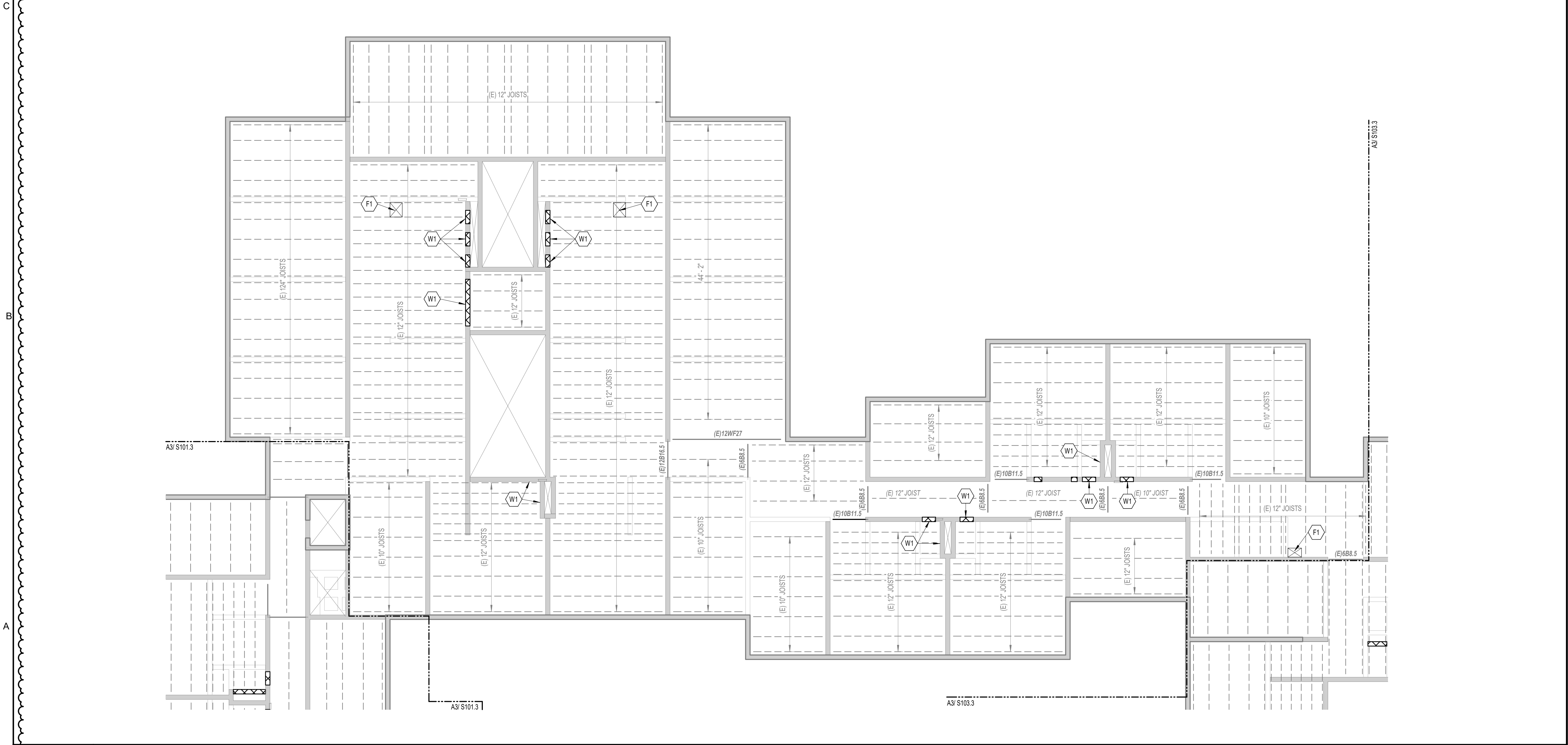
- 1 REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WILL DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF BEAM MORE THAN 6'. NOTIFY SER IF THIS CANNOT BE ACHIEVED
- 2 REMOVE EXISTING CMU WALL AS REQUIRED / NOTED GC SHALL PROVIDE SHORING / DELEGATED DESIGN WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK - REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS

FLOOR FRAMING PLAN KEYED NOTES LEGEND:

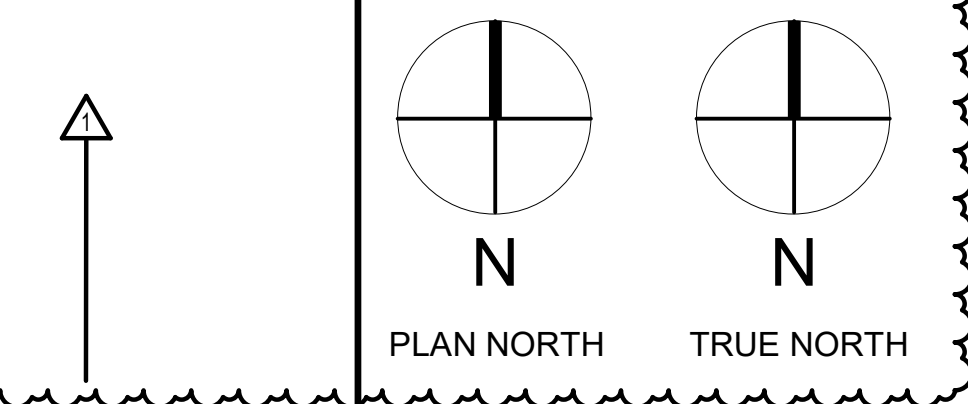
- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3/S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3/S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS



C6 PHASE 2 THIRD FLOOR STRUCTURAL DEMO PLAN
 1/8" = 1'-0"



A6 PHASE 2 THIRD FLOOR STRUCTURAL FRAMING PLAN
 1/8" = 1'-0"



6 5 4 3 2 1



FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- ▨ INDICATES CMU WALL INFILL REFER TO DETAIL E3 S500
- ▧ INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

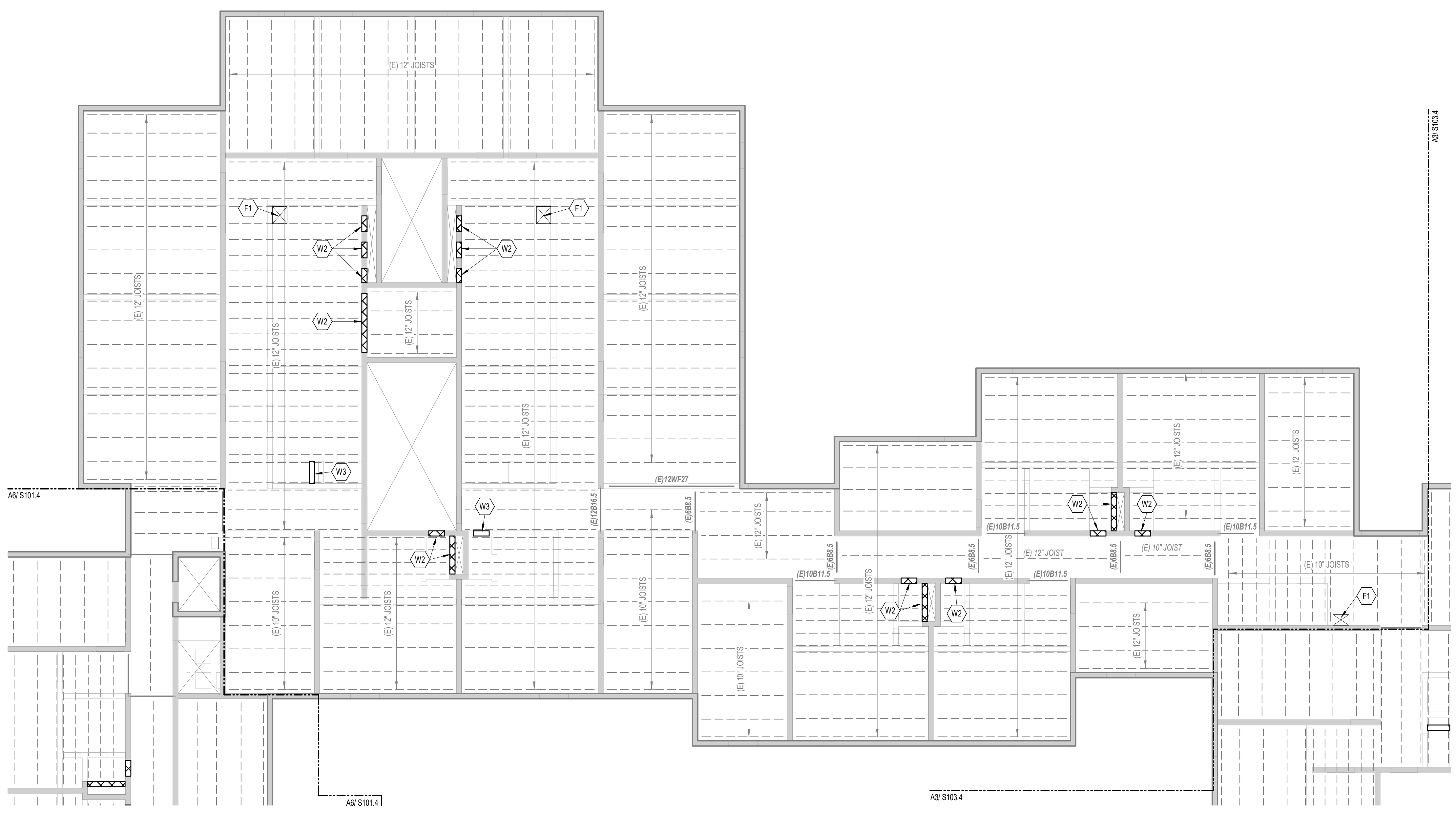
- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL: DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6'. NOTIFY SER IF THIS CANNOT BE ACHIEVED
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3S500 FOR EXTENT OF REMOVAL REQUIREMENTS

FLOOR FRAMING PLAN KEYED NOTES LEGEND:

- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3 S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3 S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS

C6 PHASE 2 FOURTH FLOOR STRUCTURAL DEMO PLAN

1/8" = 1'-0"



A6 PHASE 2 FOURTH FLOOR STRUCTURAL FRAMING PLAN

1/8" = 1'-0"

CHA Architecture, P.C.
43 Dainmouth Street
Portland, Maine 04101
207.775.1059 • www.chacompanies.com

Allied Engineering
188 South Main Street
Portland, Maine 04103
Tel: 207.223.2200
Fax: 207.223.2201
www.alliedeng.com

COPYRIGHT
CHA Architecture
Reuse or reproduction of the
contents of this document is not
permitted without written
permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Castine, Maine 04421

QUADRANT KEY PLAN

| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | | -23 |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 2 FOURTH FLOOR STRUCTURAL PLANS

SHEET
S102.4

N
PLAN NORTH

N
TRUE NORTH

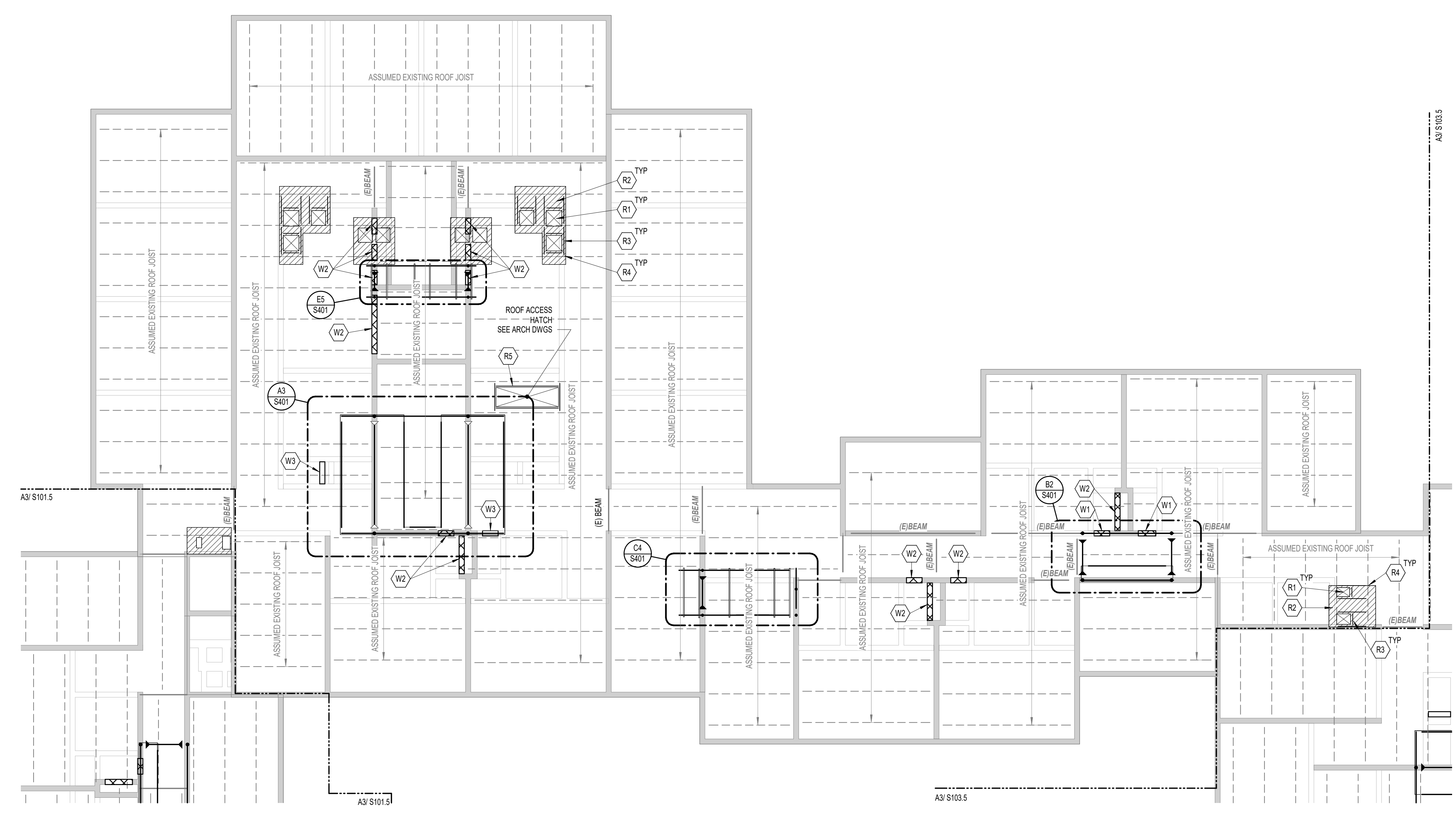
6 5 4 3 2 1

6 5 4 3 2 1



C6 PHASE 2 ROOF LEVEL STRUCTURAL DEMO PLAN

1/8" = 1'-0"



A6 PHASE 2 ROOF LEVEL STRUCTURAL FRAMING PLAN

1/8" = 1'-0"

ROOF FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE ROOF FRAMING LEVEL, WHILE THE WALLS SHOWN ARE BELOW THE ROOF FRAMING LEVEL.

ROOF LEGEND:

- INDICATES EXISTING ASSUMED CMU BEARING WALL
- - - INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- ▨ INDICATES CMU WALL INFILL - REFER TO DETAIL E3/ S500
- ▤ INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

ROOF DEMO FRAMING PLAN KEYED NOTES LEGEND:

- REMOVE EXISTING ROOF DECK AS REQUIRED TO FACILITATE PROPOSED WORK FOR PROPOSED DUCTWORK
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS
- REMOVE EXISTING ROOF DECK AS REQUIRED FOR REQUIRED ROUGH OPENING OF ROOF ACCESS HATCH

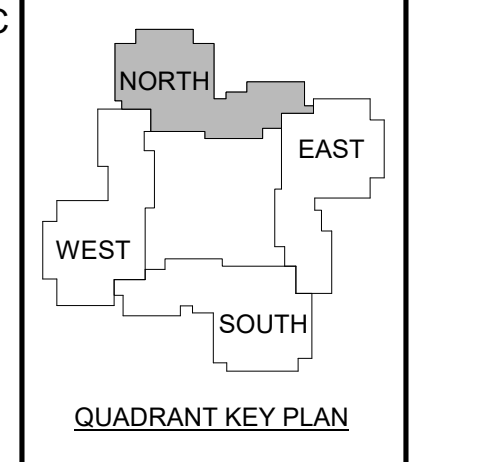
ROOF FRAMING PLAN KEYED NOTES LEGEND:

- R1 PROVIDE OPENING DECK FOR MECH - COORDINATE LOCATIONS AND SIZES W/MECH DRAWINGS
- R2 PROVIDE DECK INFILL PER DETAIL A3/ S500
- R3 PROVIDE FRAMED OPENING PER DETAIL B3/ S500
- R4 REINFORCE EXISTING JOISTS PER DETAIL B1/ S500
- R5 PROVIDE FRAME OUT FOR ROOF ACCESS HATCH OPENING PER DETAIL A3/ S500
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS



COPYRIGHT
CHA Architecture
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Castine, Maine 04421



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

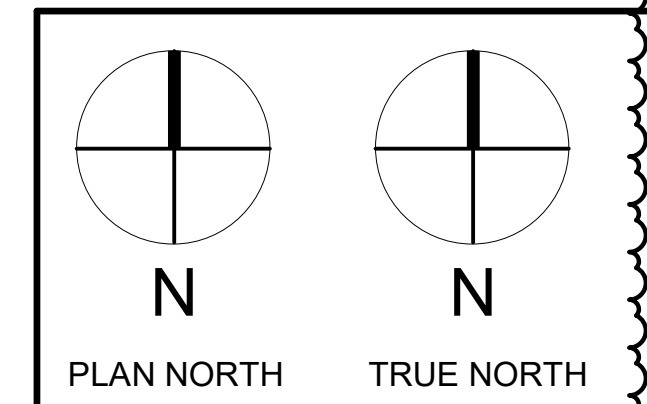
NOT FOR CONSTRUCTION

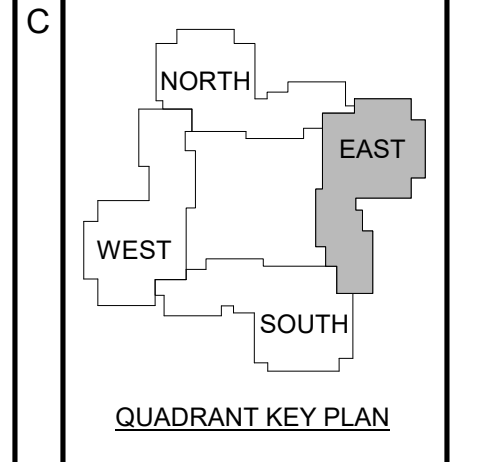
JOB NO. 076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 2 ROOF LEVEL STRUCTURAL PLANS

SHEET
S102.5





| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 3 FIRST FLOOR STRUCTURAL PLANS

SHEET
S103.1

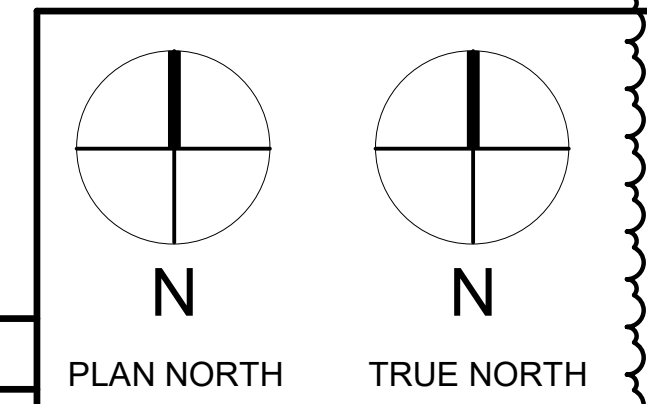
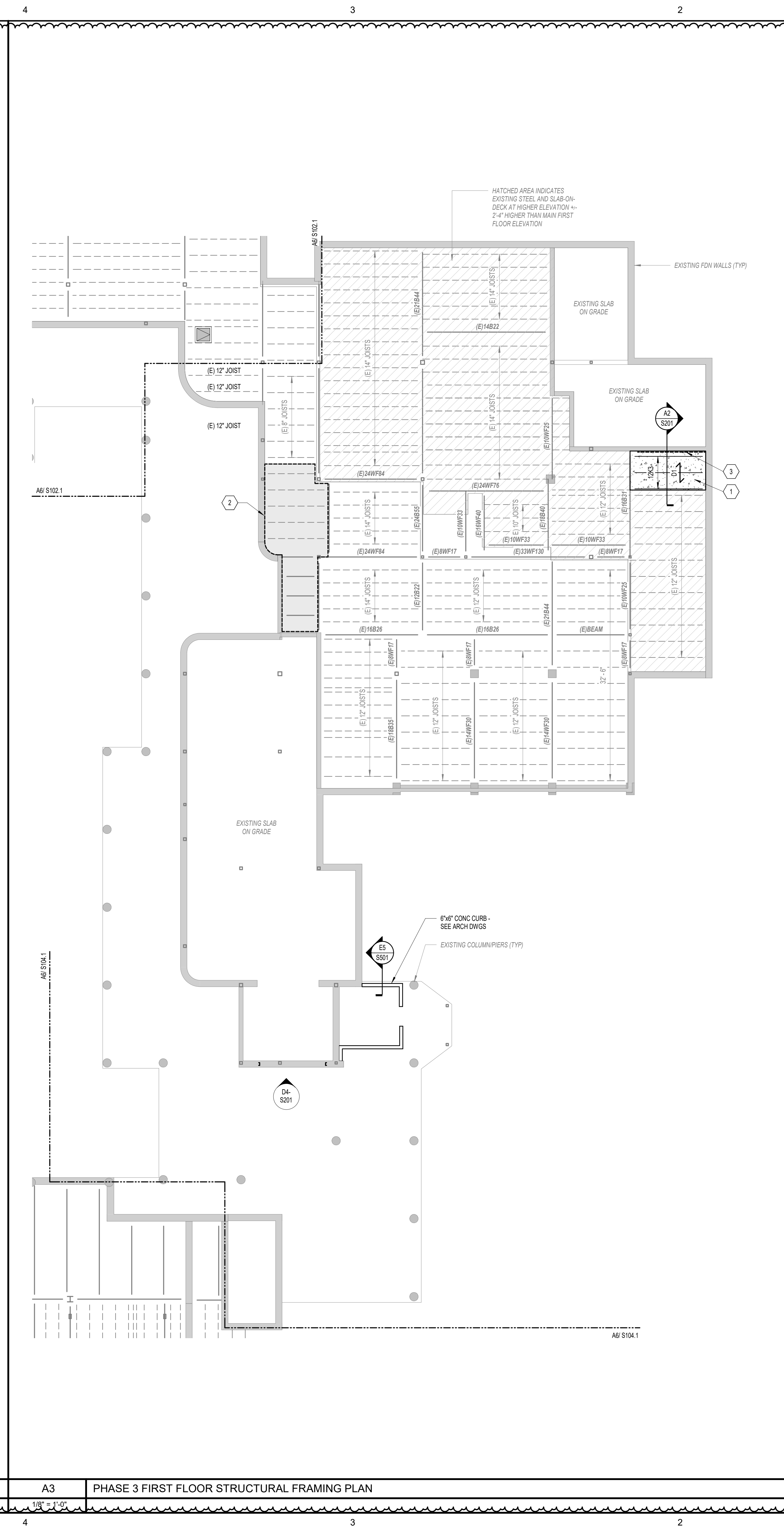
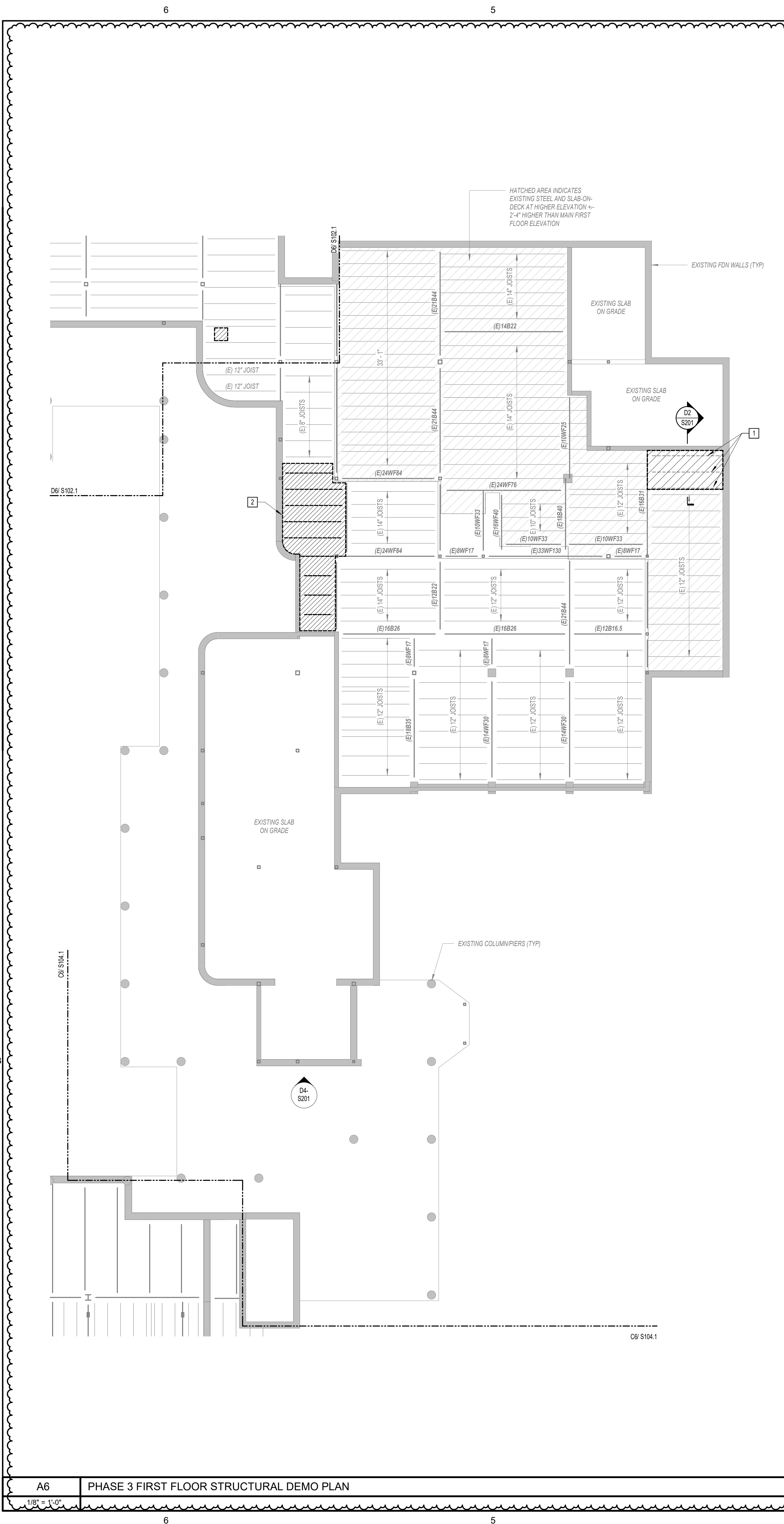
FRAMING PLAN NOTES AND LEGEND:
 D1 3" CONCRETE SLAB ON METAL DECK. MATCH (E) DECK PROFILE. REINF. W/ #3@16" EW.

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

- REMOVE (3) EXISTING OPEN-WEB STEEL JOISTS AND CONCRETE SLAB ON METAL DECK. SHORE ADJACENT EXISTING CONCRETE SLAB ON METAL DECK AND CMU PARTITION WALL ABOVE AS REQUIRED PRIOR TO JOIST REMOVAL.
- ALLOWANCE FOR STRUCTURAL SLAB AND FLOOR FRAMING REPAIR/REPLACEMENT PENDING INSPECTION OF AREA BELOW (E) WALK-OFF MATS FOR BIDDING PURPOSES. ASSUME REPLACEMENT OF 200 SQ. FT. OF SLAB ON DECK, (B) (OWS) AND (1) WF STEEL BEAM.

FLOOR FRAMING PLAN KEYED NOTES LEGEND:

- REPLACE (E) CORRODED 12K3 JOISTS W/ NEW 12K3 JOISTS AT SAME LOCATIONS. INFILL SLAB W/ NEW METAL FORM DECK TO MATCH EXISTING DECK PROFILE.
- ALLOWANCE FOR STRUCTURAL SLAB AND FLOOR FRAMING REPAIR/REPLACEMENT PENDING INSPECTION OF AREA BELOW (E) WALK-OFF MATS.
- FOUNDATION WALL SURFACE REPAIR REQUIRED PER DIV.3 SPECIFICATIONS



6

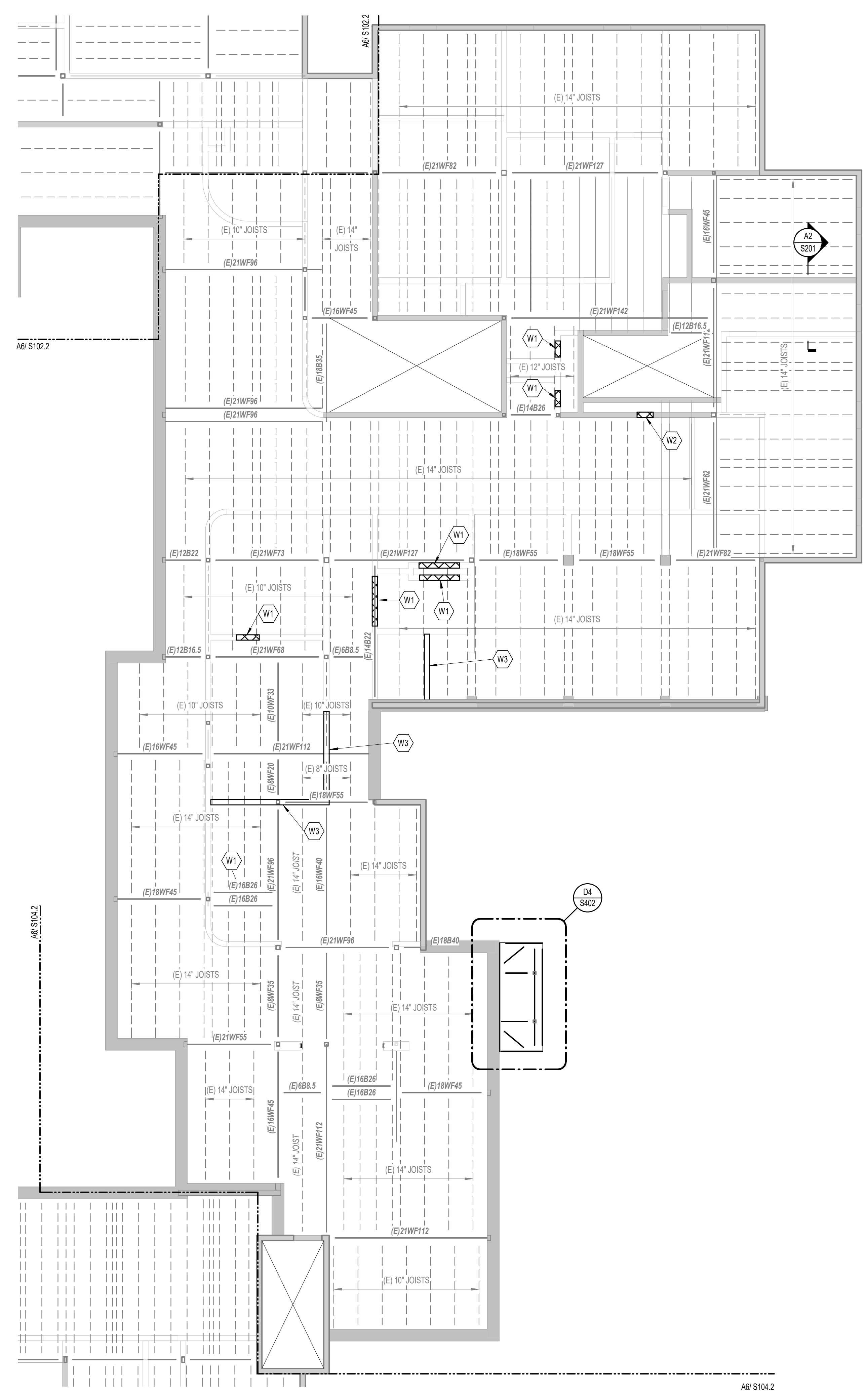
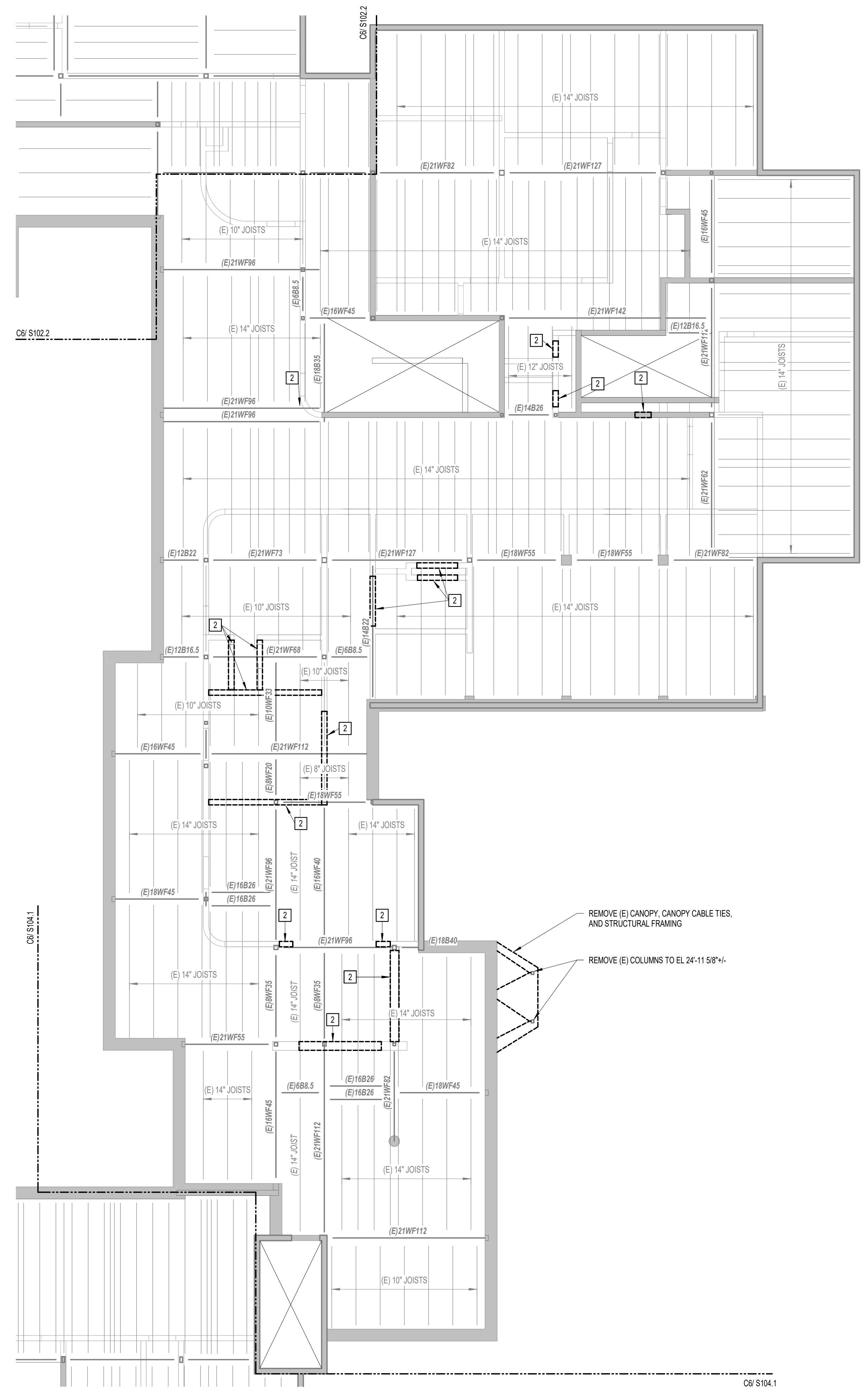
5

4

3

2

1



FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- INDICATES CMU WALL INFILL REFER TO DETAIL E31 S500
- INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL: DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6' NOTIFY SER IF THIS CANNOT BE ACHIEVED
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN WHERE REQUIRED) TO FACILITATE PROPOSED WALL REMOVAL. PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E31S500 FOR EXTENT OF REMOVAL REQUIREMENTS

FLOOR FRAMING PLAN KEYED NOTES LEGEND:

- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E31 S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E31 S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS

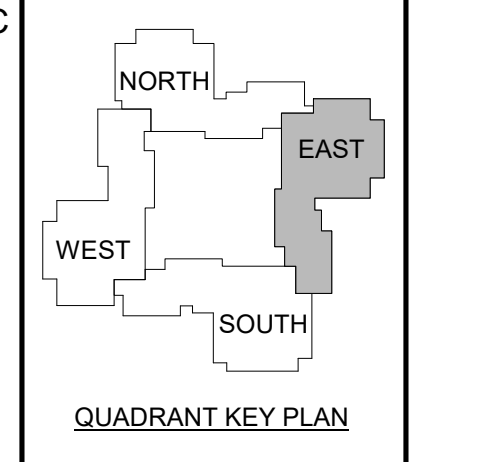
REMOVE (E) CANOPY, CANOPY CABLE TIES, AND STRUCTURAL FRAMING

REMOVE (E) COLUMNS TO EL. 24'-11 5/8" +/-



COPYRIGHT
CHA Architecture
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Castine, Maine 04421



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| -23 | | |
| No. | Date | Description |
| Revision Schedule | | |

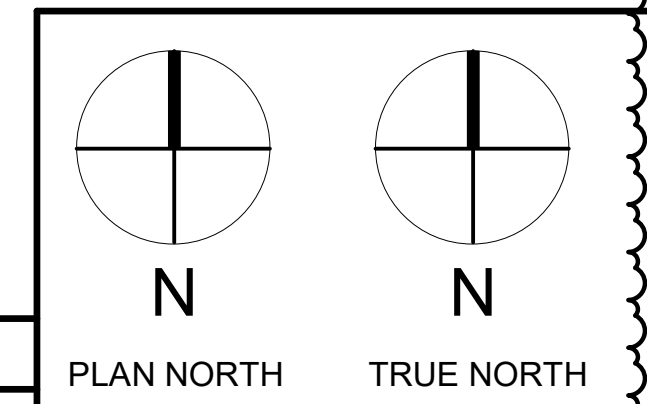
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

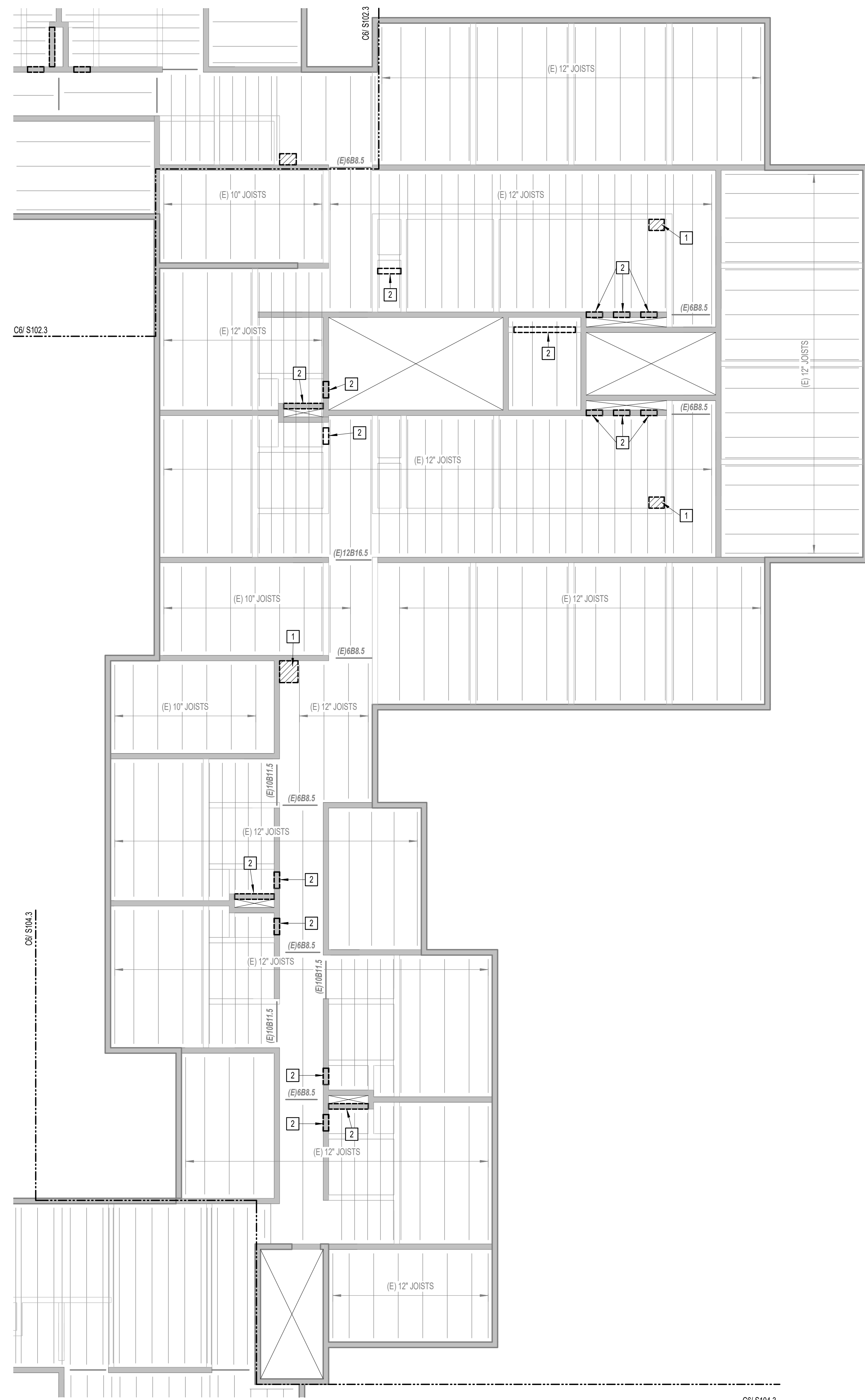
TITLE
 PHASE 3 SECOND FLOOR STRUCTURAL PLANS

SHEET
S103.2

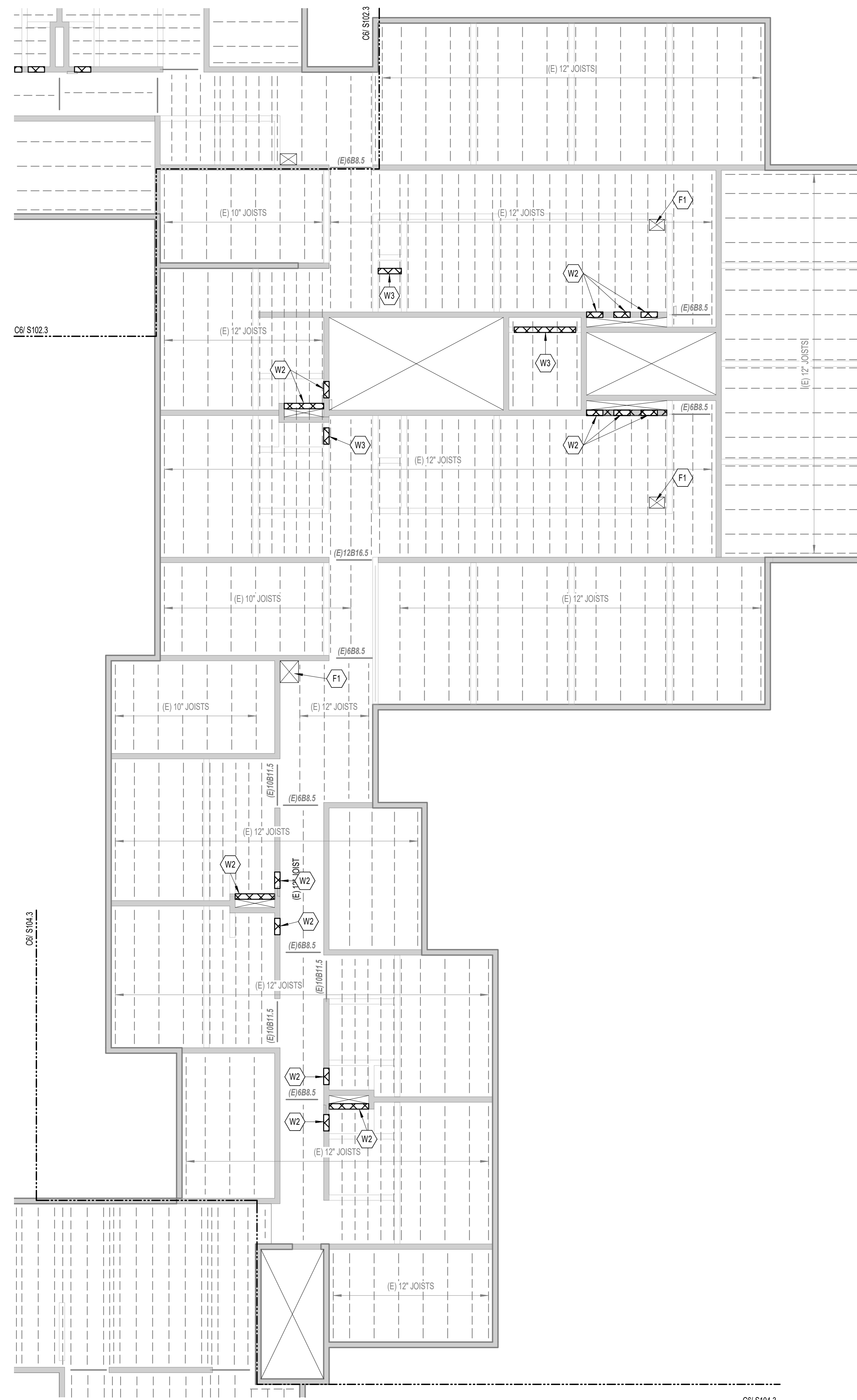


A6 PHASE 3 SECOND FLOOR STRUCTURAL DEMO PLAN
 1/8" = 1'-0"

A3 PHASE 3 SECOND FLOOR STRUCTURAL FRAMING PLAN
 1/8" = 1'-0"



C6/S104.3



C6/S104.3

FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

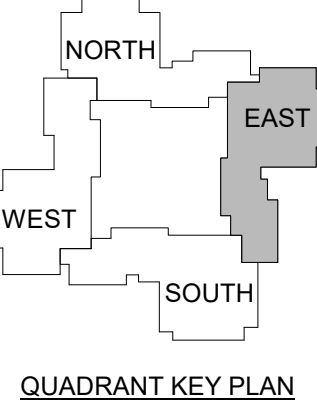
- INDICATES EXISTING ASSUMED CMU BEARING WALL
- - - INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- ▨ INDICATES CMU WALL INFILL - REFER TO DETAIL E3/S500
- ▧ INDICATES CMU WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL. DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6'. NOTIFY SER IF THIS CANNOT BE ACHIEVED
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW INCLUDING CALCULATIONS TO SER PRIOR TO WORK. REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS

FLOOR FRAMING PLAN KEYED NOTES LEGEND:

- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3/S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3/S500
- W3 NON-BEARING CMU WALL INFILL - REFER TO ARCH DRAWINGS



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

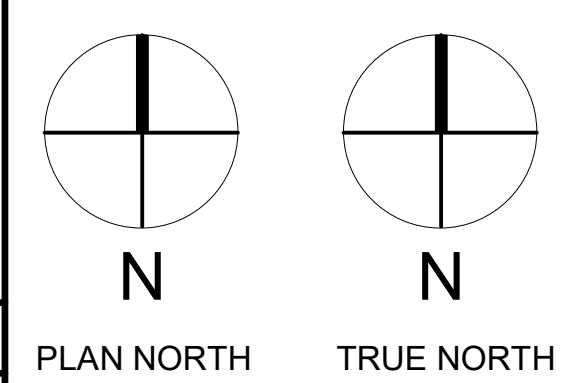
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
PHASE 3 THIRD
FLOOR STRUCTURAL
PLANS

SHEET
S103.3



6

5

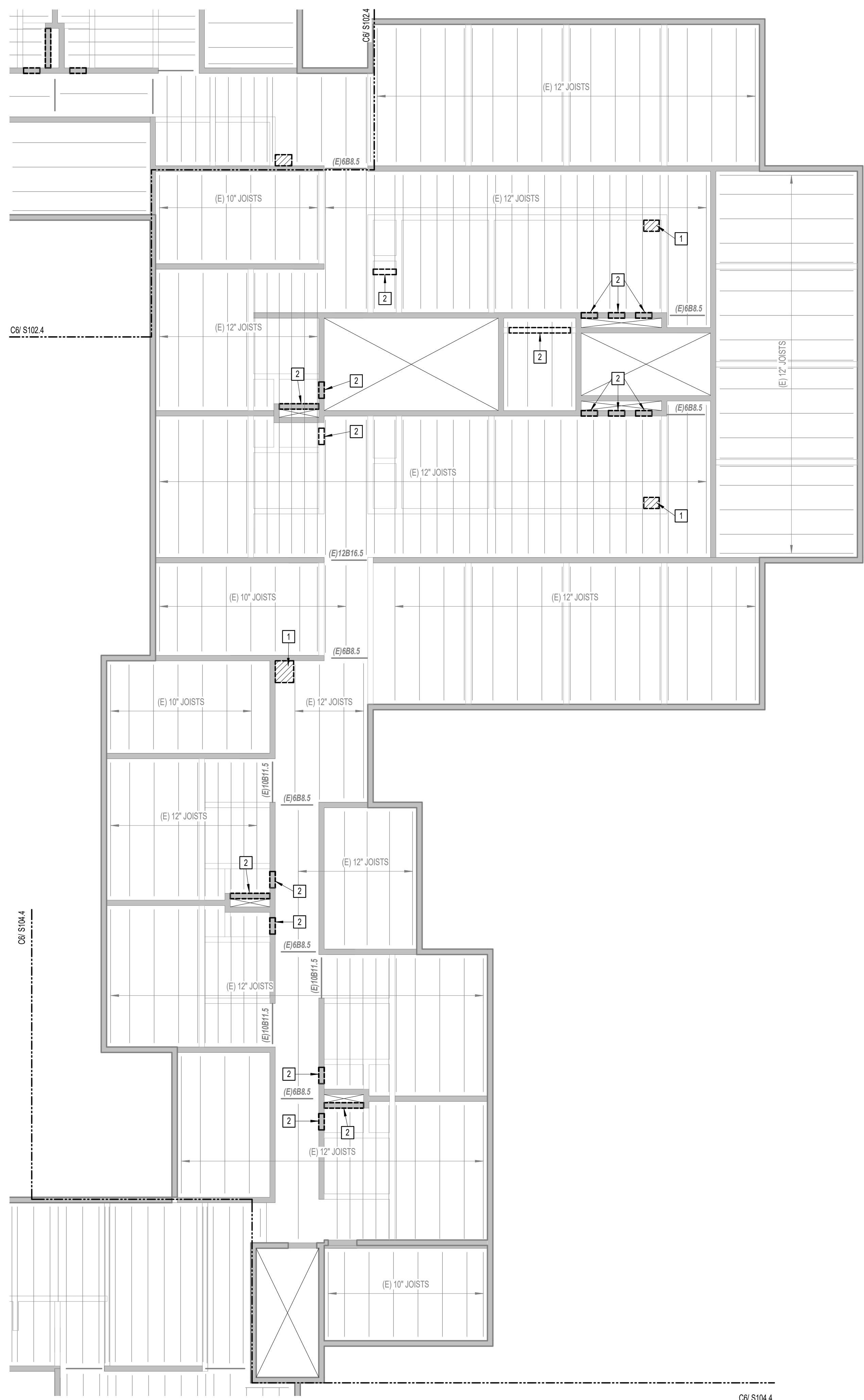
4

3

2

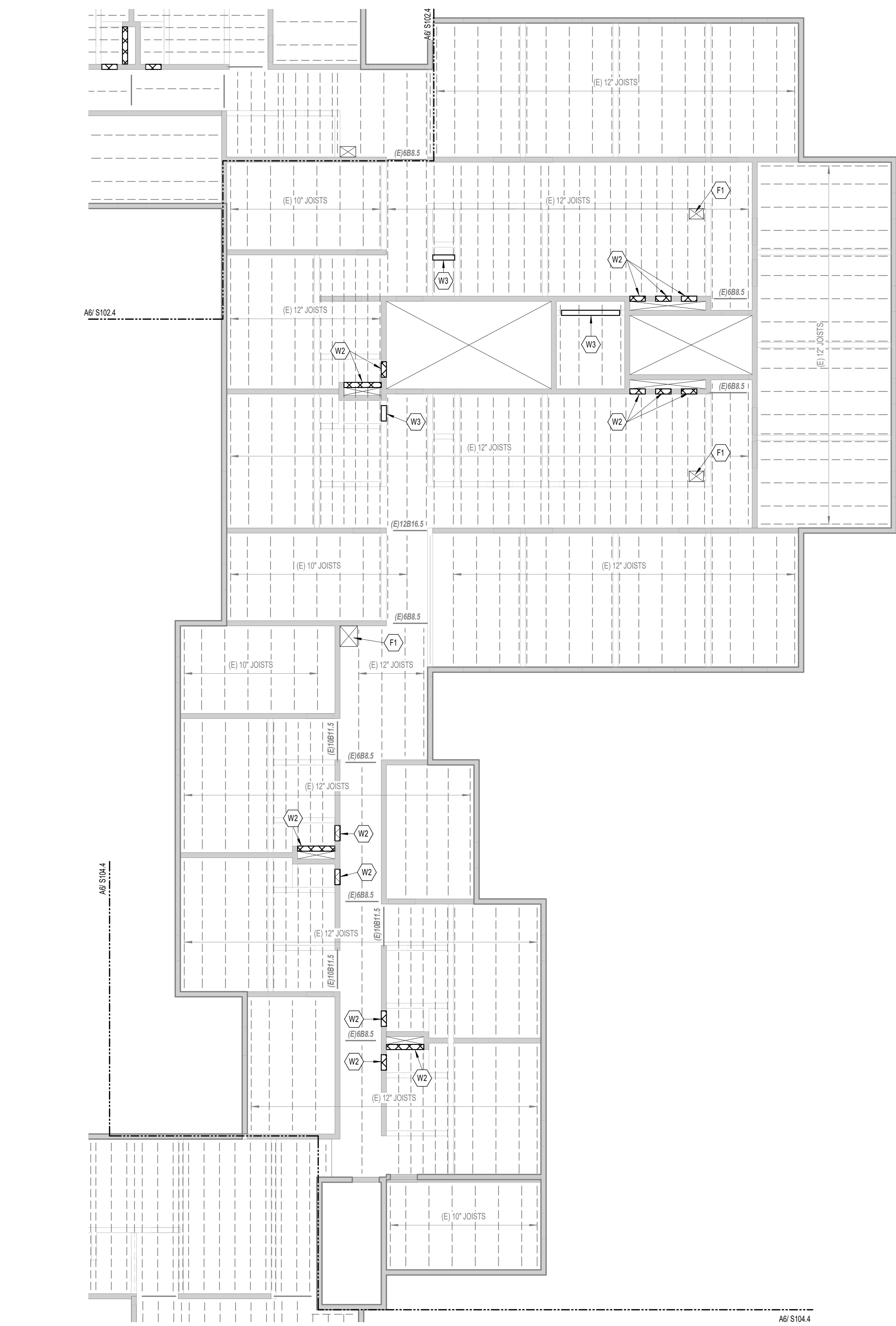
1

M
D
C
B
A



A6 PHASE 3 FOURTH FLOOR STRUCTURAL DEMO PLAN

1/8" = 1'-0"



A3 PHASE 3 FOURTH FLOOR STRUCTURAL FRAMING PLAN

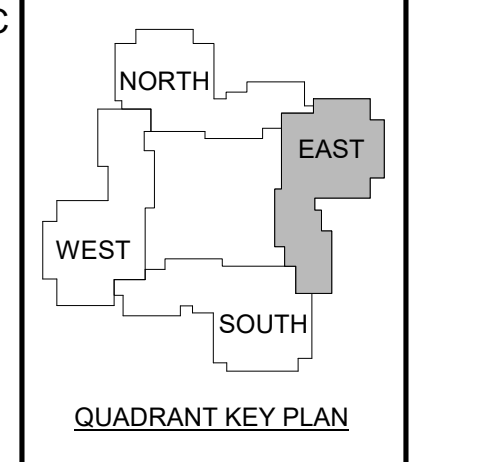
1/8" = 1'-0"

- FRAMING PLAN NOTES:**
- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.
- FLOOR FRAMING LEGEND:**
- INDICATES EXISTING ASSUMED CMU BEARING WALL
 - INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
 - INDICATES CMU WALL INFILL - REFER TO DETAIL E31 S500
 - INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
 - INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE
- FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:**
- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WILL DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6', NOTIFY SER IF THIS CANNOT BE ACHIEVED
 - REMOVE EXISTING CMU WALL AS REQUIRED. NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E31S500 FOR EXTENT OF REMOVAL REQUIREMENTS
- FLOOR FRAMING PLAN KEYED NOTES LEGEND:**
- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
 - W1 NON-BEARING WALL INFILL - REFER TO DETAIL E31 S500
 - W2 BEARING WALL INFILL - REFER TO DETAIL E31 S500
 - W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS



COPYRIGHT
CHA Architecture
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Castine, Maine 04421



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

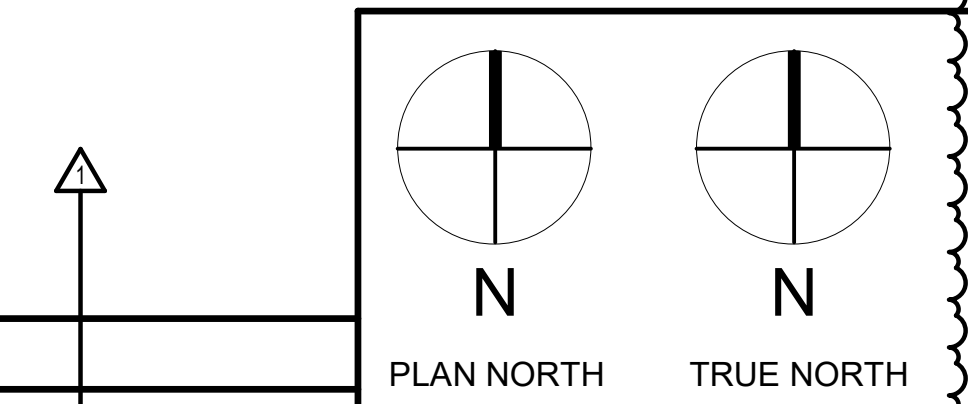
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 3 FOURTH FLOOR STRUCTURAL PLANS

SHEET
S103.4



6

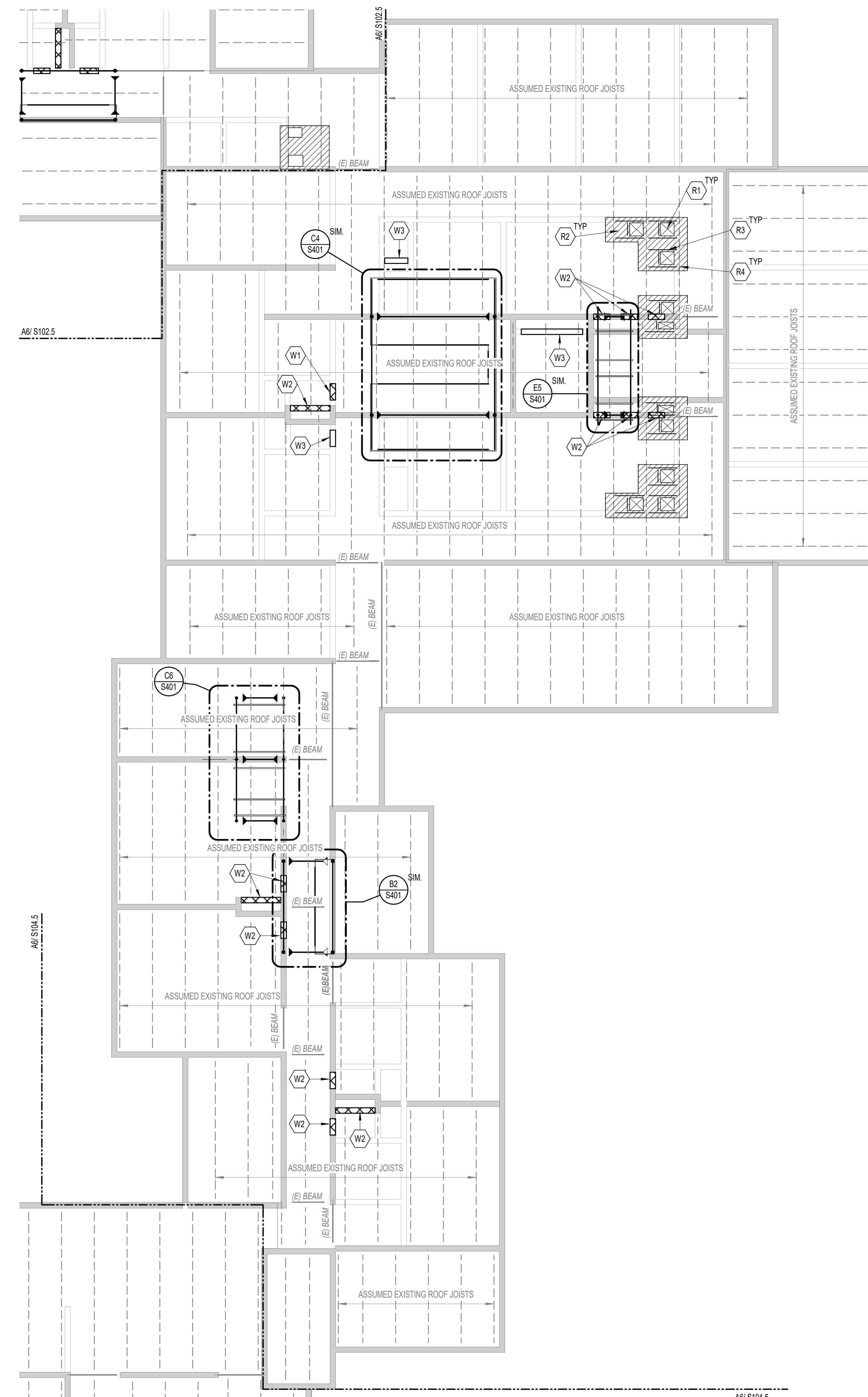
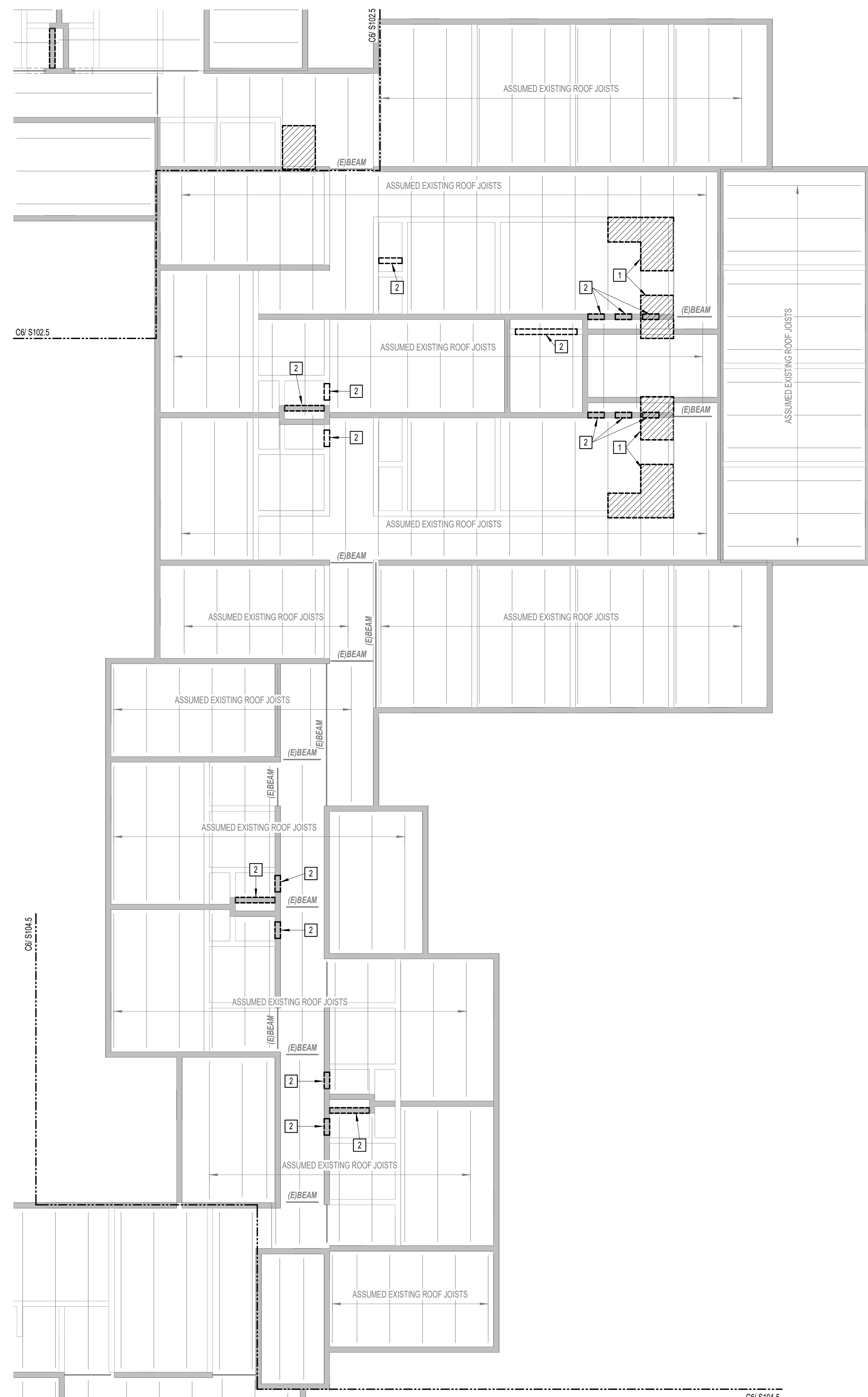
5

4

3

2

1



ROOF FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE ROOF FRAMING LEVEL WHILE THE WALLS SHOWN ARE BELOW THE ROOF FRAMING LEVEL.

ROOF LEGEND:

- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- INDICATES CMU WALL INFILL REFER TO DETAIL E3/S500
- INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

ROOF DEMO FRAMING PLAN KEYED NOTES LEGEND:

- REMOVE EXISTING ROOF DECK AS REQUIRED TO FACILITATE PROPOSED WORK FOR PROPOSED DUCTWORK
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW INCLUDING CALCULATIONS TO SEE PRIOR TO WORK. REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS
- REMOVE EXISTING ROOF DECK AS REQUIRED FOR REQUIRED ROUGH OPENING OF ROOF ACCESS HATCH

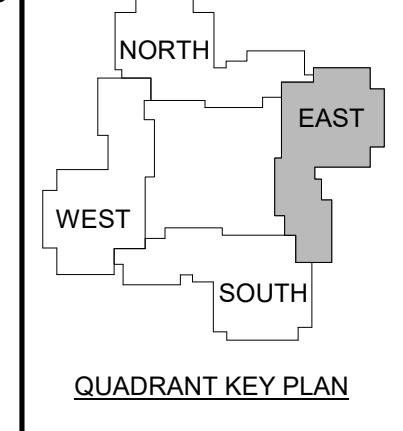
ROOF FRAMING PLAN KEYED NOTES LEGEND:

- R1 PROVIDE OPENING DECK FOR MECH - COORDINATE LOCATIONS AND SIZES w/MECH DRAWINGS
- R2 PROVIDE DECK INFILL PER DETAIL A3/S500
- R3 PROVIDE FRAMED OPENING PER DETAIL B3/S500
- R4 REINFORCE EXISTING JOISTS PER DETAIL B1V/S500
- R5 PROVIDE FRAME OUT FOR ROOF ACCESS HATCH OPENING PER DETAIL A3/S500
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3/S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3/S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS



COPYRIGHT
CHA Architecture
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

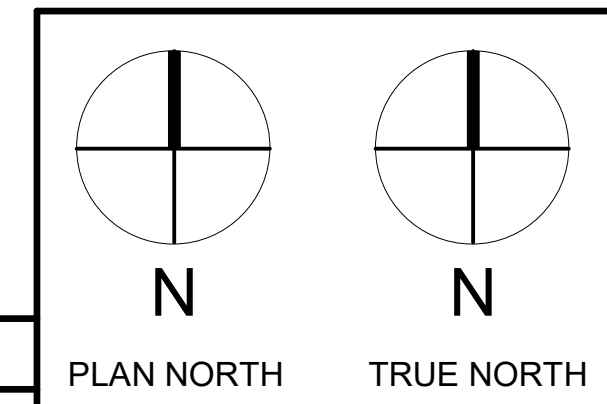
No. | Date | Description
 Revision Schedule

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

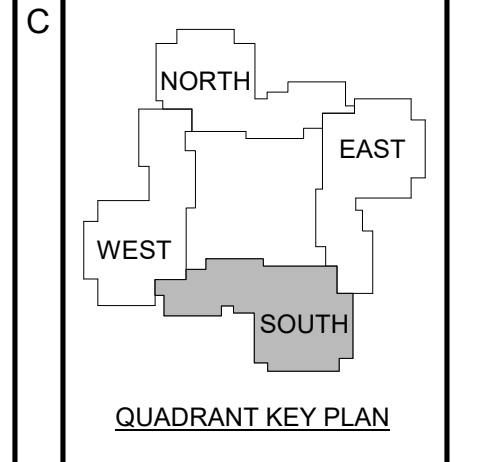
TITLE
 PHASE 3 ROOF LEVEL STRUCTURAL PLANS

SHEET
S103.5



A6 PHASE 3 ROOF LEVEL STRUCTURAL DEMO PLAN
 1/8" = 1'-0"

A3 PHASE 3 ROOF LEVEL STRUCTURAL FRAMING PLAN
 1/8" = 1'-0"



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-------------------|------|-------------|
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 4 SECOND FLOOR STRUCTURAL PLANS

SHEET
S104.2

FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

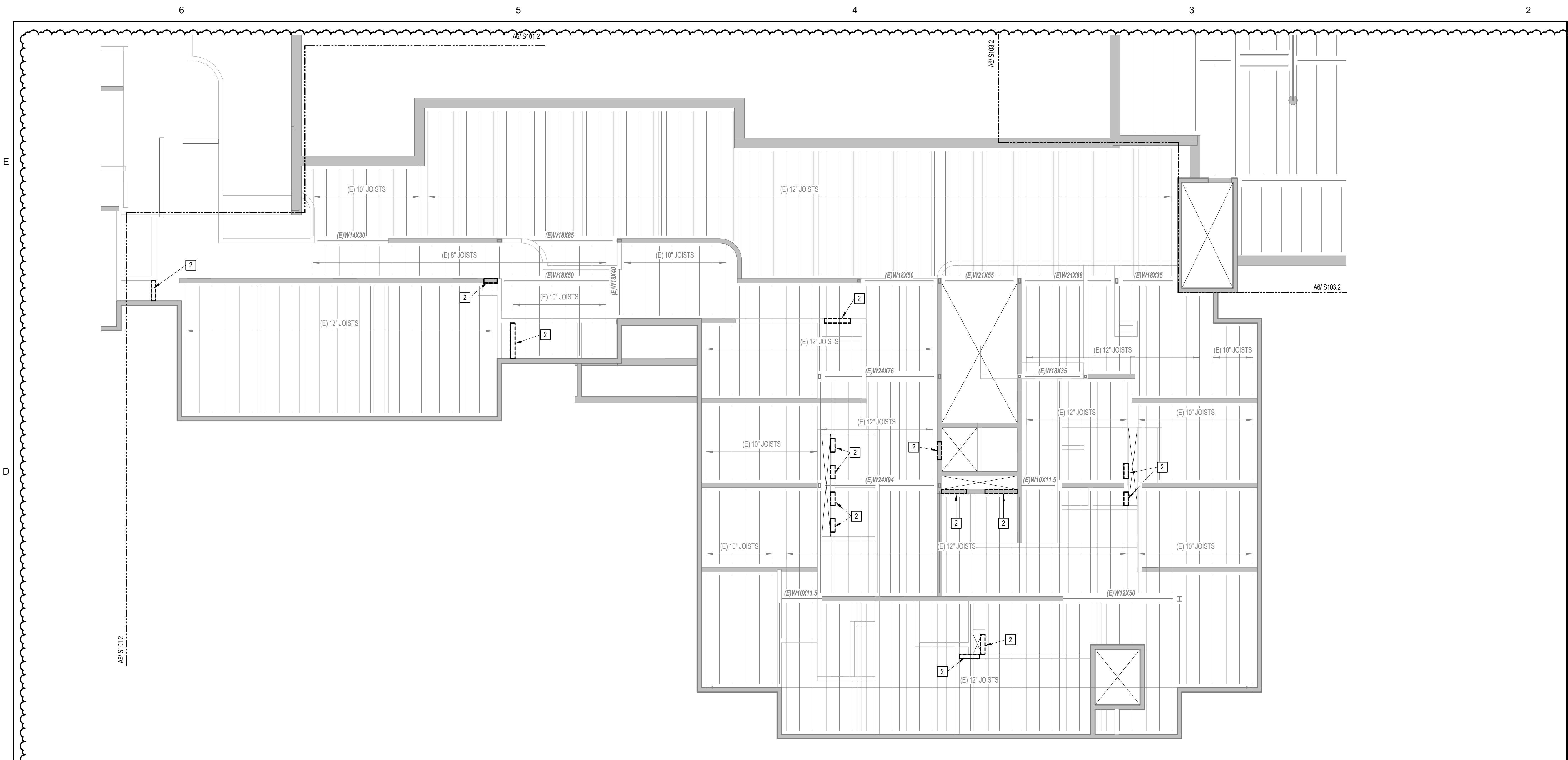
- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- ▨ INDICATES CMU WALL INFILL - REFER TO DETAIL E3/ S500
- ▧ INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

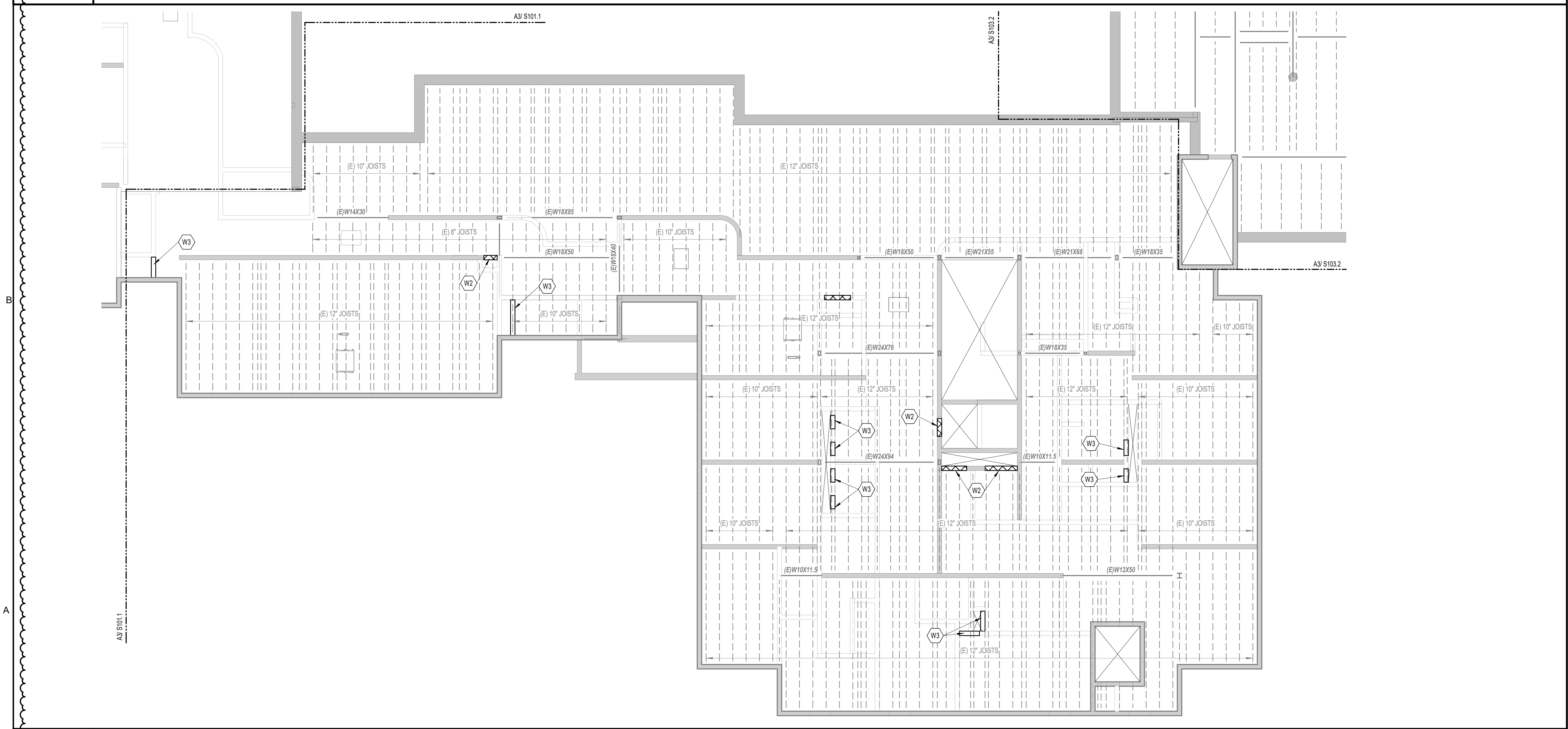
- REMOVE EXISTING FLOOR SLAB DECK AS REQUIRED FOR REQUIRED CHASE OPENING (C/NOTE WELL - DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6'. NOTIFY SER IF THIS CANNOT BE ACHIEVED)
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS

FLOOR FRAMING PLAN KEYED NOTES LEGEND:

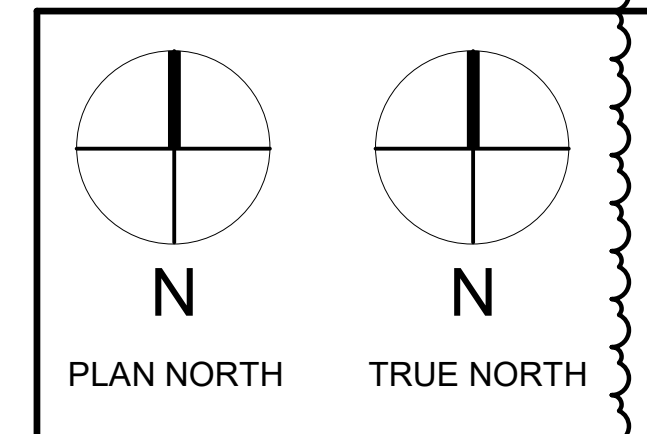
- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS

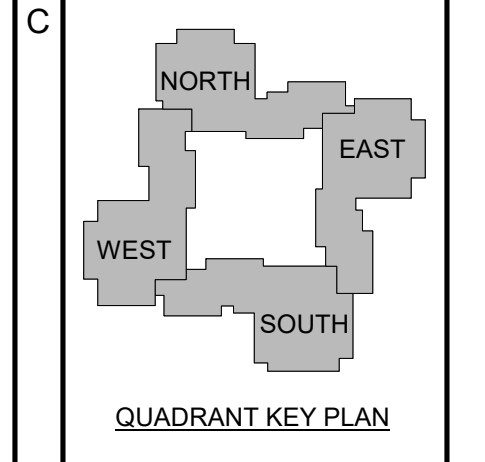


C6 PHASE 4 SECOND FLOOR STRUCTURAL DEMO PLAN
 1/8" = 1'-0"



A6 PHASE 4 SECOND FLOOR STRUCTURAL FRAMING PLAN
 1/8" = 1'-0"





| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | | -23 |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

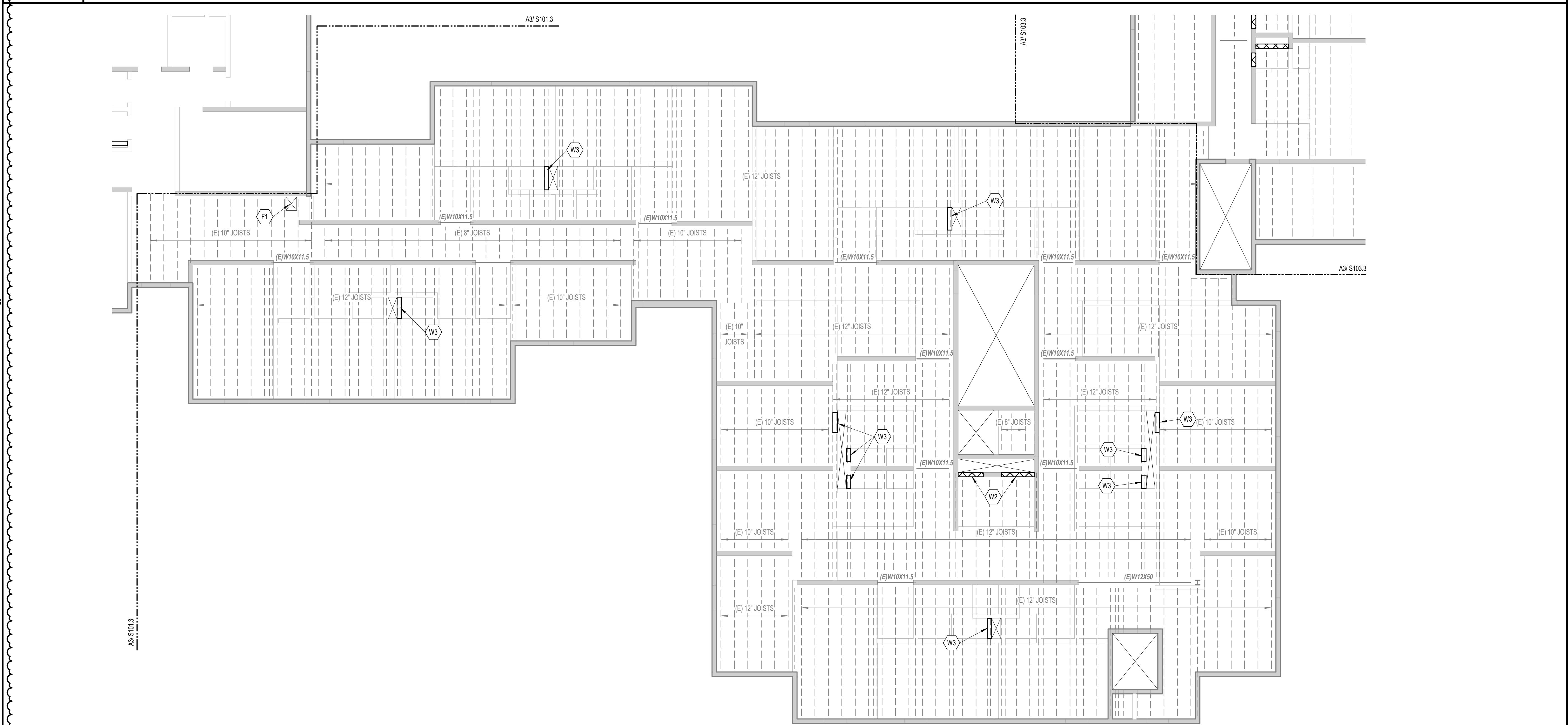
TITLE
 PHASE 4 THIRD FLOOR STRUCTURAL PLANS

SHEET
S104.3

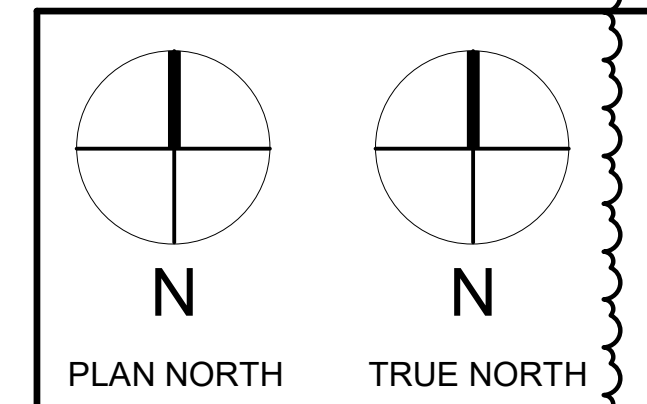
- FRAMING PLAN NOTES:**
- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.
- FLOOR FRAMING LEGEND:**
- INDICATES EXISTING ASSUMED CMU BEARING WALL
 - INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
 - INDICATES CMU WALL INFILL REFER TO DETAIL E3 S500
 - INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
 - INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE
- FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:**
- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL DO NOT CUT BEYOND JUST CREATING A CANTILEVER OF DECK MORE THAN 6'. NOTIFY SER IF THIS CANNOT BE ACHIEVED
 - REMOVE EXISTING CMU WALL AS REQUIRED (NOTED GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3S500 FOR EXTENT OF REMOVAL REQUIREMENTS
- FLOOR FRAMING PLAN KEYED NOTES LEGEND:**
- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
 - W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3 S500
 - W2 BEARING WALL INFILL - REFER TO DETAIL E3 S500
 - W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS

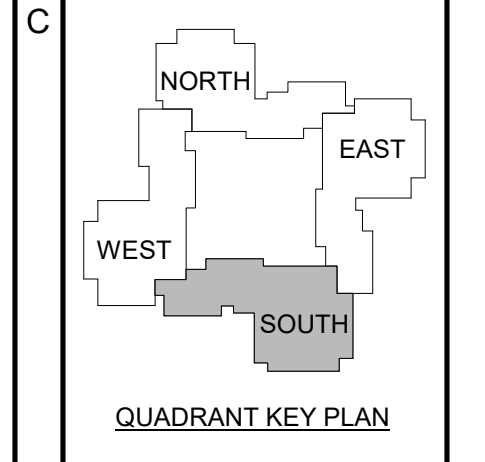


C6 PHASE 4 THIRD FLOOR STRUCTURAL DEMO PLAN
 1/8" = 1'-0"



A6 PHASE 4 THIRD FLOOR STRUCTURAL FRAMING PLAN
 1/8" = 1'-0"





| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 4 FOURTH FLOOR STRUCTURAL PLANS

SHEET
S104.4

FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE LEVEL THE FRAMING IS SUPPORTING WHILE THE WALLS SHOWN ARE BELOW THE NOTED FRAMING LEVEL.

FLOOR FRAMING LEGEND:

- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- ▨ INDICATES CMU WALL INFILL - REFER TO DETAIL E3/ S500
- ▧ INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

FLOOR DEMO FRAMING PLAN KEYED NOTES LEGEND:

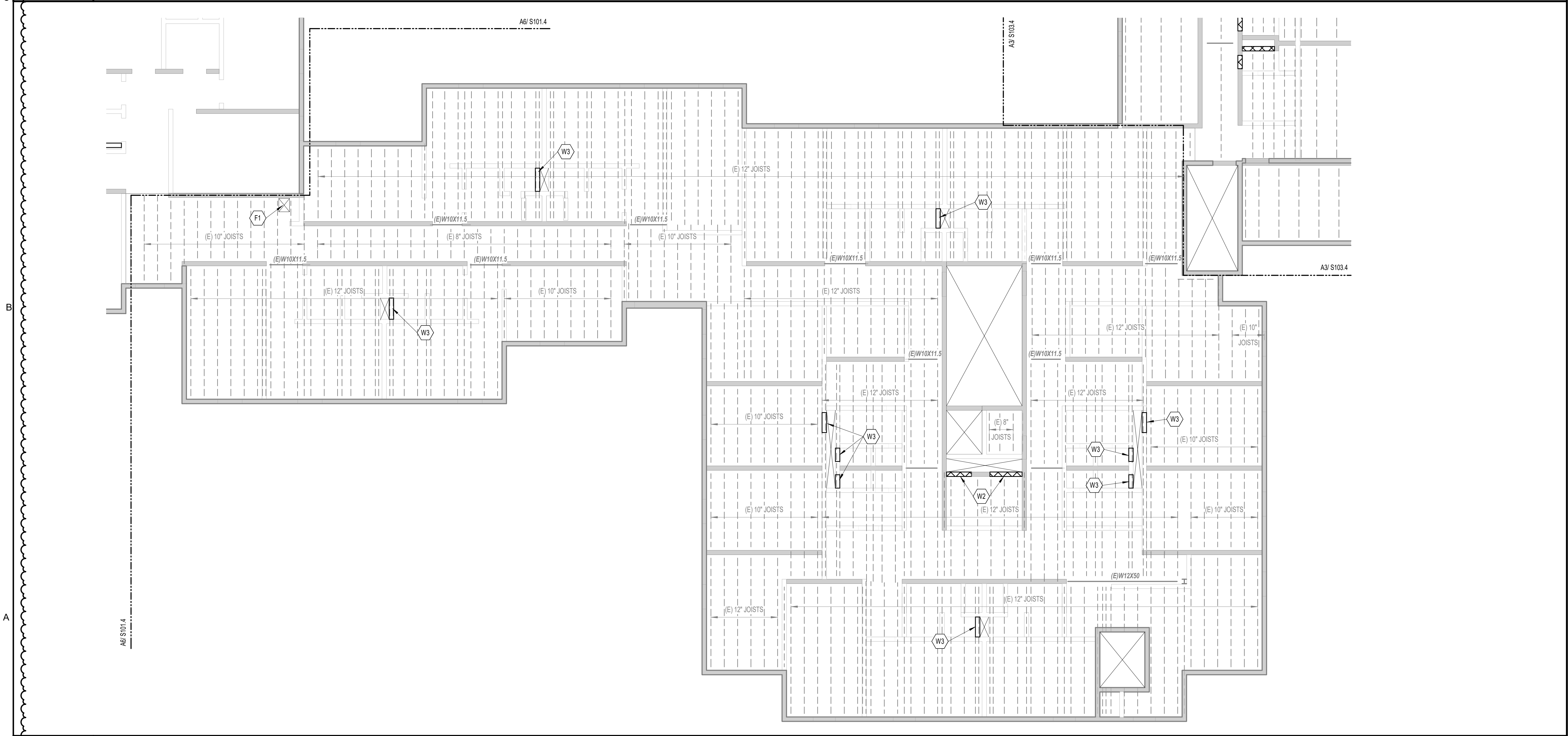
- REMOVE EXISTING FLOOR SLAB/DECK AS REQUIRED FOR REQUIRED CHASE OPENING GC NOTE WELL DO NOT CUT BEYOND JOIST CREATING A CANTILEVER OF DECK MORE THAN 6'. NOTIFY SER IF THIS CANNOT BE ACHIEVED
- REMOVE EXISTING CMU WALL AS REQUIRED (NOTED GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL - PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3/S500 FOR EXTENT OF REMOVAL REQUIREMENTS

FLOOR FRAMING PLAN KEYED NOTES LEGEND:

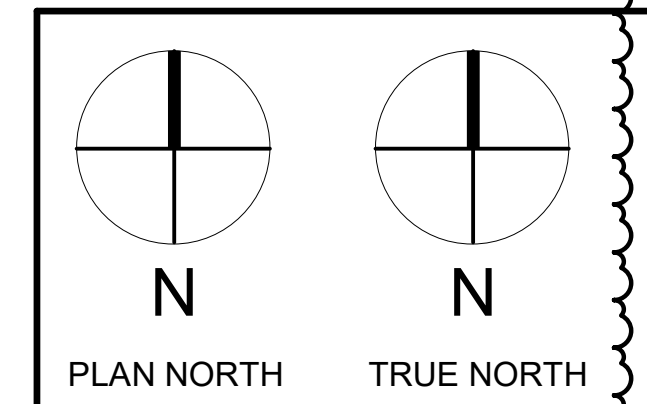
- F1 FLOOR OPENING AT CHASE - REFER TO DEMO PLAN
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3/ S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS

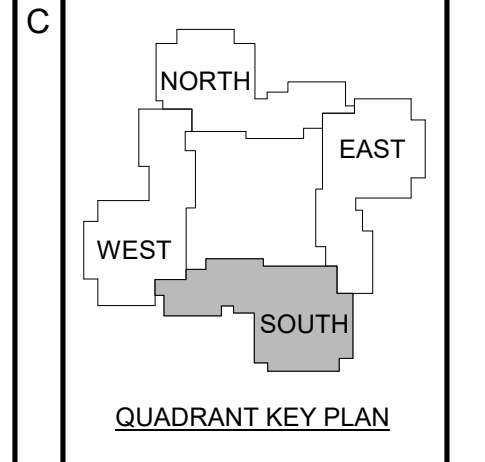


C6 PHASE 4 FOURTH FLOOR STRUCTURAL DEMO PLAN
 1/8" = 1'-0"



A6 PHASE 4 FOURTH FLOOR STRUCTURAL FRAMING PLAN
 1/8" = 1'-0"





| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 4 ROOF LEVEL STRUCTURAL PLANS

SHEET
S104.5

ROOF FRAMING PLAN NOTES:

- THIS FRAMING PLAN VIEWS ON THIS SHEET DEPICT THE ROOF FRAMING LEVEL WHILE THE WALLS SHOWN ARE BELOW THE ROOF FRAMING LEVEL.

ROOF LEGEND:

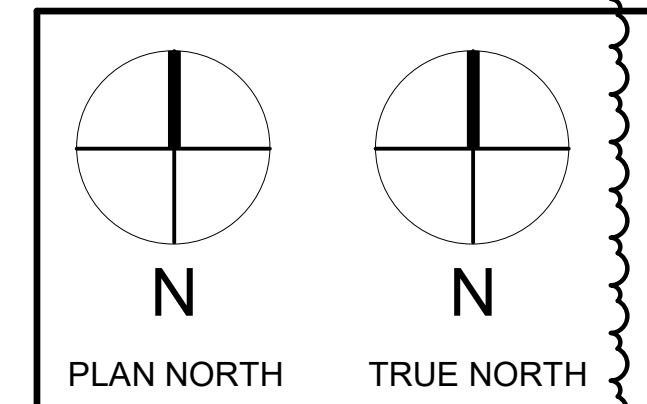
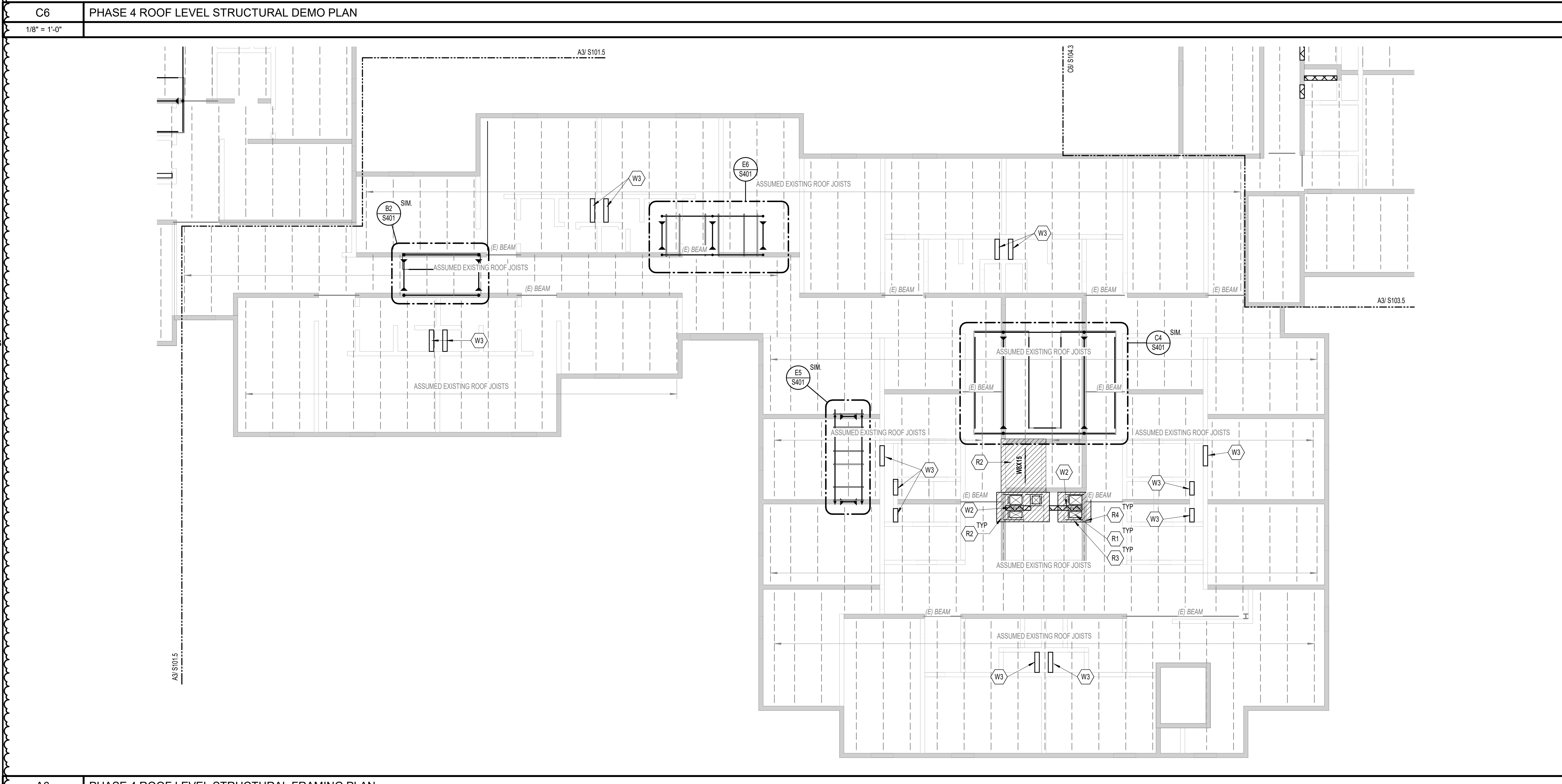
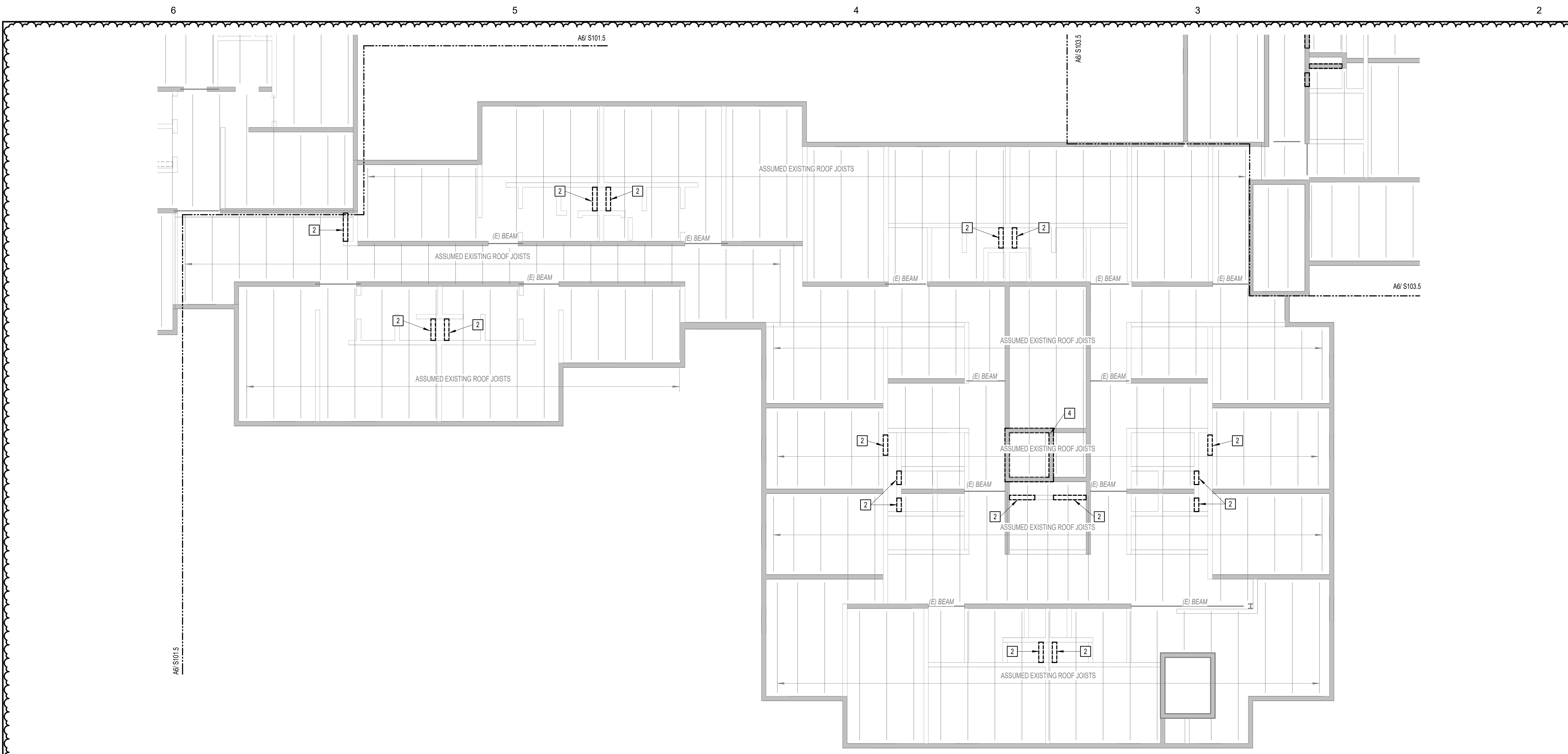
- INDICATES EXISTING ASSUMED CMU BEARING WALL
- INDICATES EXISTING ASSUMED CMU NON-BEARING WALL
- INDICATES CMU WALL INFILL - REFER TO DETAIL E3' S500
- INDICATES CFM WALL INFILL - REFER TO ARCH DRAWINGS
- INDICATES AREA OF DEMO WORK - SEE DEMO LEGEND FOR TYPE

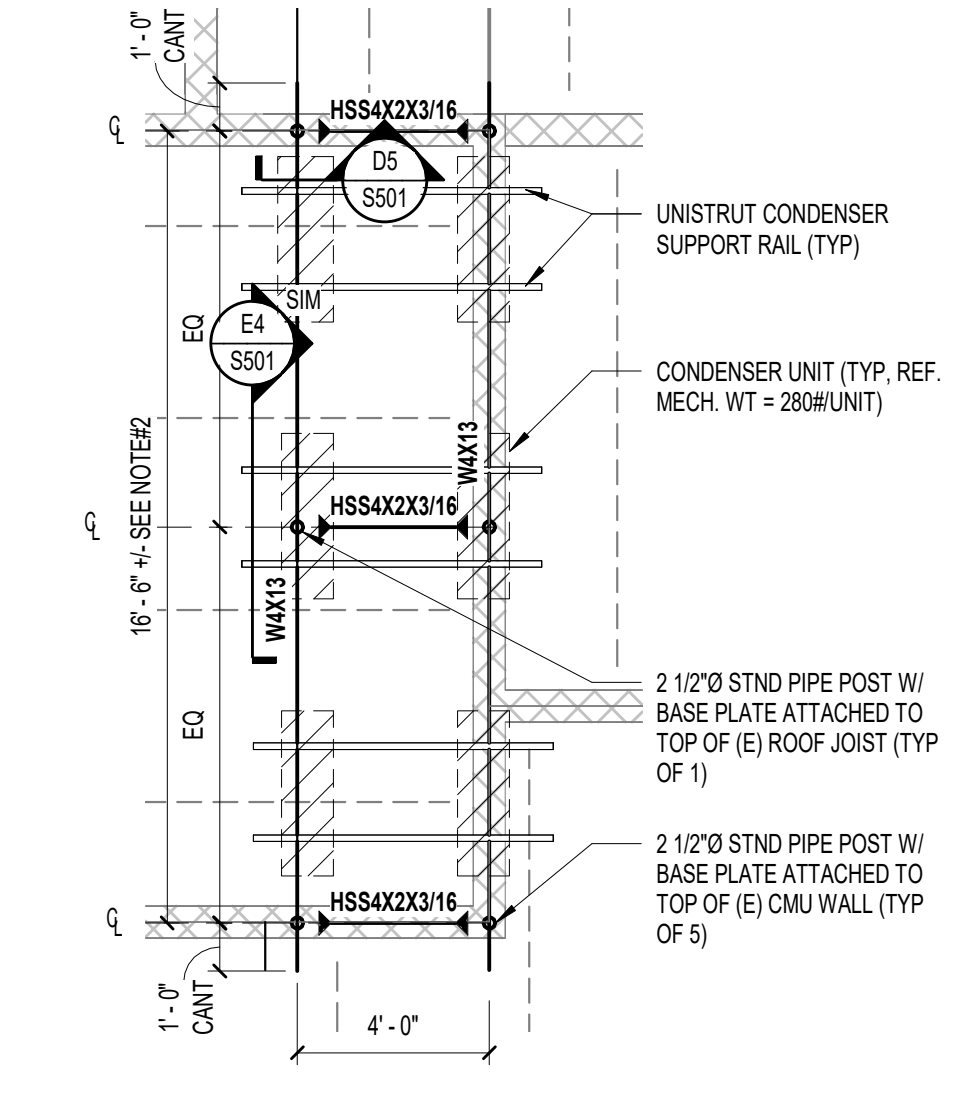
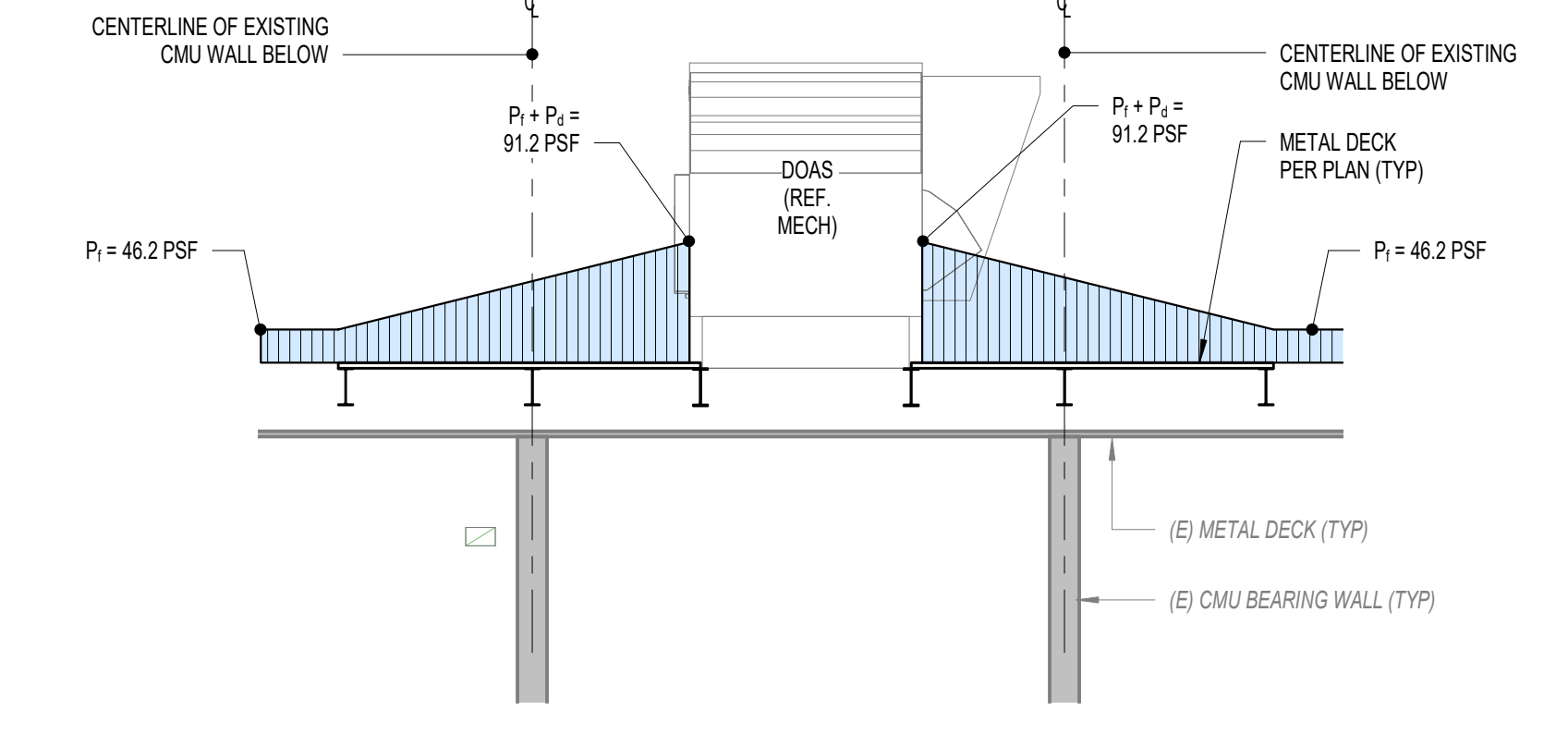
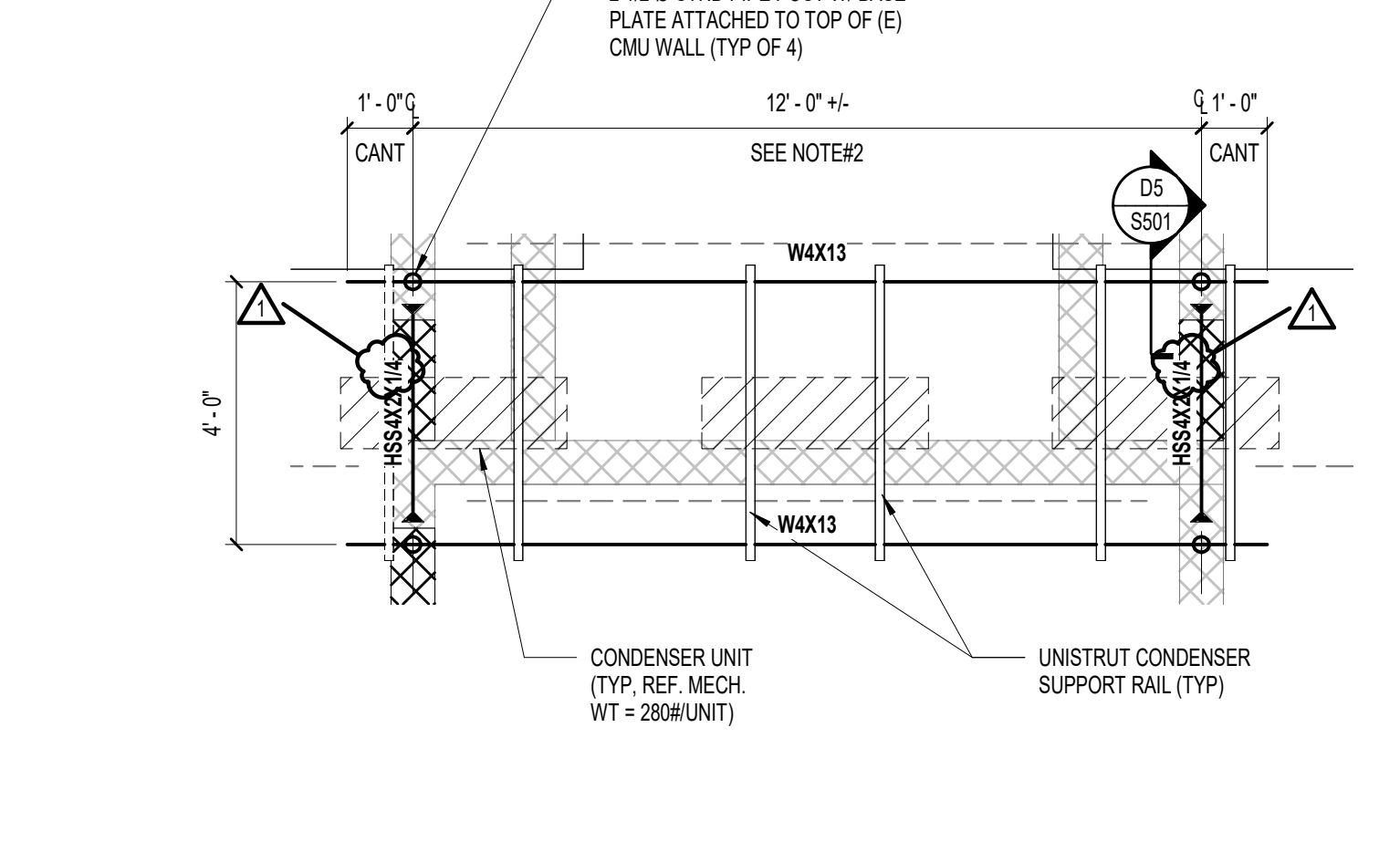
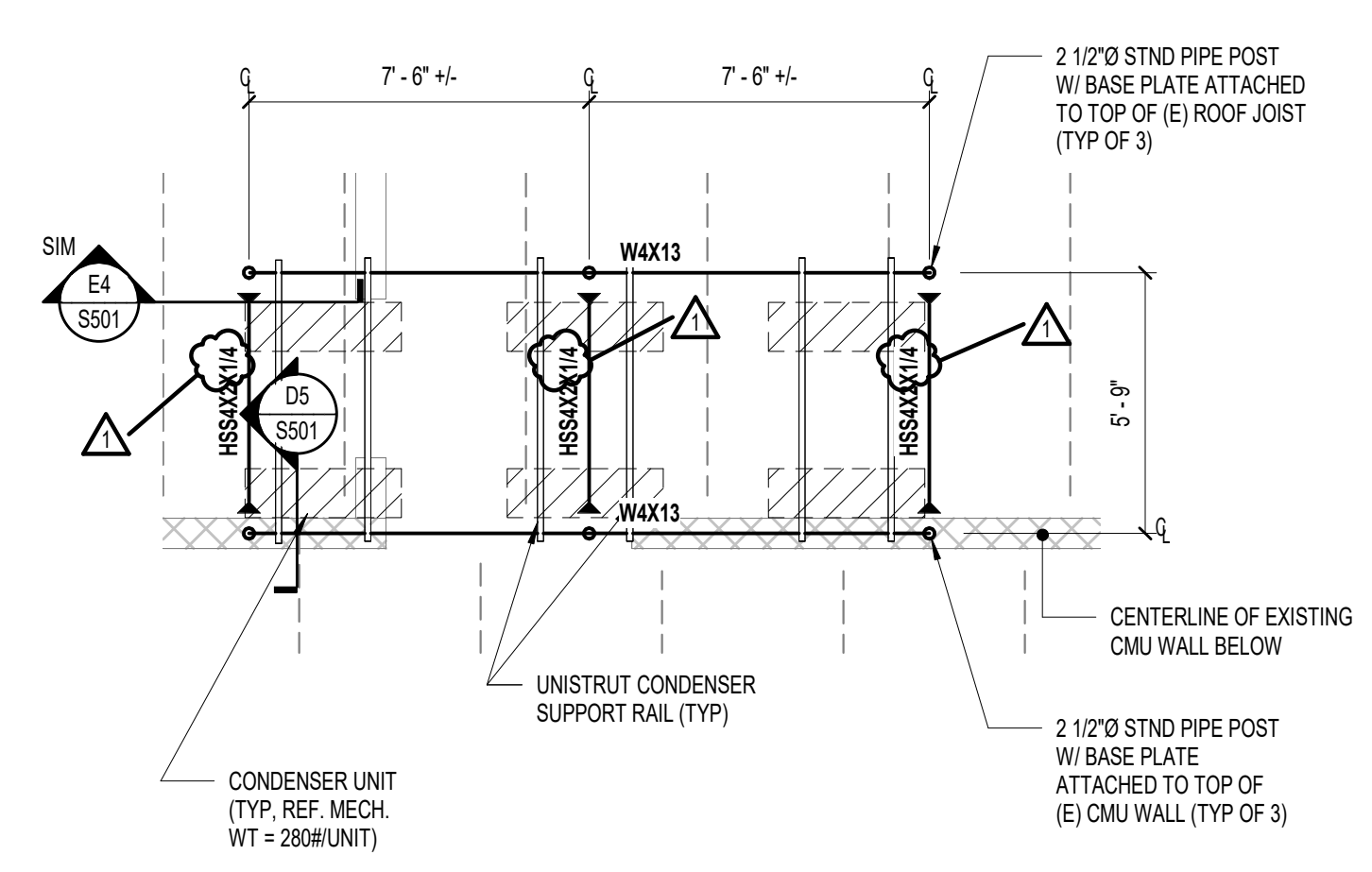
ROOF DEMO FRAMING PLAN KEYED NOTES LEGEND:

- REMOVE EXISTING ROOF DECK AS REQUIRED TO FACILITATE PROPOSED WORK FOR PROPOSED DUCTWORK
- REMOVE EXISTING CMU WALL AS REQUIRED / NOTED. GC SHALL PROVIDE SHORING (DELEGATED DESIGN) WHERE REQUIRED TO FACILITATE PROPOSED WALL REMOVAL. PROVIDE SHOP REVIEW (INCLUDING CALCULATIONS) TO SER PRIOR TO WORK. REFER TO E3'S500 FOR EXTENT OF REMOVAL REQUIREMENTS
- REMOVE EXISTING ROOF DECK AS REQUIRED FOR REQUIRED ROUGH OPENING OF ROOF ACCESS HATCH
- REMOVE EXISTING ELEVATOR WALLS AND ROOF CAP TO BELOW MAIN ROOF DECKING

ROOF FRAMING PLAN KEYED NOTES LEGEND:

- R1 PROVIDE OPENING DECK FOR MECH - COORDINATE LOCATIONS AND SIZES W/MECH DRAWINGS
- R2 PROVIDE DECK INFILL PER DETAIL A3' S500
- R3 PROVIDE FRAMED OPENING PER DETAIL B3' S500
- R4 REINFORCE EXISTING JOISTS PER DETAIL B1' S500
- R5 PROVIDE FRAME OUT FOR ROOF ACCESS HATCH OPENING PER DETAIL A5' S500
- W1 NON-BEARING WALL INFILL - REFER TO DETAIL E3' S500
- W2 BEARING WALL INFILL - REFER TO DETAIL E3' S500
- W3 NON-BEARING CFM WALL INFILL - REFER TO ARCH DRAWINGS



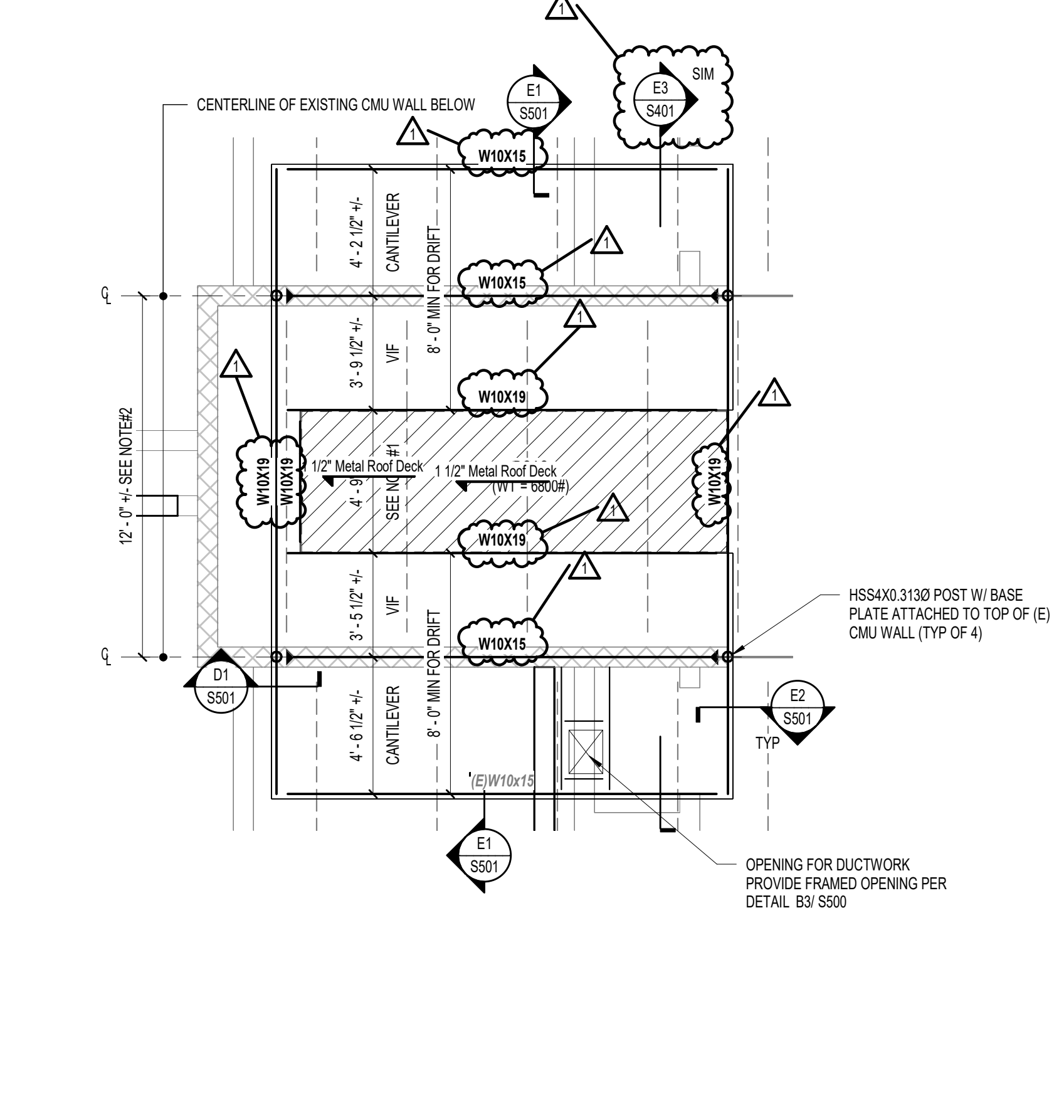
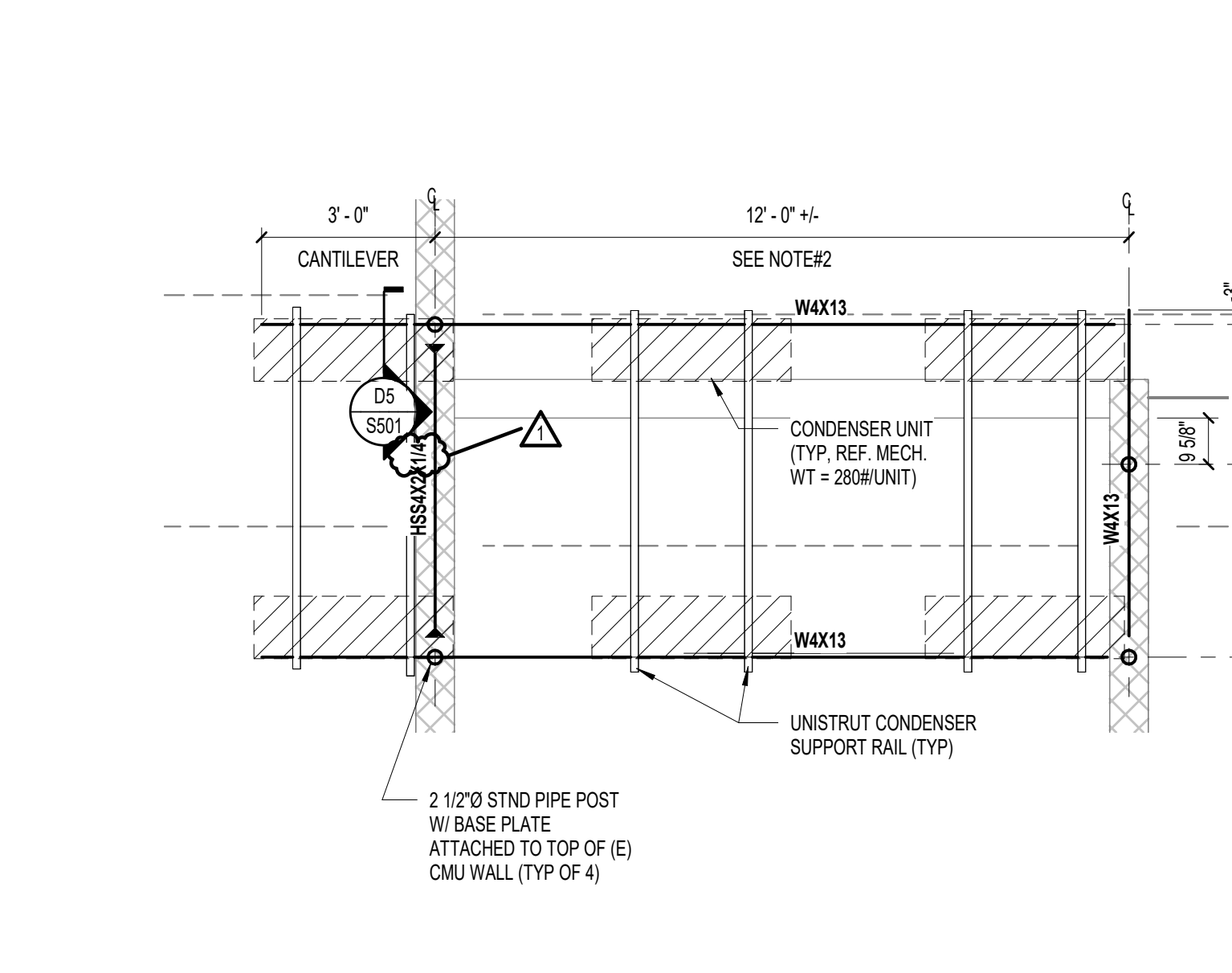
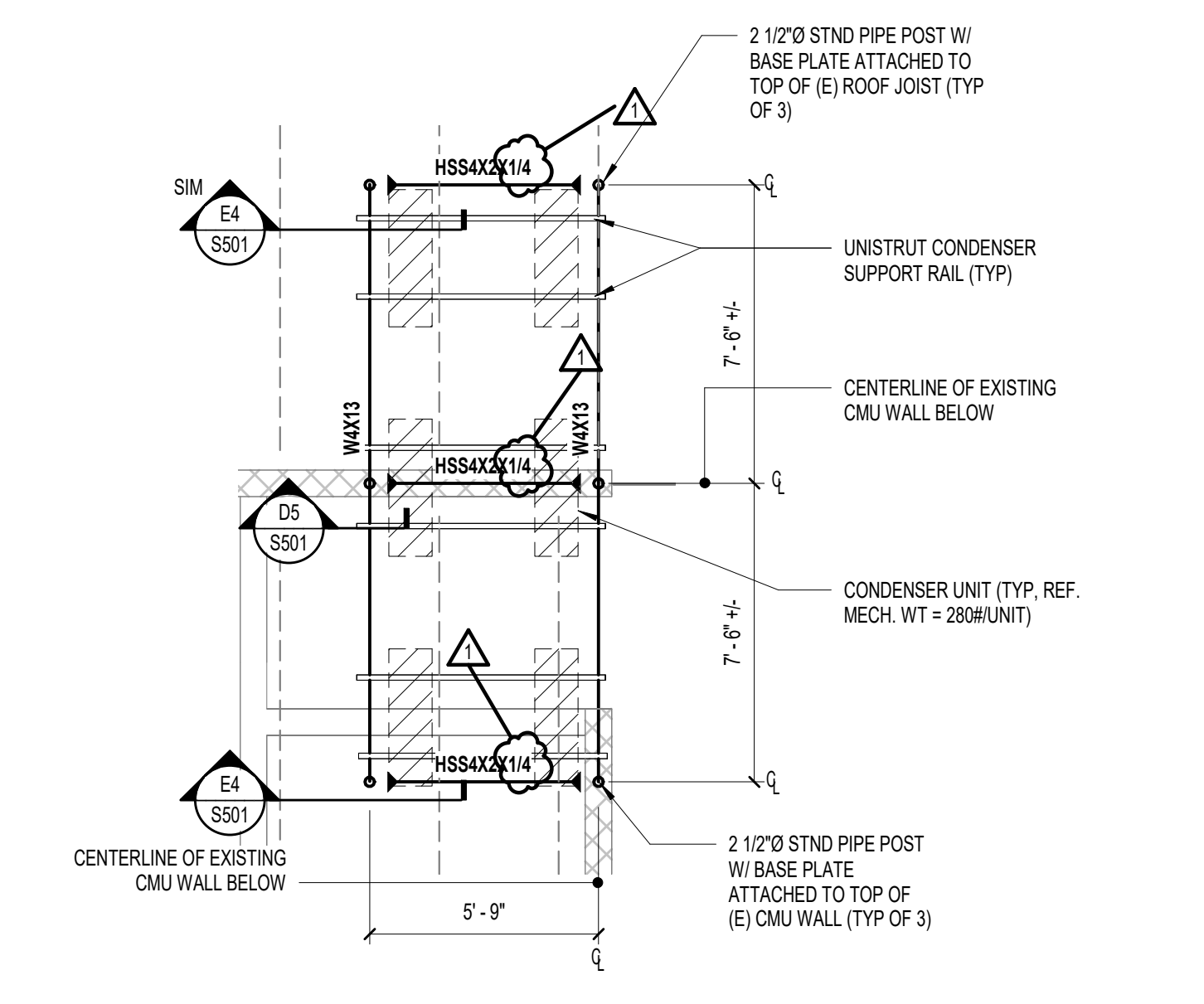


E6 ENLARGED CONDENSER DUNNAGE FRAMING PLAN
1/4" = 1'-0"

E5 ENLARGED CONDENSER DUNNAGE FRAMING PLAN
3/8" = 1'-0"

E3 CROSS SECTION
1/4" = 1'-0"

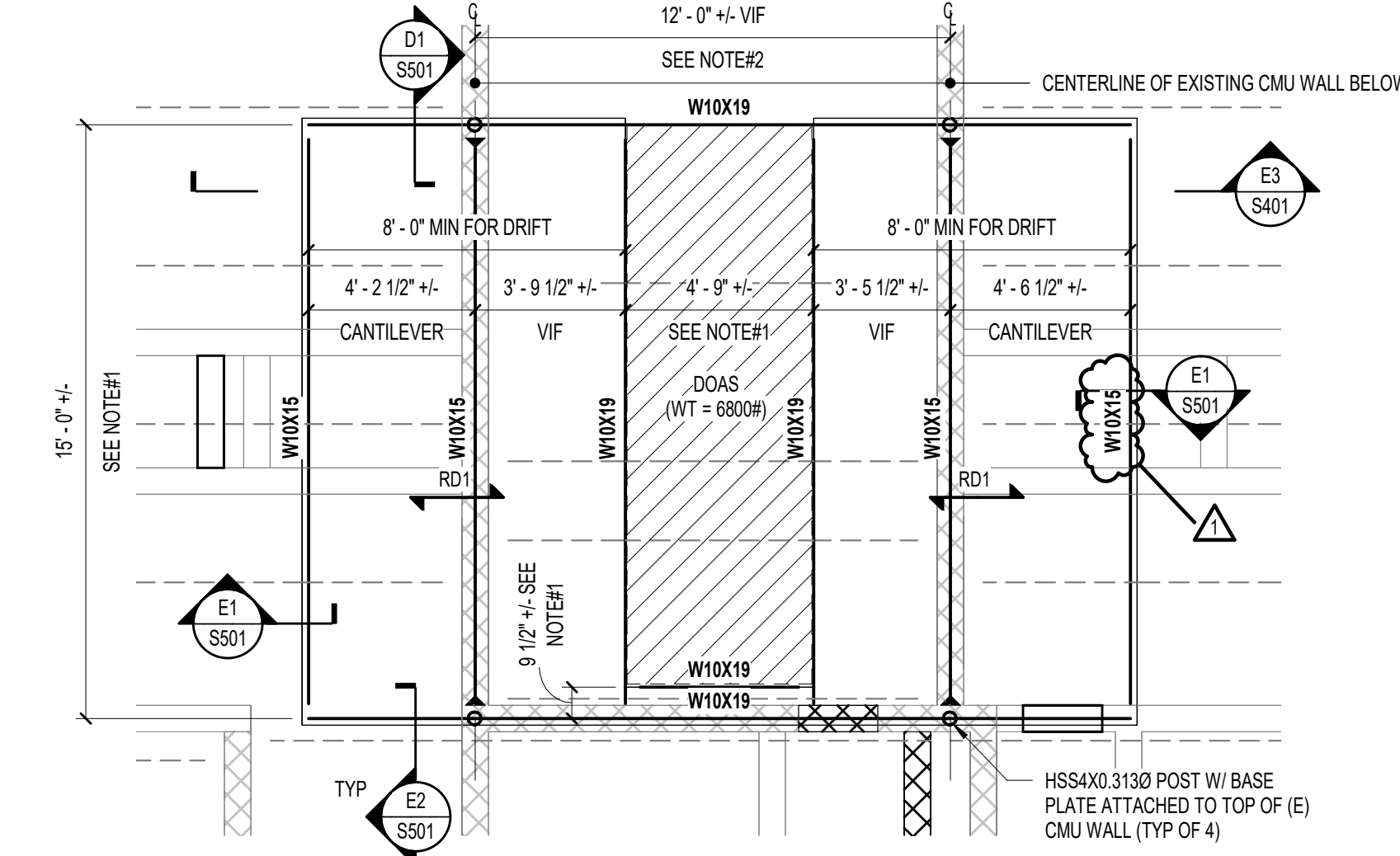
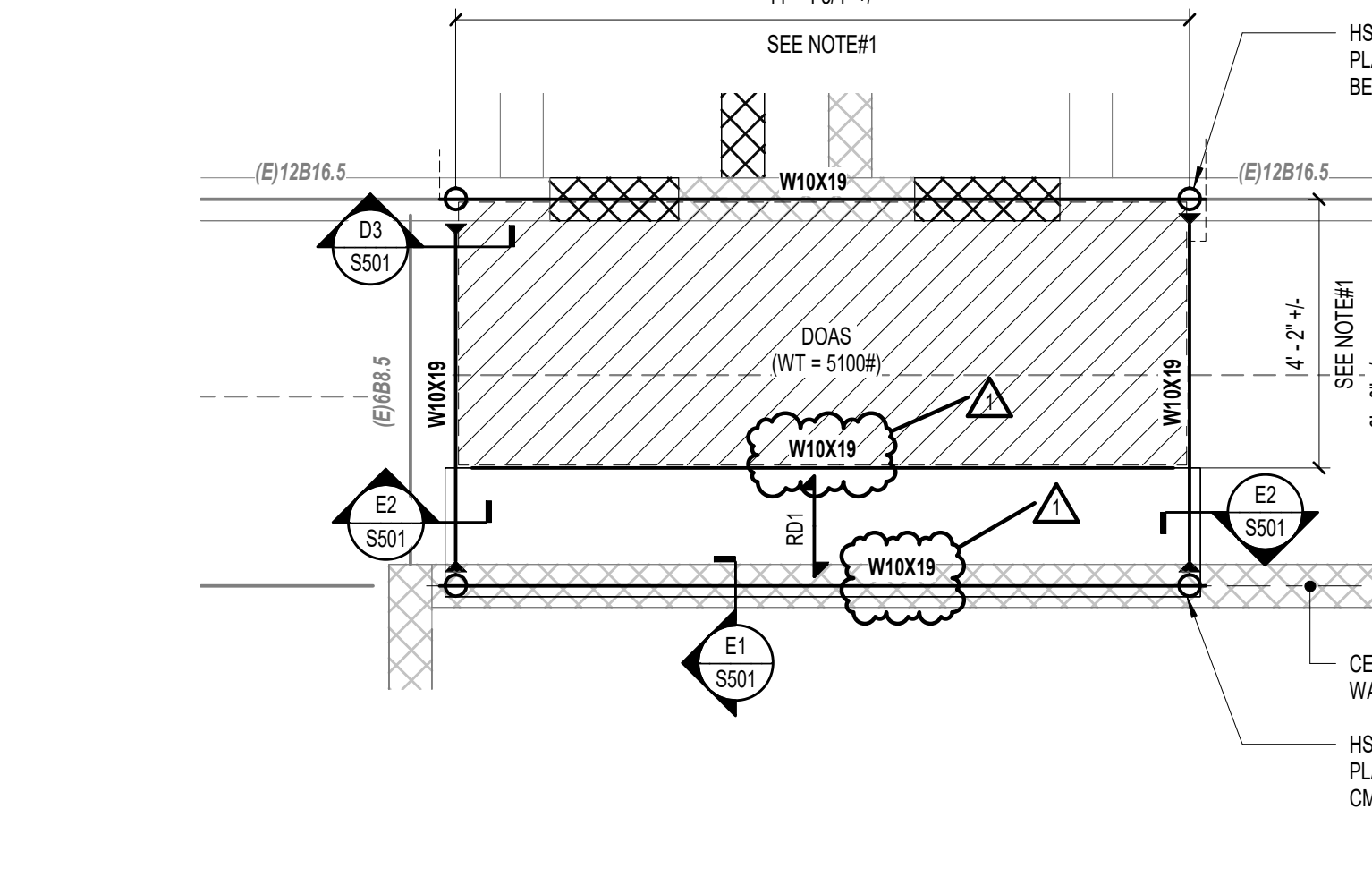
E1 ENLARGED CONDENSER DUNNAGE FRAMING PLAN
1/4" = 1'-0"



C6 ENLARGED CONDENSER DUNNAGE FRAMING PLAN
1/4" = 1'-0"

C4 ENLARGED CONDENSER DUNNAGE FRAMING PLAN
3/8" = 1'-0"

C3 ENLARGED DOAS DUNNAGE FRAMING PLAN
1/4" = 1'-0"



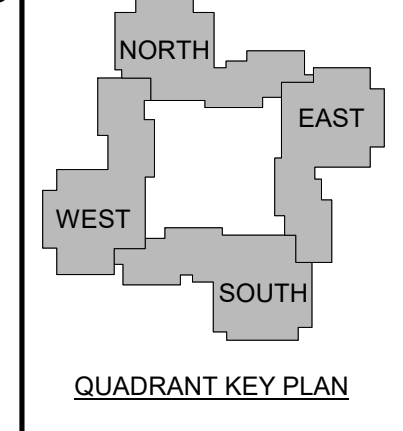
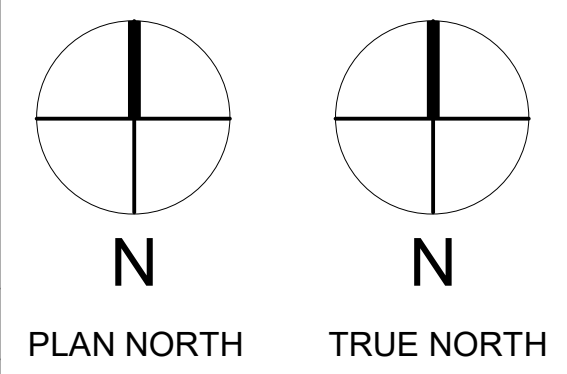
B2 ENLARGED DOAS DUNNAGE FRAMING PLAN
3/8" = 1'-0"

B2 ENLARGED DOAS DUNNAGE FRAMING PLAN
3/8" = 1'-0"

A3 ENLARGED DOAS DUNNAGE FRAMING PLAN
1/4" = 1'-0"

- DUNNAGE FRAMING PLAN NOTES:**
- COORDINATE FINAL DIMENSION WITH MECHANICAL UNIT SIZE AND ANCHORAGE POINTS
 - COORDINATE FINAL DIMENSION WITH EXISTING 8" CMU WALL LOCATION BELOW - INTENTION IS FOR DUNNAGE POSTS TO BE LOCATED ON EXISTING WALL CENTERLINES
 - DUNNAGE STEEL INCLUDING CONNECTIONS AND ASSOCIATED FASTENERS SHALL BE GALVANIZED
 - PROVIDE HOLES IN BEAM TOP FLANGE AT MOUNTING LOCATIONS FOR UNIT - GC SHALL COORDINATE LOCATIONS AND HOLES SIZES w/FABRICATOR AND UNIT SPECIFICATIONS

- DUNNAGE FRAMING PLAN LEGEND:**
- RD1 INDICATES DECK SPAN OF 1 1/2" STEEL ROOF DECKING.
 - INDICATES MOMENT CONNECTION - SEE DTL. B5 5500



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

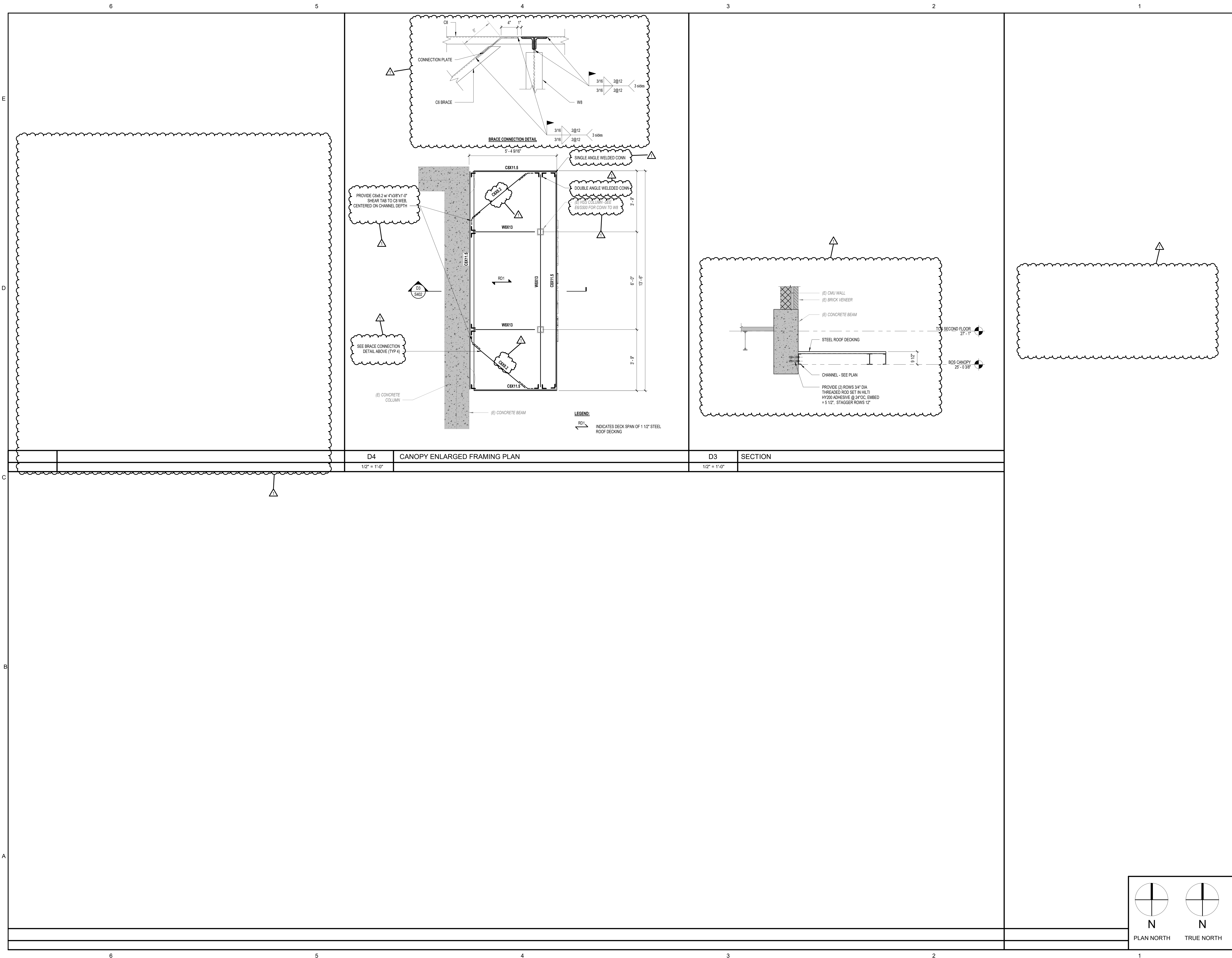
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

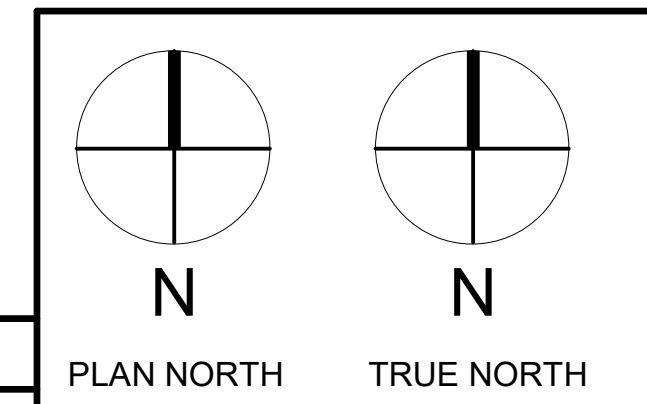
TITLE
ENLARGED STRUCTURAL FRAMING PART PLANS

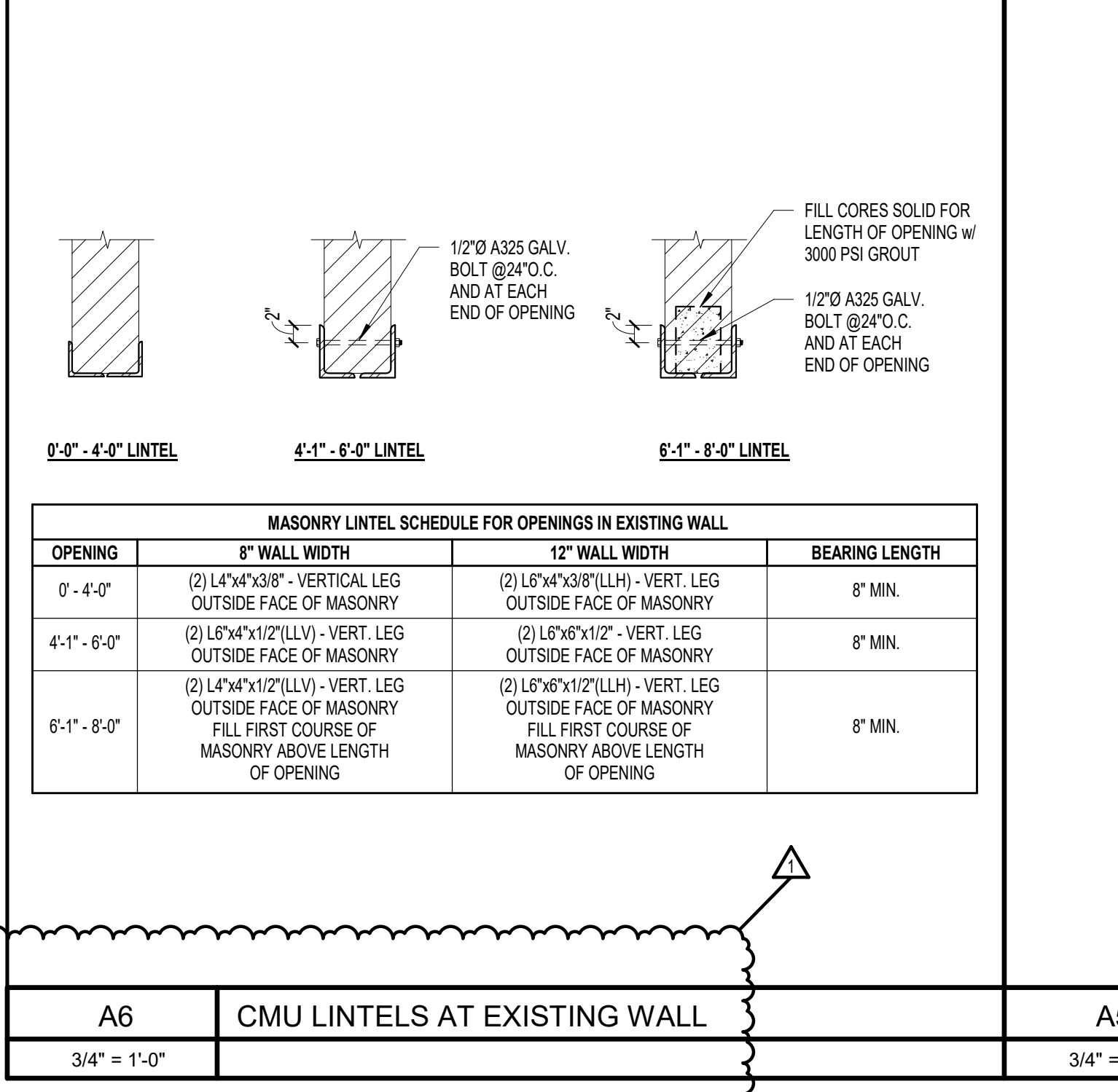
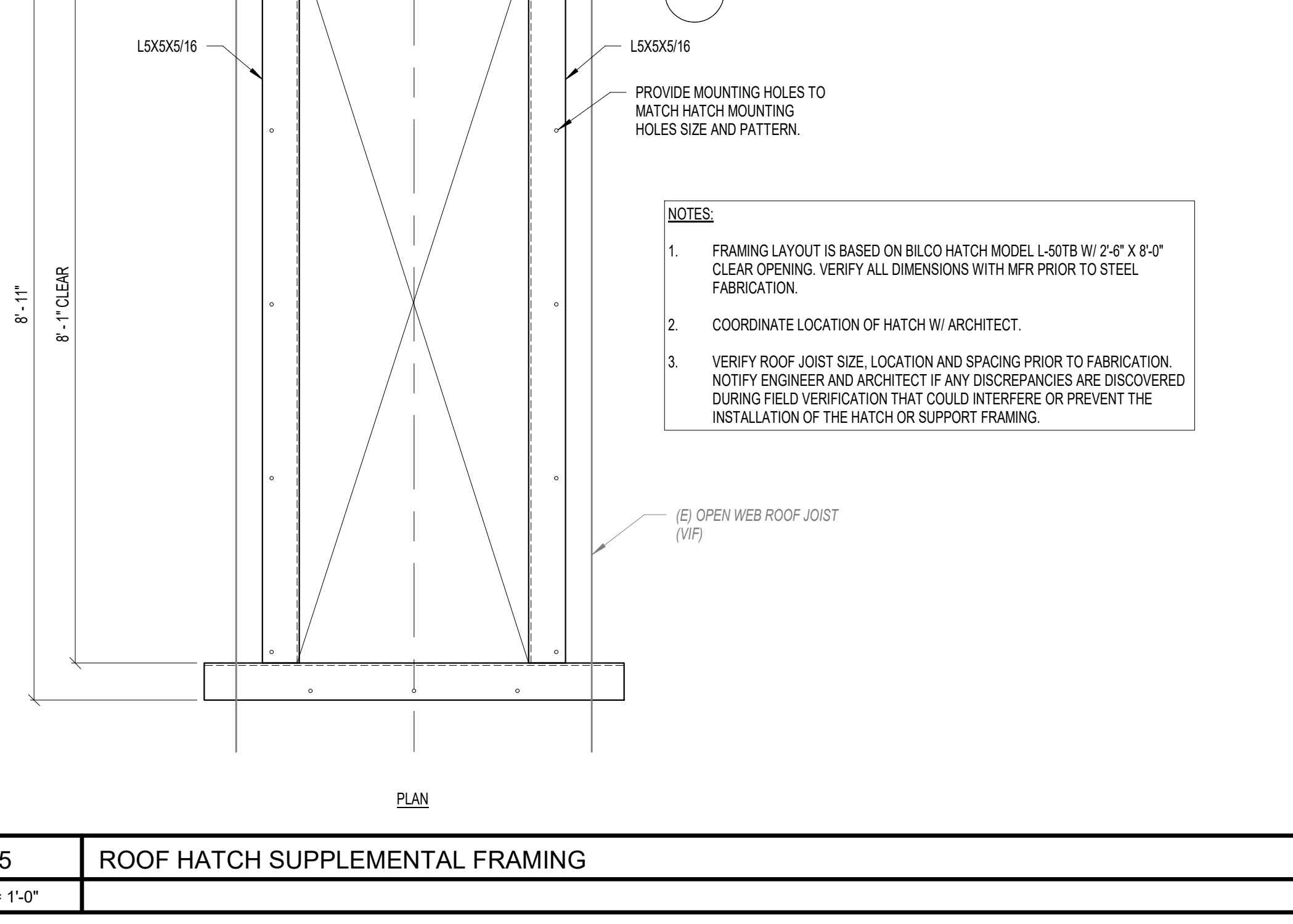
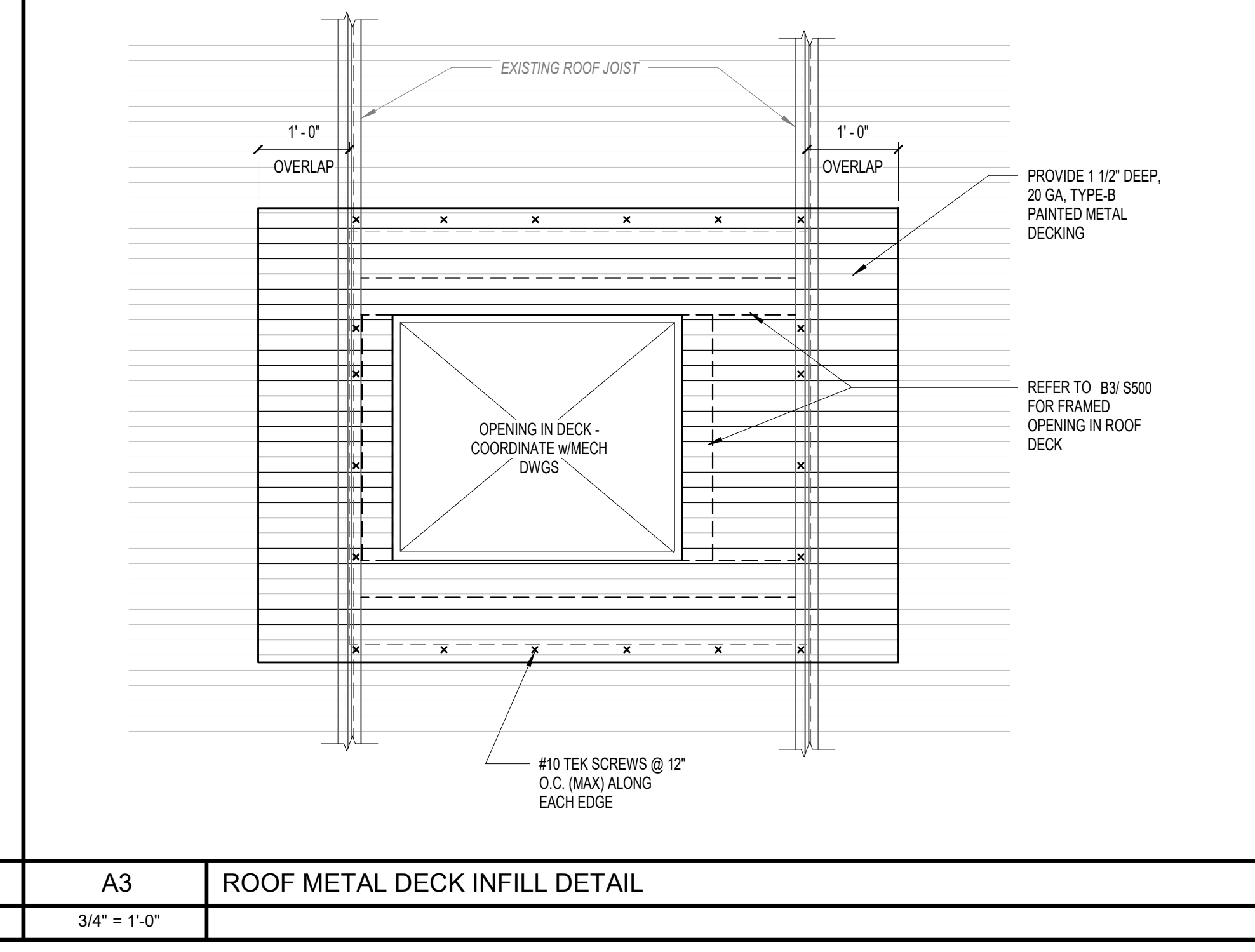
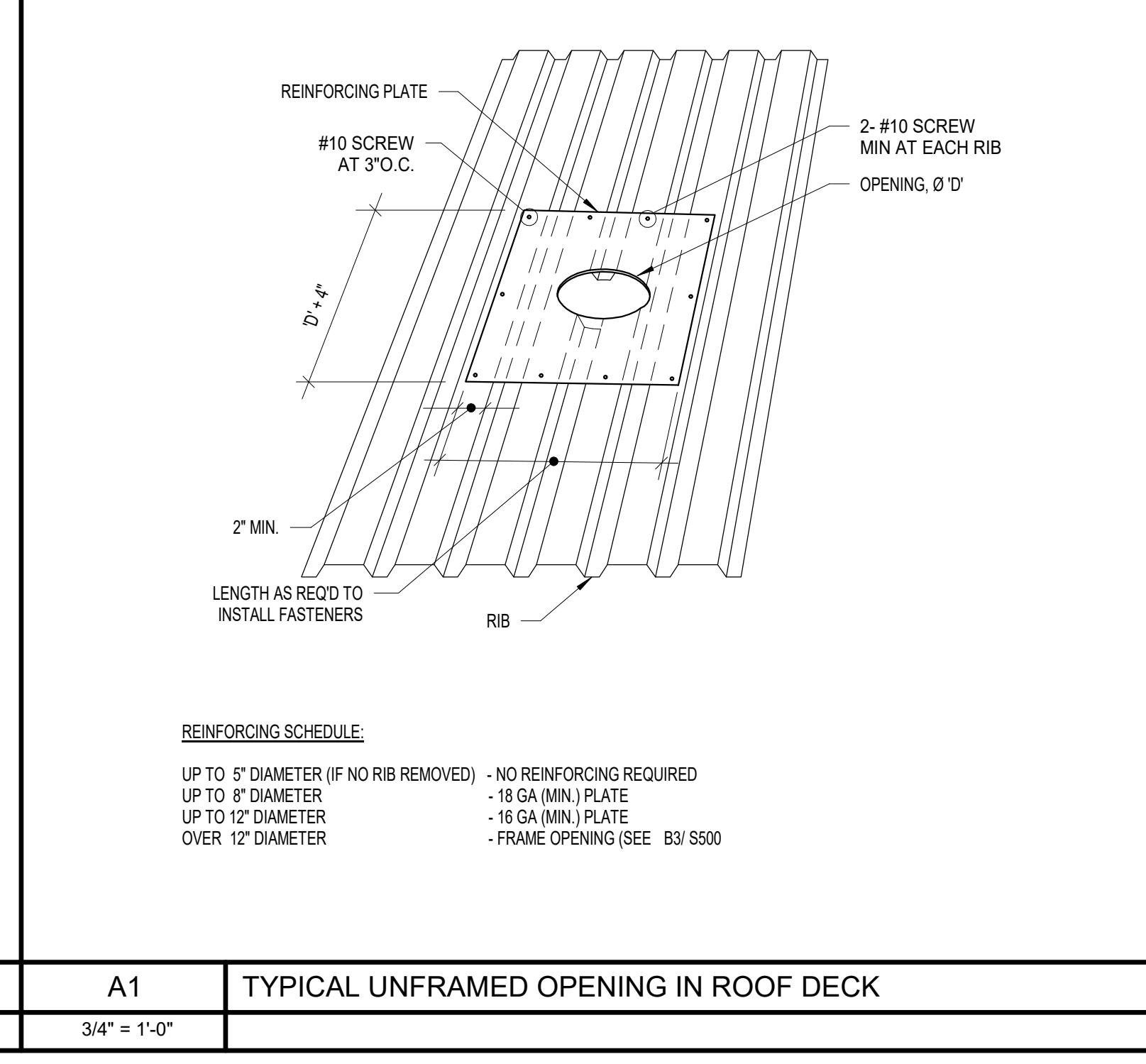
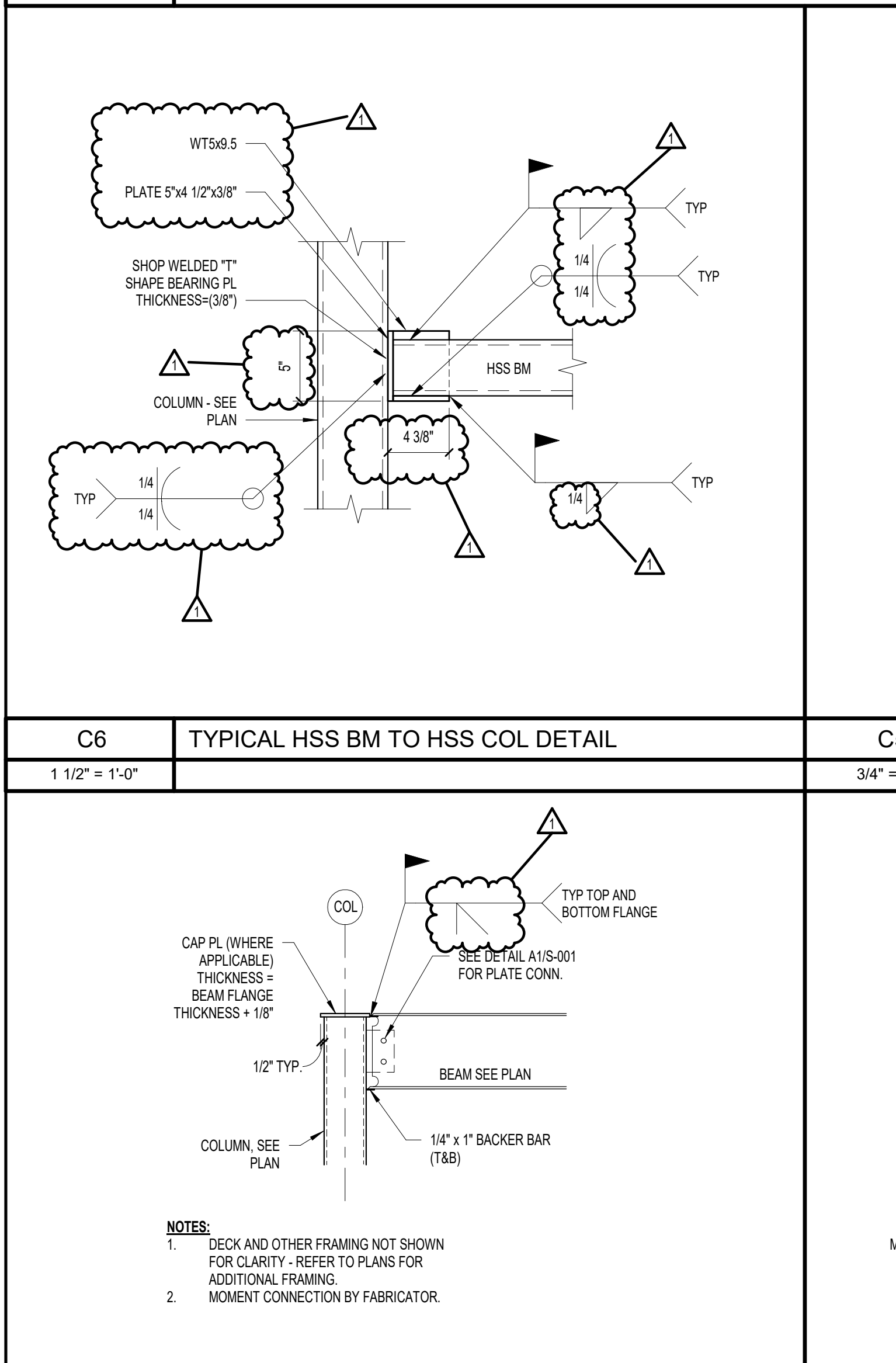
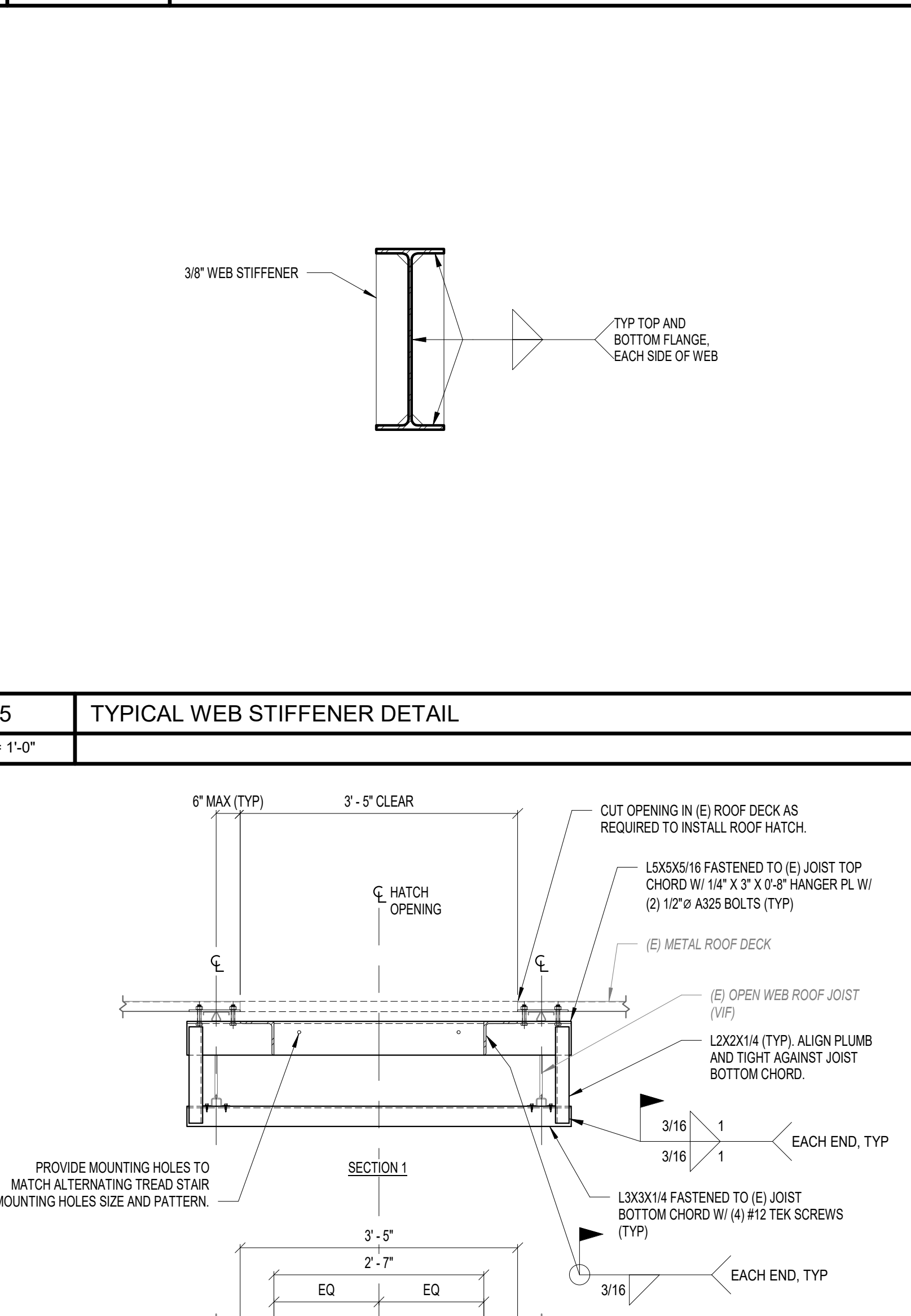
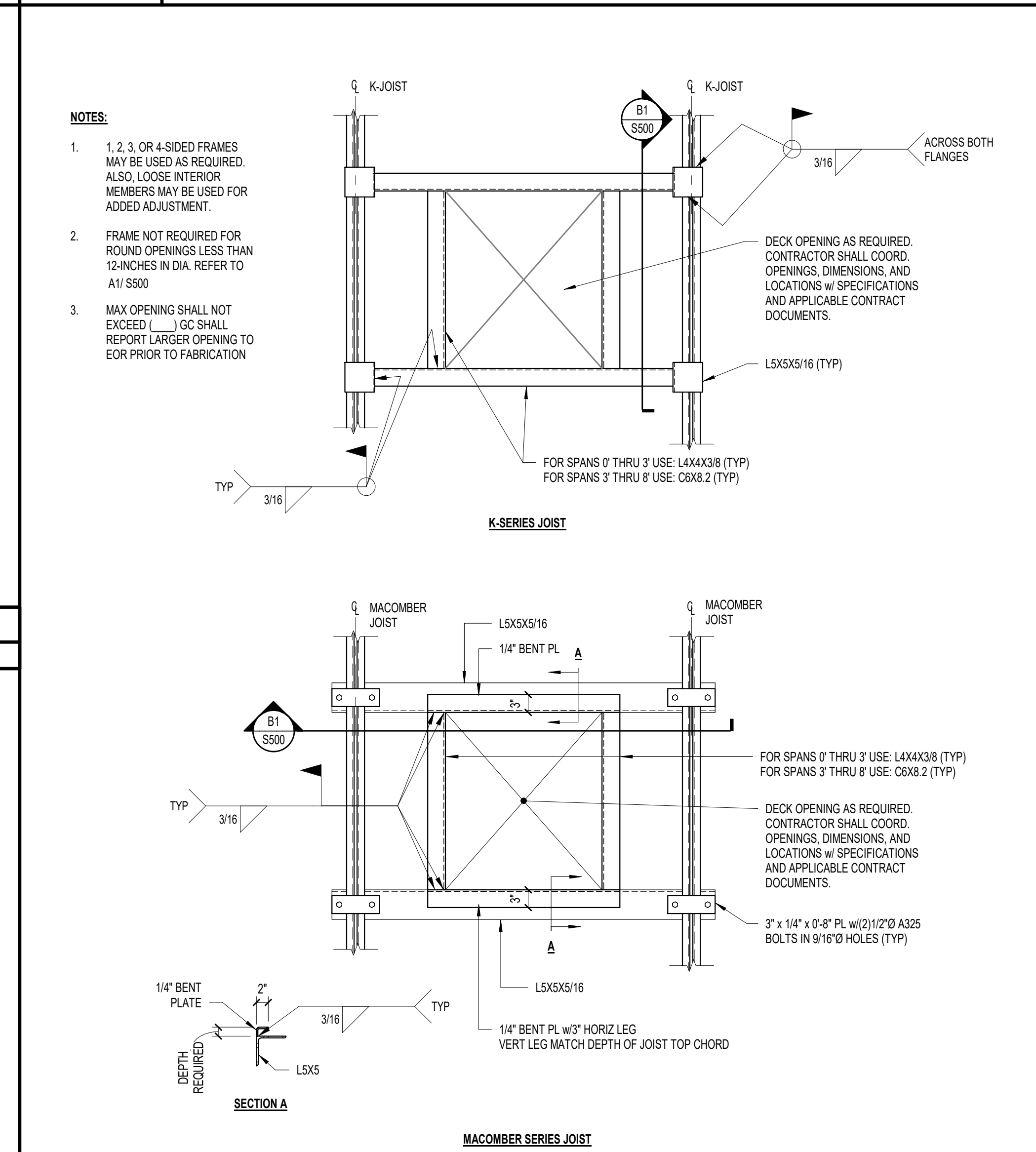
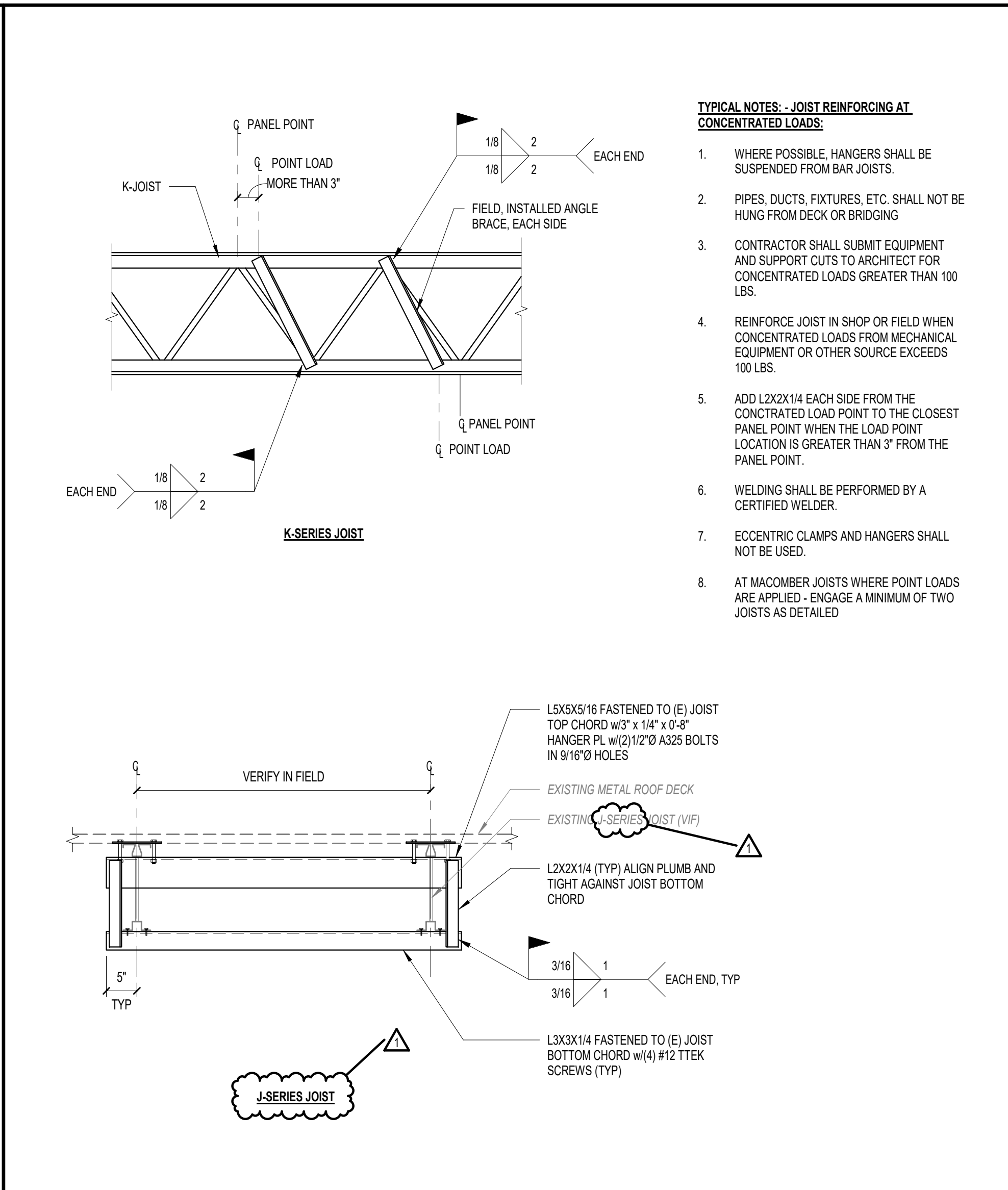
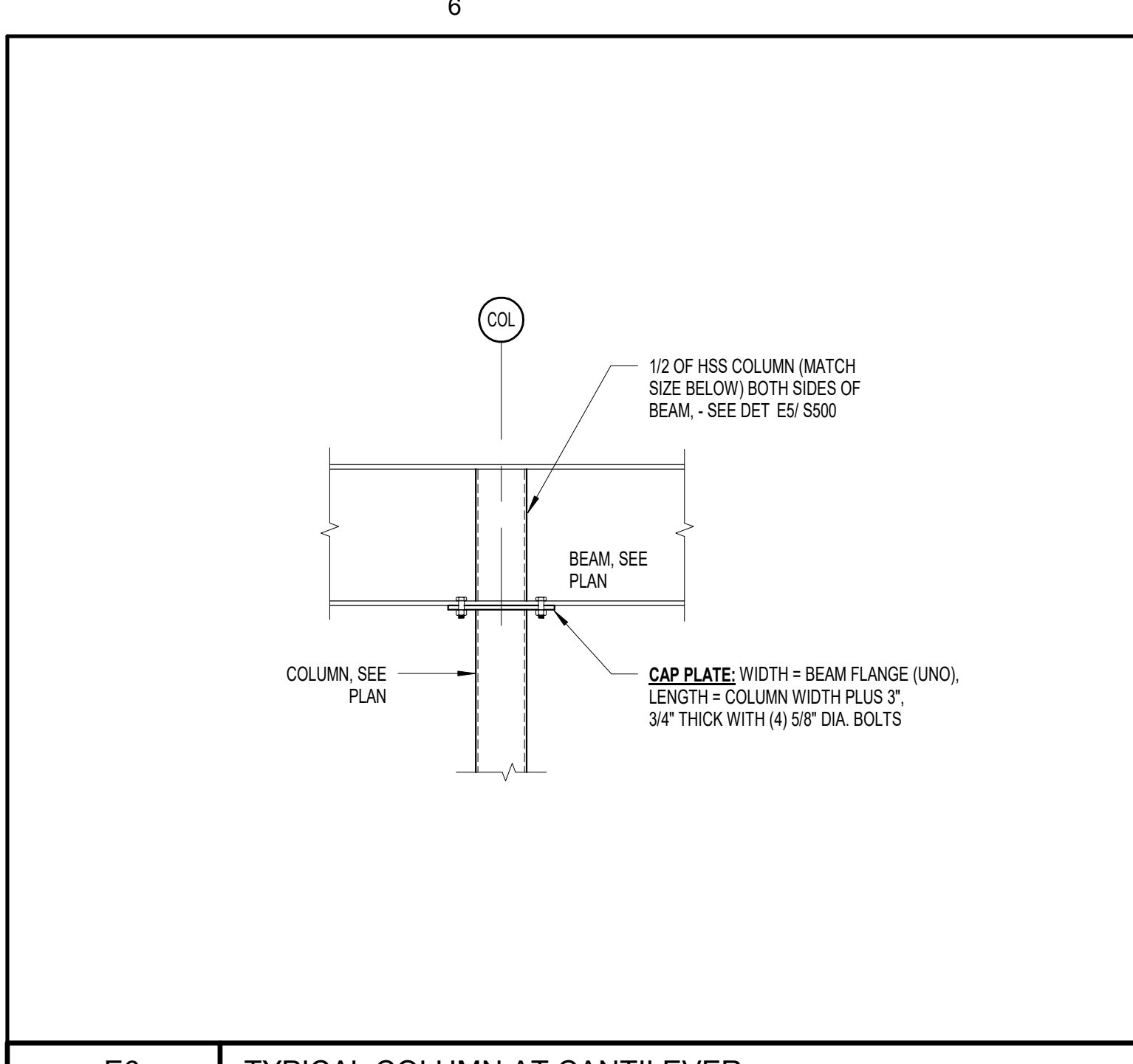
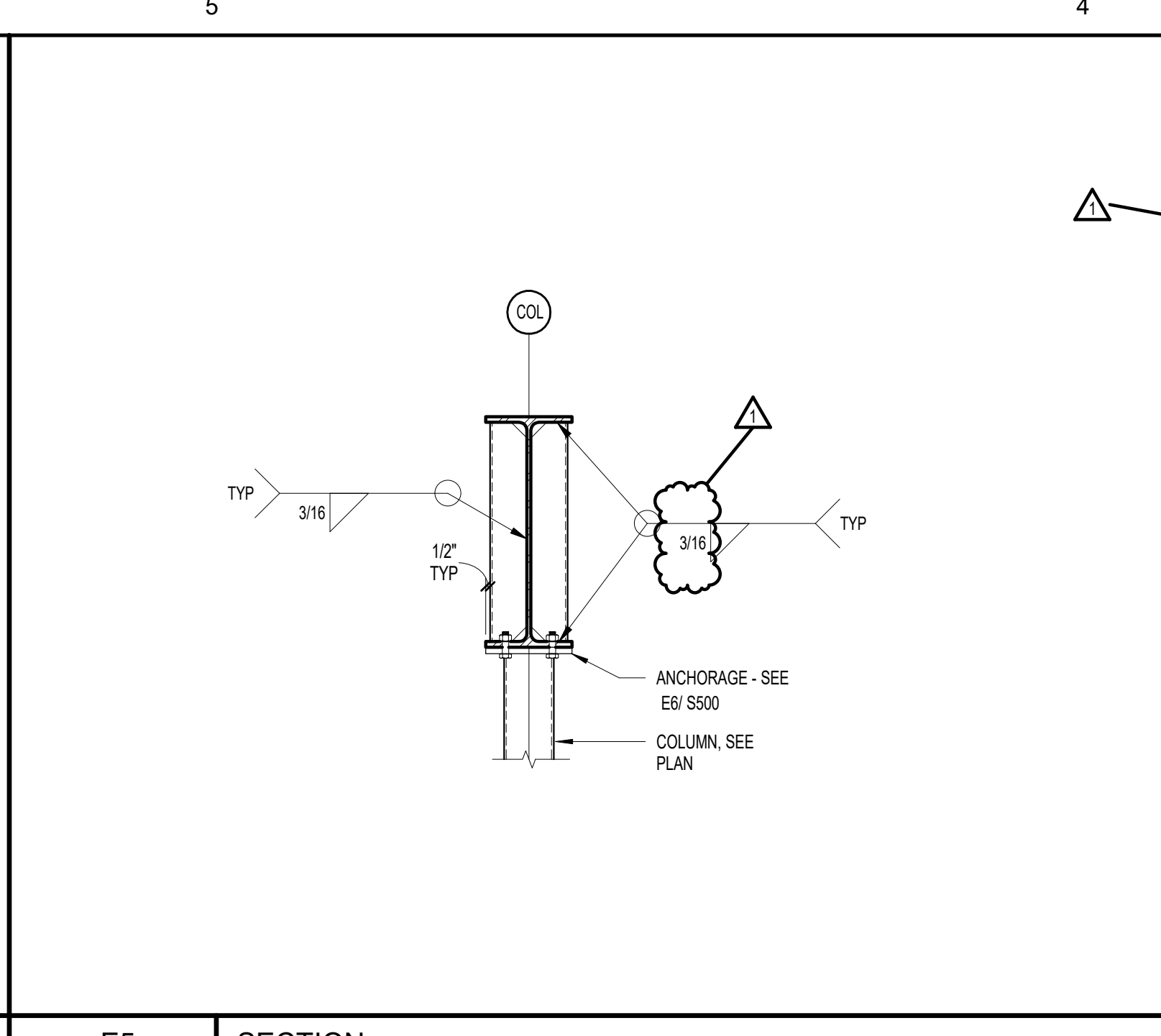
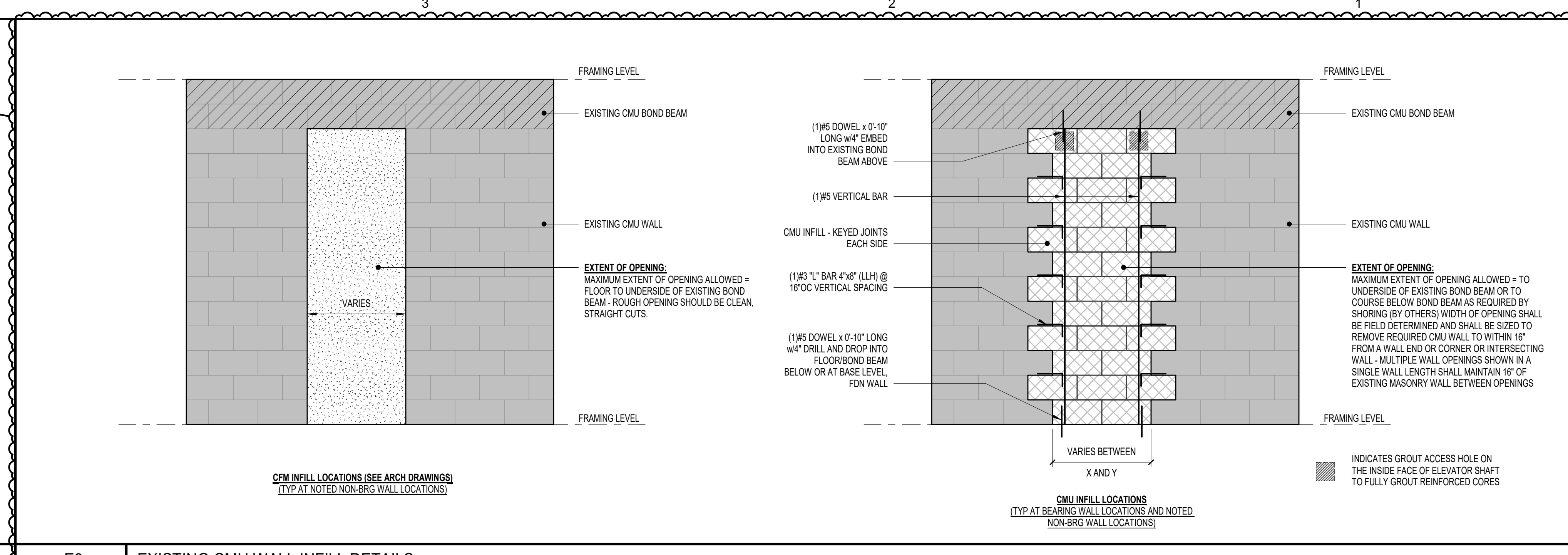
SHEET
S401



D4 CANOPY ENLARGED FRAMING PLAN
 1/2" = 1'-0"

D3 SECTION
 1/2" = 1'-0"





- NOTES:**
1. 2, 3, OR 4-SIDED FRAMES MAY BE USED AS REQUIRED. ALSO, LOCKE INTERIOR MEMBERS MAY BE USED FOR ADDED ADJUSTMENT.
 2. FRAME NOT REQUIRED FOR ROUND OPENINGS LESS THAN 12-INCHES IN DIA. REFER TO A11 S500
 3. MAX OPENING SHALL NOT EXCEED 1/30 SHALL REPORT LARGER OPENING TO EOR PRIOR TO FABRICATION

- TYPICAL NOTES - JOIST REINFORCING AT CONCENTRATED LOADS:**
1. WHERE POSSIBLE, HANGERS SHALL BE SUSPENDED FROM BAR JOISTS.
 2. PIPES, DUCTS, FIXTURES, ETC. SHALL NOT BE HUNG FROM DECK OR BRIDGING.
 3. CONTRACTOR SHALL SUBMIT EQUIPMENT AND SUPPORT CUTS TO ARCHITECT FOR CONCENTRATED LOADS GREATER THAN 100 LBS.
 4. REINFORCE JOIST IN SHOP OR FIELD WHEN CONCENTRATED LOADS FROM MECHANICAL EQUIPMENT OR OTHER SOURCE EXCEEDS 100 LBS.
 5. ADD L2X3X1/4 EACH SIDE FROM THE CONCENTRATED LOAD POINT TO THE CLOSEST PANEL POINT WHEN THE LOAD POINT LOCATION IS GREATER THAN 3" FROM THE PANEL POINT.
 6. WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER.
 7. ECCENTRIC CLAMPS AND HANGERS SHALL NOT BE USED.
 8. AT MACOMBER JOISTS WHERE POINT LOADS ARE APPLIED - ENGAGE A MINIMUM OF TWO JOISTS AS DETAILED.

- NOTES:**
1. FRAMING LAYOUT IS BASED ON BILCO HATCH MODEL L-50TB W/ 2'-6" X 6'-0" CLEAR OPENING. VERIFY ALL DIMENSIONS WITH MFR PRIOR TO STEEL FABRICATION.
 2. COORDINATE LOCATION OF HATCH W/ ARCHITECT.
 3. VERIFY ROOF JOIST SIZE, LOCATION AND SPACING PRIOR TO FABRICATION. NOTIFY ENGINEER AND ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED DURING FIELD VERIFICATION THAT COULD INTERFERE OR PREVENT THE INSTALLATION OF THE HATCH OR SUPPORT FRAMING.

REINFORCING SCHEDULE:

| | |
|---------------------------------------|-----------------------------|
| UP TO 5" DIAMETER (IF NO RIB REMOVED) | - NO REINFORCING REQUIRED |
| UP TO 8" DIAMETER | - 18 GA. (MIN.) PLATE |
| UP TO 12" DIAMETER | - 16 GA. (MIN.) PLATE |
| OVER 12" DIAMETER | - FRAME OPENING SEE B3 S500 |

6

E

D

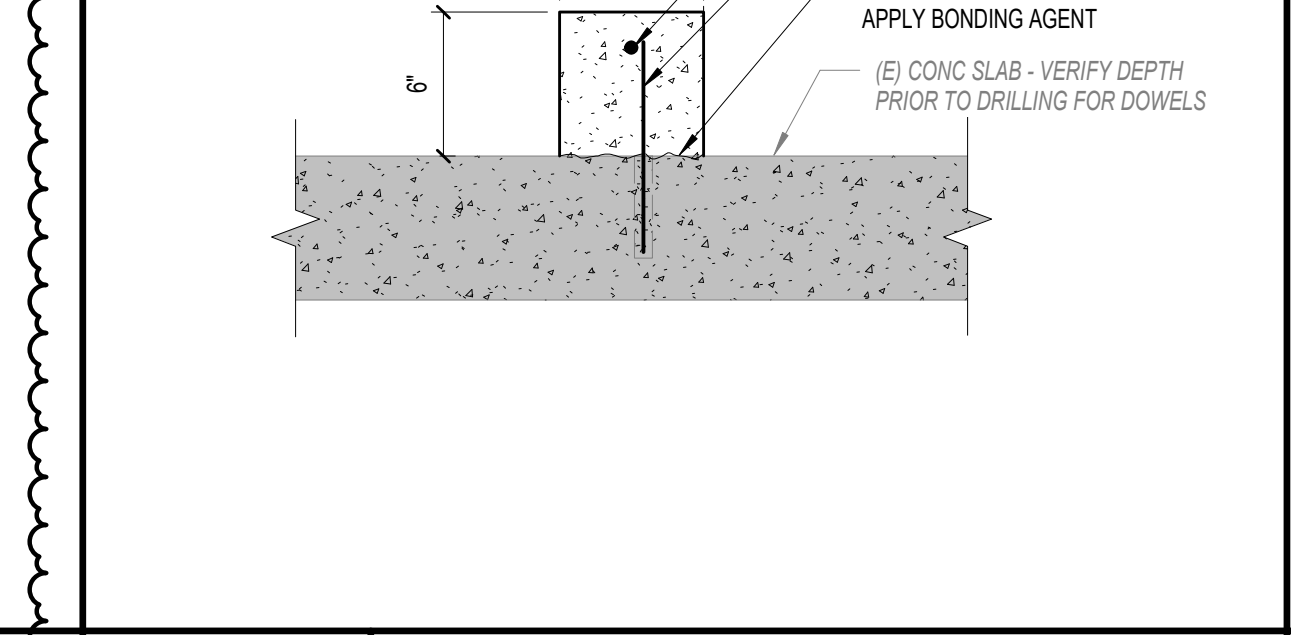
C

B

A

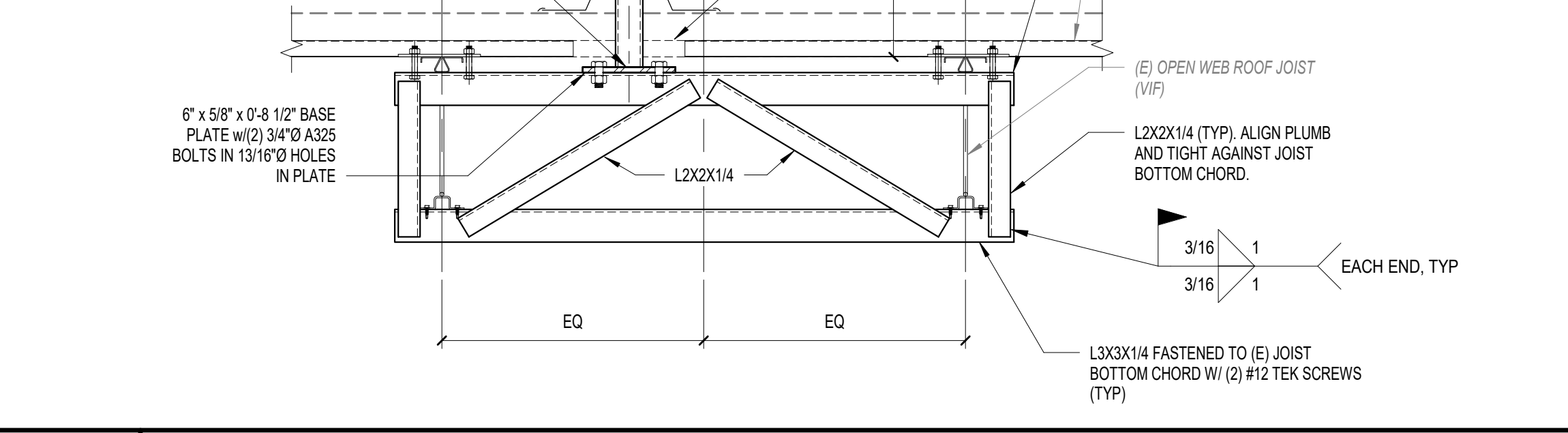
6

5



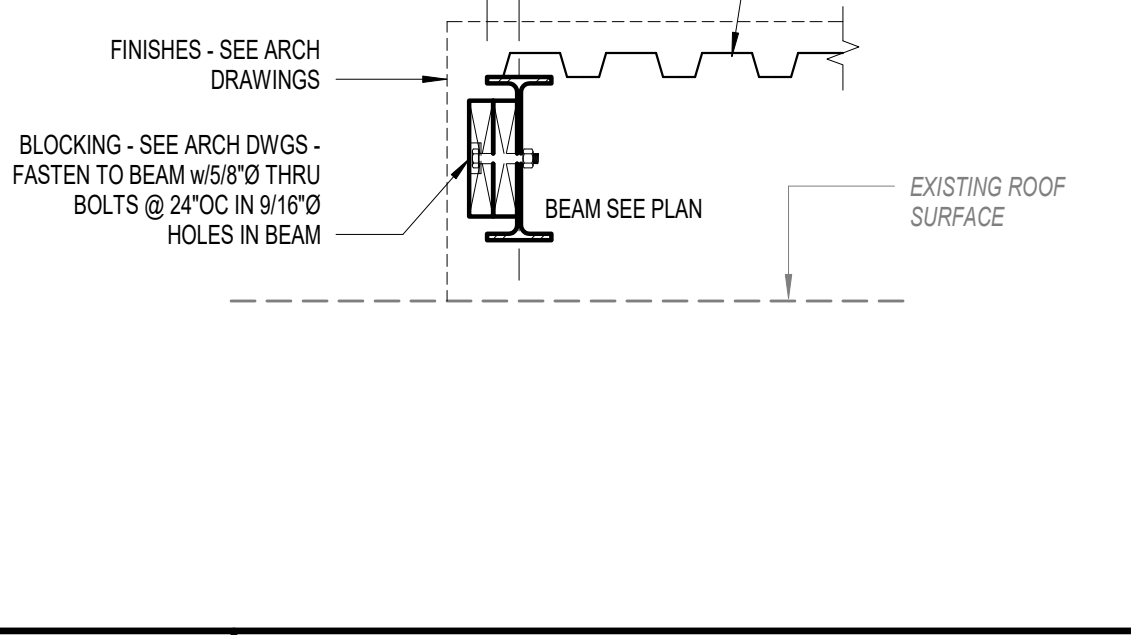
E5 SECTION AT 6" CURB
1 1/2" = 1'-0"

4



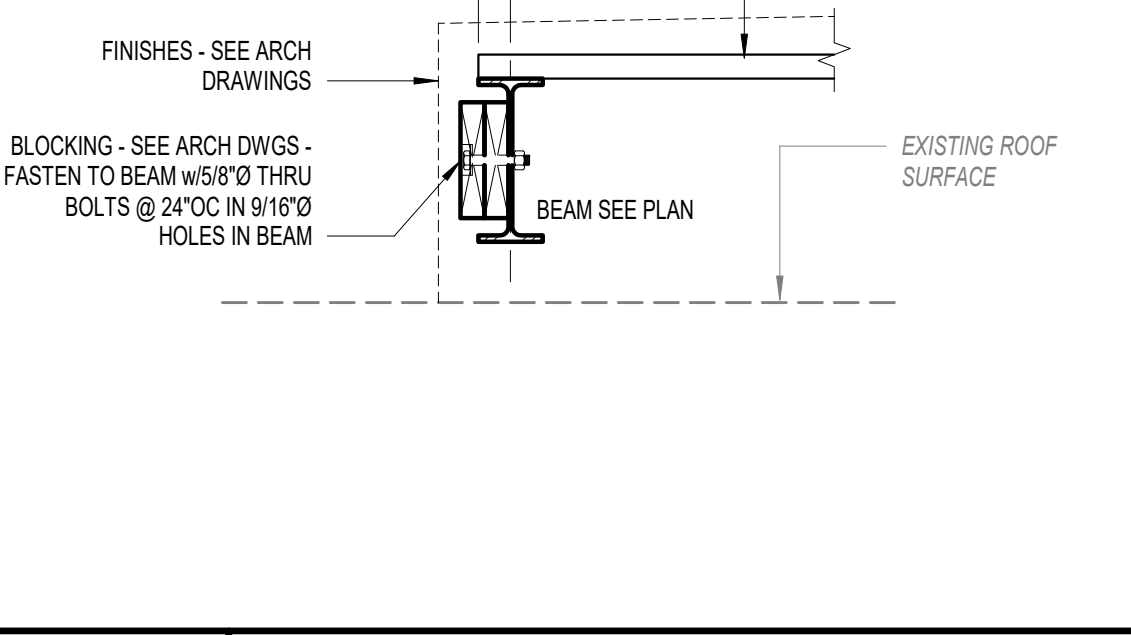
E4 2 1/2"Ø PIPE DUNNAGE POST ANCHORAGE AT EX JOIST
1" = 1'-0"

3



E2 DUNNAGE PLATFORM DECK NON-BRG
1" = 1'-0"

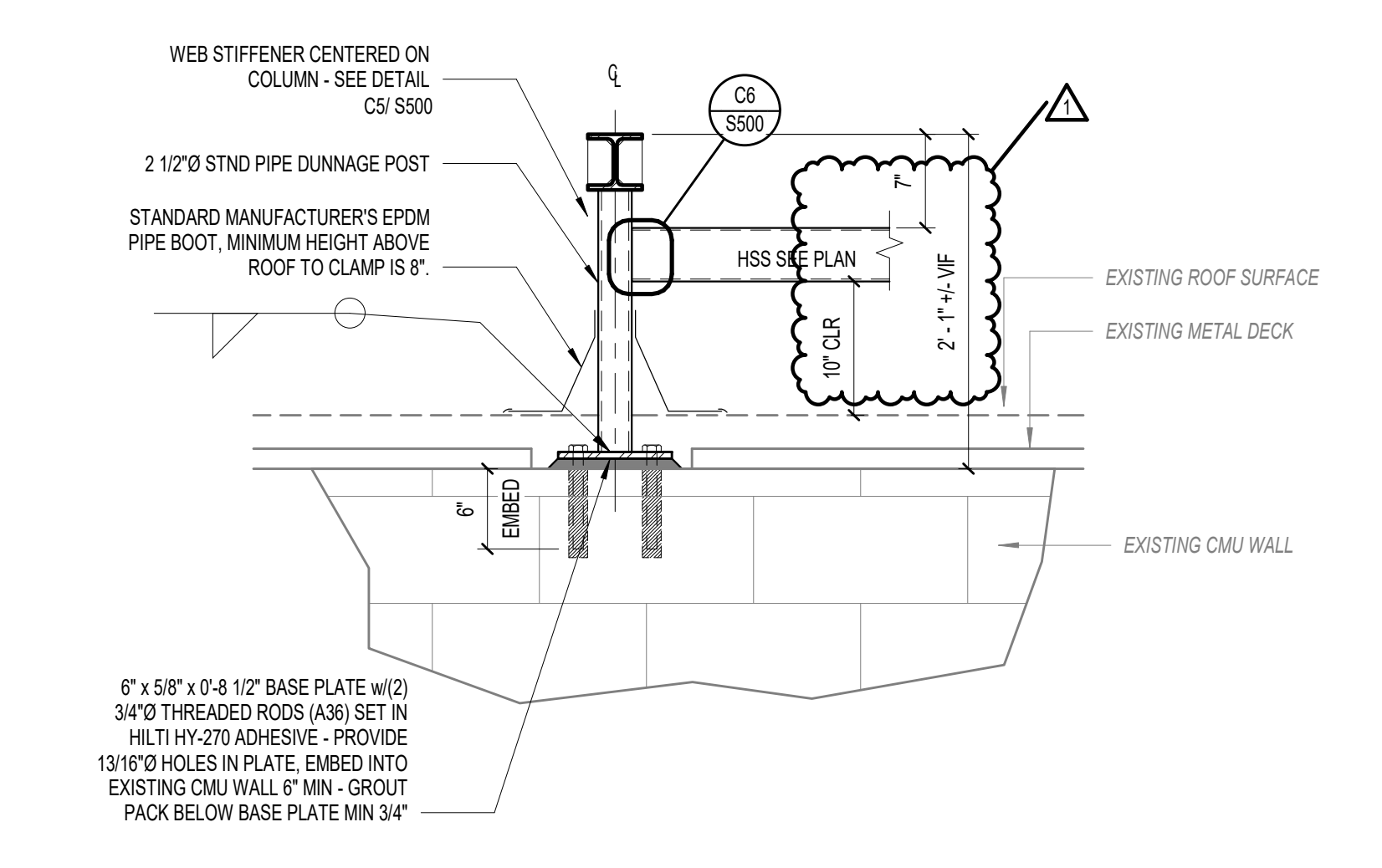
2



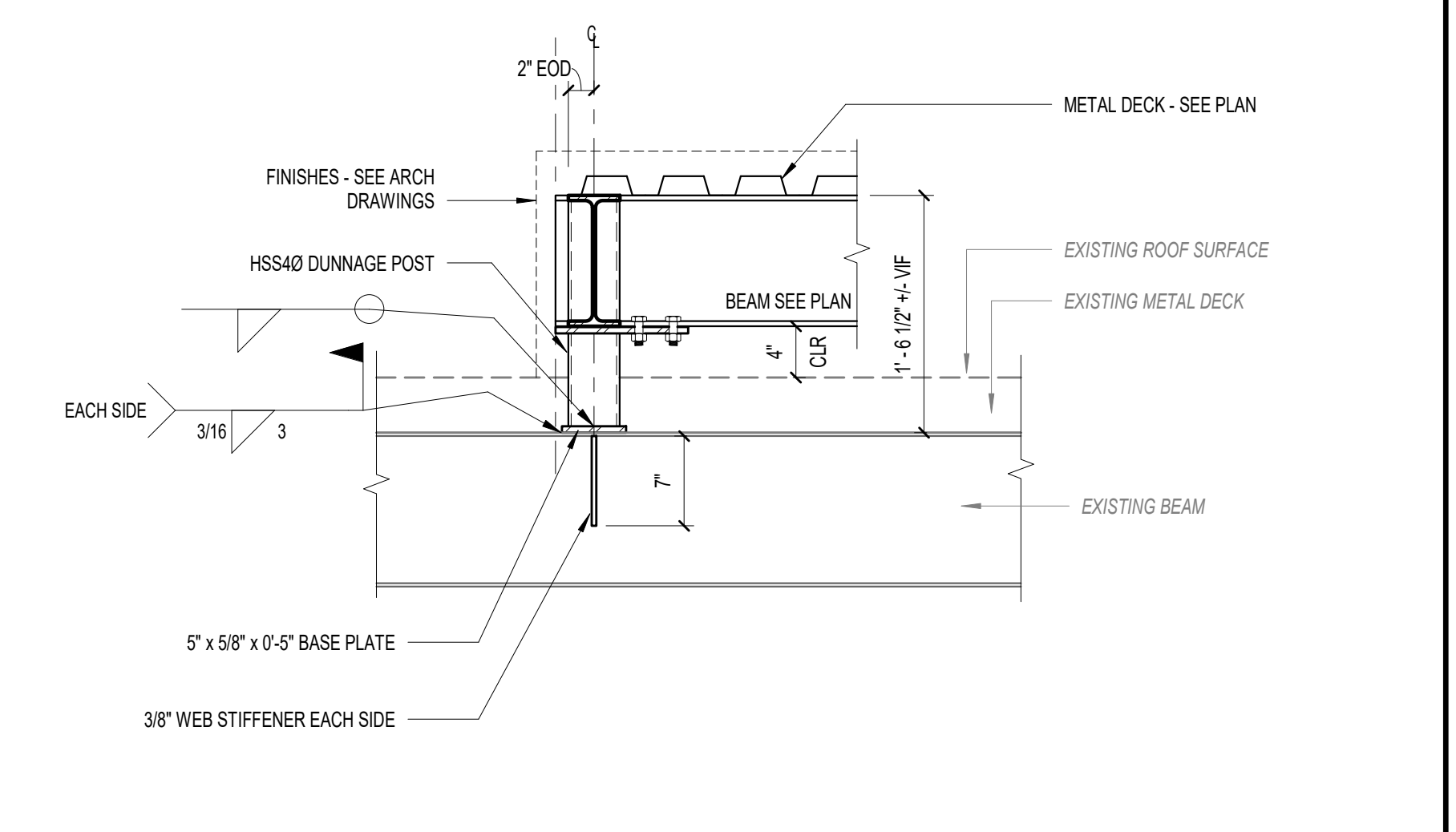
E1 DUNNAGE PLATFORM DECK BRG
1" = 1'-0"



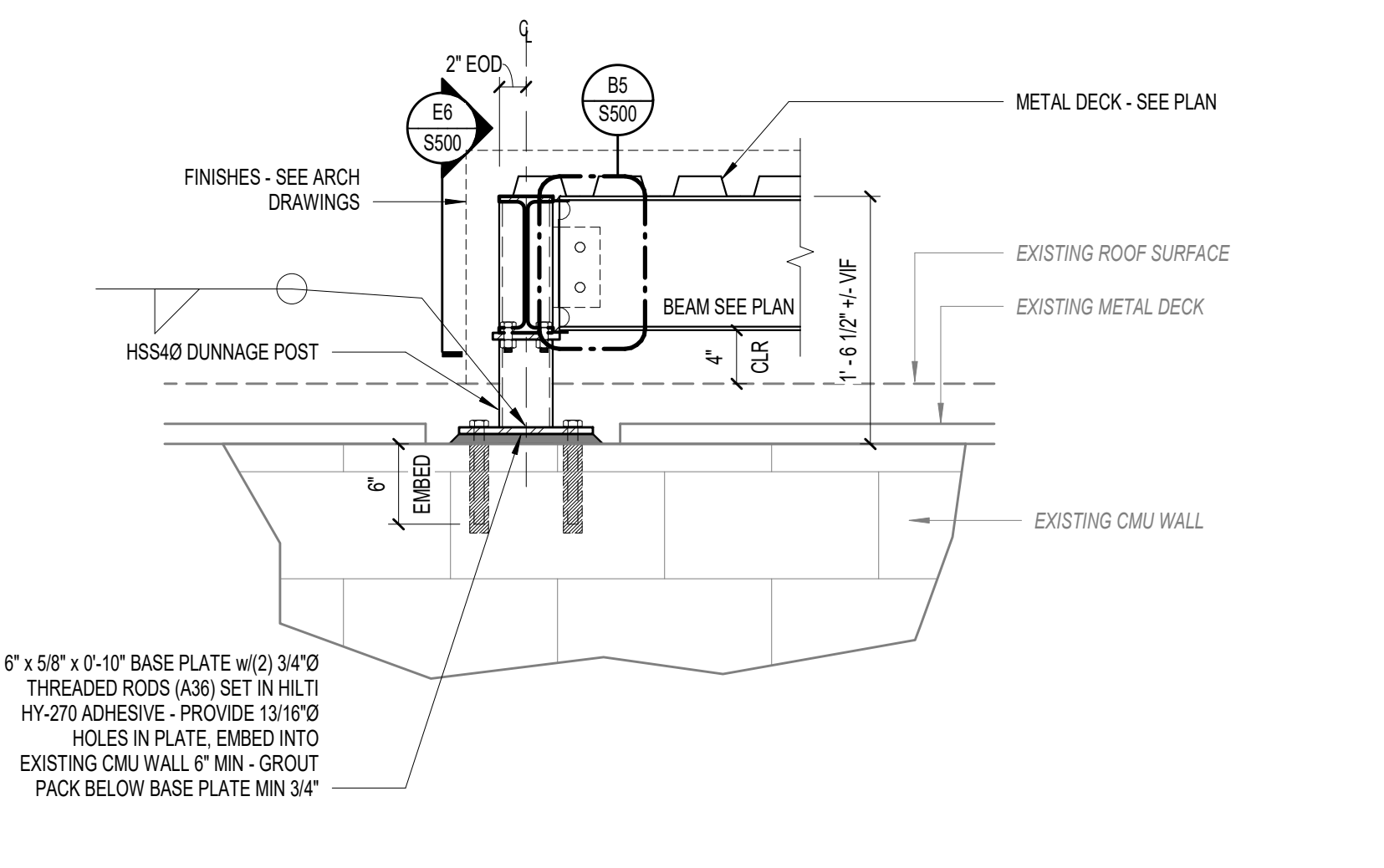
D5 2 1/2"Ø PIPE DUNNAGE POST ANCHORAGE AT CMU
1" = 1'-0"



D3 HSS4Ø DUNNAGE POST ANCHORAGE AT EX BEAM
1" = 1'-0"



D1 HSS4Ø DUNNAGE POST ANCHORAGE AT CMU
1" = 1'-0"



D1 HSS4Ø DUNNAGE POST ANCHORAGE AT CMU
1" = 1'-0"

| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR
CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION
DOCUMENTS - ISSUED
FOR BIDDING
11/22/2023

TITLE
STRUCTURAL DETAILS

SHEET
S501

6

5

4

3

2

1

MEP General Phasing Requirements and Milestones

Phasing Document Development Notes:

- Listed below is an outline/schematic version of an expected work/phasing plan. The general contractor will assemble a detailed work/phasing plan (with input from the respective system sub-contractors) for review and comment by the owner and the engineer of record prior to initiating any procurement/demolition/construction effort. The general contractor will set up a work/phasing plan meeting to acquire input from the owner and the design team. The work/phasing plan will include as a minimum each of the steps listed below, however, will elaborate with more detail, steps and information. Include in the workplan each step beginning with investigation work and following through to close-out, step ID and description, approximate duration, if shut-down required, quantity of staff utilized, tools and equipment required for step, systems/areas/loads at risk, contingency plans, start/stop date (and time of day, if necessary) for each step.
- The contractor shall plan phasing of work tasks required for scope in an active phase in a manner that does not require related scope to be performed in or through a turned-over or completed phase. If work is required within a completed phase, that work shall be thoroughly coordinated with the Owner, preference being that the work in a completed phase should be performed during summer months only, when the building is less occupied.

West Phase (Phase one)

- Initiate re-tubing of one steam boiler end of April 2024. Maintain other two steam boilers and associated systems related to the two out-buildings that they serve. Maintain steam/condensate to bookstore unit.
- Demo steam-to-water heat exchangers for building heat, semi-instantaneous water heaters, hot water heating pumps starting end of May 2024.
- Demo horizontal heating HWS/HWR mains, DHW/DCW/DHWR mains, above floor sanitary waste mains, storm water mains, and vent piping throughout the West Phase area, starting in the boiler room starting in May 2024.
- Demo all HWS/HWR/DCW/DHW/DHWR/Sanitary/Vent/Storm piping within the West Phase area from Ground Floor up to the fourth floor starting in May 2024.
- Install new hot water pumps, steam-to-water heat exchangers, glycol loop equipment, domestic water heaters, etc. and make operational by August 2024.
- Install new horizontal HWS/HWR, GWS/R, DCW, DHW, DHWR mains from the boiler room through the Phase 1 areas. Valve and cap the mains at the Phase 2 & 4 boundaries for future connection to new piping in those phases. Provide temporary connection to existing Phase 2 and Phase 4 piping mains to facilitate temporary service for those phases from the new mains. Install vertical stubs with valves for upper floor piping mains in the Phase 1 area. New horizontal piping mains changed and operational for August 2024.
- Replace all HWS/HWR/DHW/DCW/DHWR/Sanitary/Storm/Vent piping throughout the Phase 1 areas to be completed by January 2025.
- Remove Phase 1 rooftop exhaust fans serving bathrooms throughout that phase area.
- Remove steam all header in the Phase 1 basement and cap steam/condensate piping at mains.
- Install new DOAS/ERV units and associated ductwork to serve the Phase 1 areas (electrical power from new panels, temporarily fed from existing electrical infrastructure).
- Install new dryer vent exhaust fan for the Phase 1 areas.
- Install new VRF heat pumps throughout the Phase 1 areas (electrical power from new panels, temporarily fed from existing electrical infrastructure).
- Test, adjust, balance, commission all new M+P systems within the Phase 1 areas for January 2025.
- Install new interior lighting and controls (base and alternates as selected at contract)
- Install new exit signs and emergency egress lighting systems
- Install new exterior entry/egress (if alternate was selected at contract)
- Replace existing legacy panelboards that have been scheduled for replacement
- Install new 400 Amp HVAC distribution panel (at 4th floor) and temporarily connect it to the existing power distribution equipment in existing main electrical room. Provide splice box in existing main electrical room that will facilitate the permanent tie for this panel to the new switchgear under the next phase.
- Wire new rooftop HVAC equipment to new 400 Amp panel; wire other HVAC loads to existing and replaced power distribution equipment.
- Install new fire alarm devices (including NAC panels, batteries and power supplies needed to support new devices)
- Route the conduits needed for 400 Amp HVAC panels scheduled to be installed in phase two, three and four through the work zone of this phase. Extend respective conduits and install related feeders under the associated phase.

North Phase (Phase two)

- Demo horizontal heating HWS/HWR mains, DHW/DCW/DHWR mains, above floor sanitary waste mains, storm water mains, and vent piping throughout the Phase 2 areas, starting in January 2025
- Demo all HWS/HWR/DCW/DHW/DHWR/Sanitary/Vent/Storm piping within the North phase area from ground floor up to the fourth floor starting in January 2025
- Install new horizontal HWS/HWR, GWS/R, DCW, DHW, DHWR mains from the Phase 1 mains through Phase 2 areas to the Phase 3 boundary and provide temporary tie in to the existing mains in the Phase 3 area, with valves for isolation. This occurs primarily at the first-floor area with the exception of DHW which also serves the Phase 3 areas via horizontal piping through the Phase 2 area. Valve and cap the mains at the Phase 3 boundaries for future connection to new piping in that phase. Install vertical stubs with valves for upper floor piping mains in the Phase 2 area. The existing pipe mains serving the Phase 3 area shall remain operational at all times. As such the existing horizontal mains serving Phase 3 from the Phase 2 area shall remain operational until such time as the new tie ins from the new mains are installed and charged, to minimize interruption for Phase 3.
- Replace all HWS/HWR/DHW/DCW/DHWR/Sanitary/Storm/Vent piping throughout the Phase 2 areas to be completed by August 2025.
- Remove Phase 3 rooftop exhaust fans serving bathrooms throughout that phase area.
- Install new DOAS/ERV units and associated ductwork to serve the Phase 2 area (electrical power from new panels and new infrastructure)
- Install new dryer vent exhaust fan for the Phase 2 areas.
- Install new VRF heat pumps throughout the Phase 2 areas (electrical power from new panels and new infrastructure)
- Install new generator, ATS, triple switch, transformer and make operational by August 2025.
- Re-feed west phase electrical distribution panels/panelboards from new switchgear and power distribution infrastructure - Summer 2025
- Test, adjust, balance, commission all new MEP systems within the north phase and new electrical infrastructure for August 2025. Adjust heating hot water pump pressure setpoints as required.
- Install new interior lighting and controls (base and alternates as selected at contract)
- Install new exit signs and emergency egress lighting systems
- Install new exterior entry/egress and parking area lighting (if alternate was selected at contract)
- Replace existing legacy panelboards that have been scheduled for replacement
- Install new 400 Amp HVAC distribution panel (at 4th floor)
- Wire new rooftop HVAC equipment to new 400 Amp panel; wire other HVAC loads to existing and replaced power distribution equipment
- Install new fire alarm devices (including NAC panels, batteries and power supplies needed to support new devices)
- Route the conduits needed for 400 Amp HVAC panels scheduled to be installed in phase three through the work zone of this phase. Extend respective conduit and install related feeder under the associated phase.

East Phase (Phase three)

- Demo horizontal heating HWS/HWR mains, DHW/DCW/DHWR mains, above floor sanitary waste mains, storm water mains, and vent piping throughout the Phase 3 area, starting in May 2025
- Demo all HWS/HWR/DCW/DHW/DHWR/Sanitary/Vent/Storm piping within the Phase 3 area from ground floor up to the fourth floor starting in May 2025
- Install new horizontal HWS/HWR, GWS/R, DCW, DHW, DHWR mains from the horizontal Phase 2 mains (first and third floors) through the Phase 3 area to the Phase 4 boundary. Install vertical stubs with valves for upper floor piping mains in the Phase 3 area.
- Replace all HWS/HWR/DHW/DCW/DHWR/Sanitary/Storm/Vent piping throughout the Phase 3 areas to be completed by August 2025.
- Remove Phase 3 rooftop exhaust fans serving bathrooms throughout that phase area.
- Install new DOAS/ERV units and associated ductwork to serve the Phase 3 area (electrical power from new panels and new infrastructure).
- Install new dryer vent exhaust fan for the Phase 3 area.
- Install new VRF heat pumps throughout the East Phase area (electrical power from new panels and new infrastructure)
- Complete MEP installations throughout the renovated Quarter Deck area.
- Test, adjust, balance, commission all new MEP systems within the east phase for January 2026. Adjust heating hot water pump pressure setpoints as required.
- Install new interior lighting and controls (base and alternates as selected at contract)
- Install new exit signs and emergency egress lighting systems
- Install new exterior entry/egress and courtyard lighting (if alternate was selected at contract)
- Replace existing legacy panelboards that have been scheduled for replacement
- Install new 400 Amp HVAC distribution panel (at 4th floor)
- Wire new rooftop HVAC equipment to new 400 Amp panel; wire other HVAC loads to existing and replaced power distribution equipment
- Install new fire alarm devices (including NAC panels, batteries and power supplies needed to support new devices)

South Phase (Phase four)

- Demo horizontal heating HWS/HWR mains, DHW/DCW/DHWR mains, above floor sanitary waste mains, storm water mains, and vent piping throughout the Phase 4 area, starting in January 2025
- Demo all HWS/HWR/DCW/DHW/DHWR/Sanitary/Vent/Storm piping within the Phase 4 area from ground floor up to the fourth floor starting in January 2025
- Demo the steam air handler and associated ductwork serving the Phase 4 area.
- Replace all HWS/HWR/DHW/DCW/DHWR/Sanitary/Storm/Vent piping throughout the Phase 4 area. Connect to new mains installed in Phase 1. Work to be completed by January 2025.
- Remove Phase 4 rooftop exhaust fans serving bathrooms throughout the Phase 4 area.
- Install new DOAS/ERV units and associated ductwork to serve the Phase 4 area (electrical power from new panels and new infrastructure).
- Install new dryer vent exhaust fan for the Phase 4 area.
- Install new VRF heat pumps throughout the Phase 4 area (electrical power from new panels and new infrastructure)
- Final test, adjust, balance, commission all new MEP systems within the east phase for January 2026. Adjust heating hot water pump pressure setpoints as required.
- Install new interior lighting and controls (base and alternates as selected at contract)
- Install new exit signs and emergency egress lighting systems
- Install new exterior entry/egress (if alternate was selected at contract)
- Replace existing legacy panelboards that have been scheduled for replacement
- Install new 400 Amp HVAC distribution panel (at 4th floor)
- Wire new rooftop HVAC equipment to new 400 Amp panel; wire other HVAC loads to existing and replaced power distribution equipment
- Install new fire alarm devices (including NAC panels, batteries and power supplies needed to support new devices)

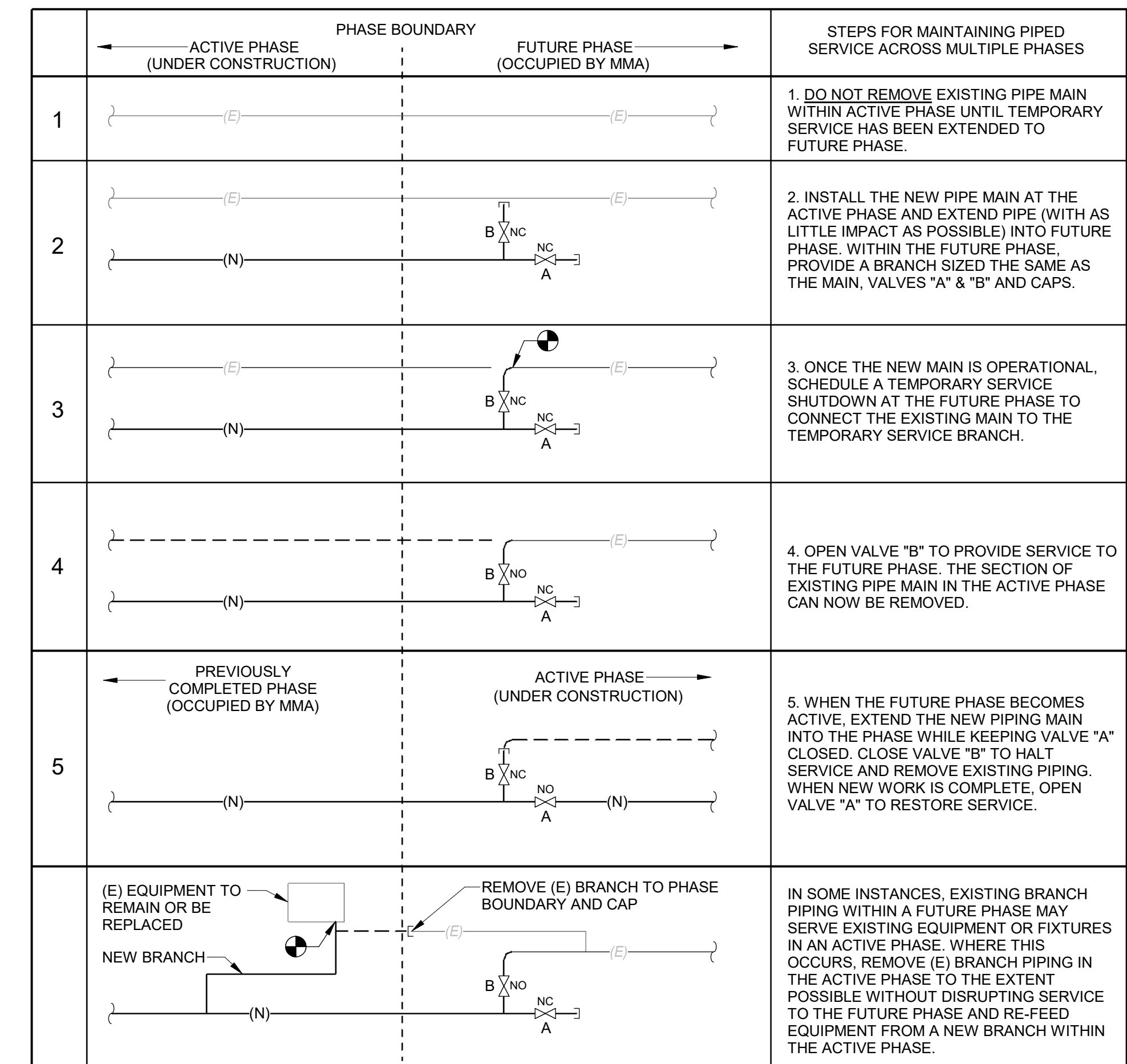
General Phased Hydronic Balancing Notes

- Prior to conducting demolition of HWS/HWR piping/systems, the contractor shall document the operating head of the existing hot water heating pumps.
- Upon installation of new hot water heating pumps, the contractor shall set the system D.P. to maintain that of the existing system to ensure flow to all "Future Phases" as currently exists.
- Once Phase 4 is complete and all new piping and systems are operational, the contractor shall adjust the system D.P. based upon actual system requirements.

NOTE: WORK ON THIS PROJECT SHALL BE COMPLETED IN 4 SCHEDULED CONSTRUCTION PHASES. WHILE CONSTRUCTION IN ANY GIVEN PHASE IS ACTIVE, MAINE MARITIME ACADEMY WILL CONTINUE TO OCCUPY THE REMAINING 3 INACTIVE PHASES.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SERVICES (INCLUDING BUT NOT LIMITED TO DOMESTIC WATER SUPPLY, HYDRONIC SUPPLY & RETURN, RAIN WATER DRAINAGE, VENT SYSTEMS, ETC.) TO INACTIVE PHASES DURING CONSTRUCTION. THE METHOD SHOWN BELOW IS ONE THAT CAN BE USED TO MAINTAIN PIPED SERVICES TO ADJACENT PHASES BUT IS NOT NECESSARILY THE ONLY METHOD AND IS NOT INTENDED TO LIMIT HOW THE CONTRACTOR MEETS THIS RESPONSIBILITY.

ANY INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS OF THE BUILDING SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY.



IN SOME INSTANCES, EXISTING BRANCH PIPING WITHIN A FUTURE PHASE MAY SERVE EXISTING EQUIPMENT OR FIXTURES IN AN ACTIVE PHASE. WHERE THIS OCCURS, REMOVE (E) BRANCH PIPING IN THE ACTIVE PHASE TO THE EXTENT POSSIBLE WITHOUT DISRUPTING SERVICE TO THE FUTURE PHASE AND RE-FEED EQUIPMENT FROM A NEW BRANCH WITHIN THE ACTIVE PHASE.

| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

JOB NO. 076982

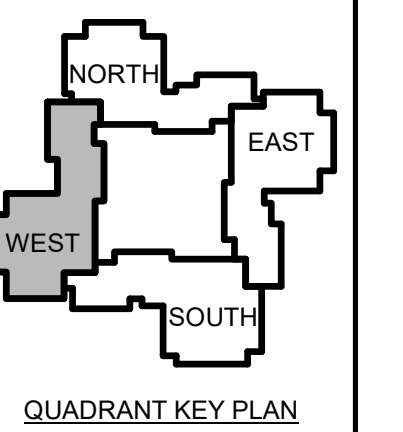
ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 M-E-P PHASING NOTES

SHEET

MEP000

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|-----|------|-------------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |
| No. | Date | Description |
| | | Revision Schedule |

NOT FOR CONSTRUCTION

JOB NO.
076982

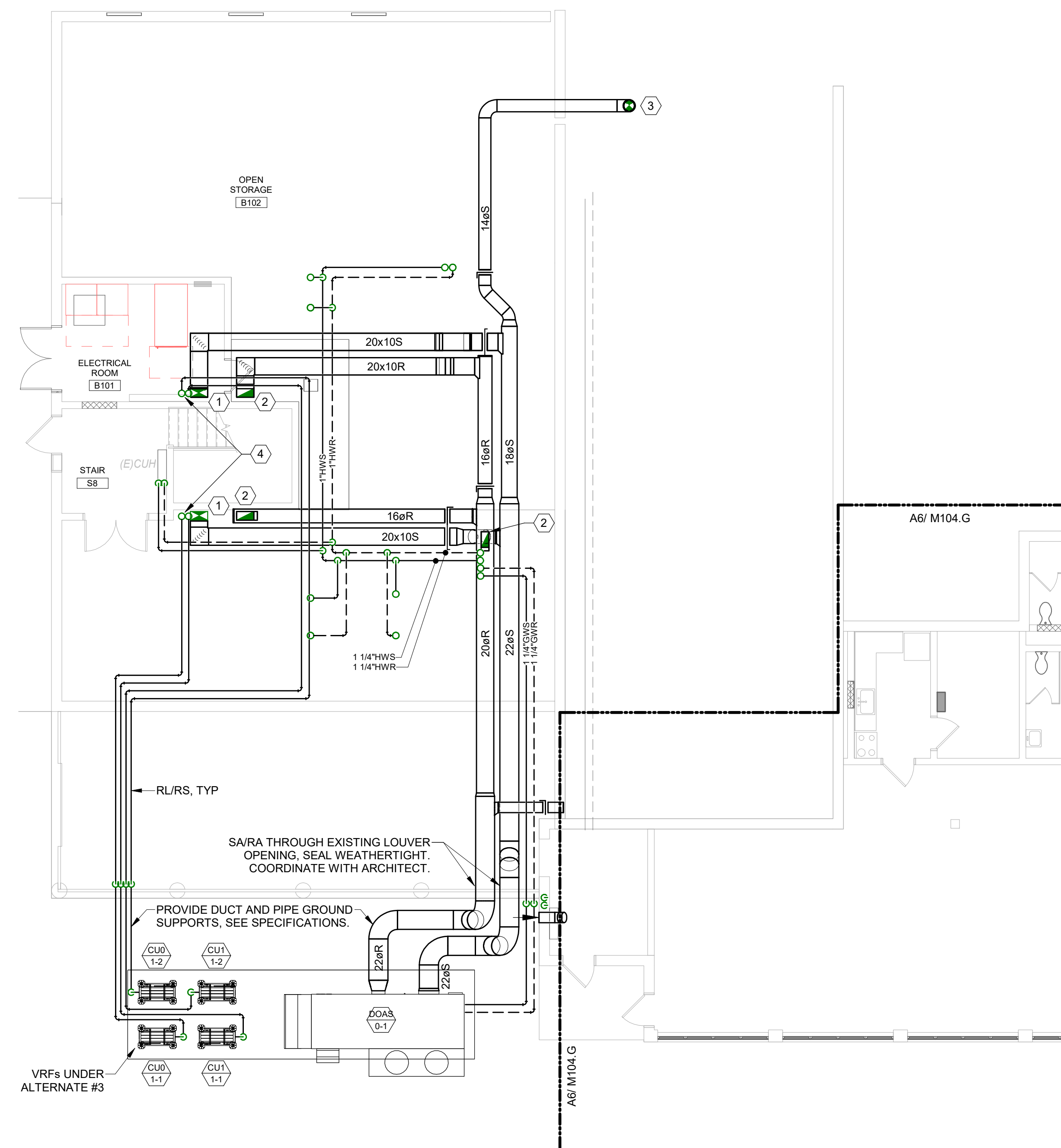
ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 1 GROUND FLOOR MECHANICAL PLANS

SHEET
M101.G

KEYED NOTES:

- ① NEW SUPPLY DUCT RISER UP IN EXISTING SHAFT - PROVIDE DAMPERS AT ALL SHAFT PENETRATIONS.
- ② NEW RETURN DUCT RISER UP IN EXISTING SHAFT - PROVIDE FIRE DAMPERS AT ALL SHAFT PENETRATIONS.
- ③ 14" S/R UP TO STORAGE G111 - TO BE COMPLETED IN PHASE 1.
- ④ VRF MAIN RISERS (RL/RS) IN CHASE.

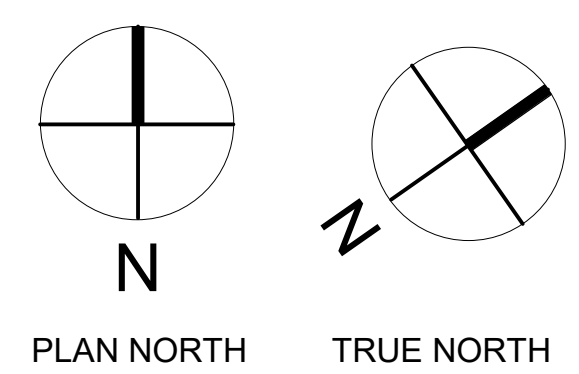


GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

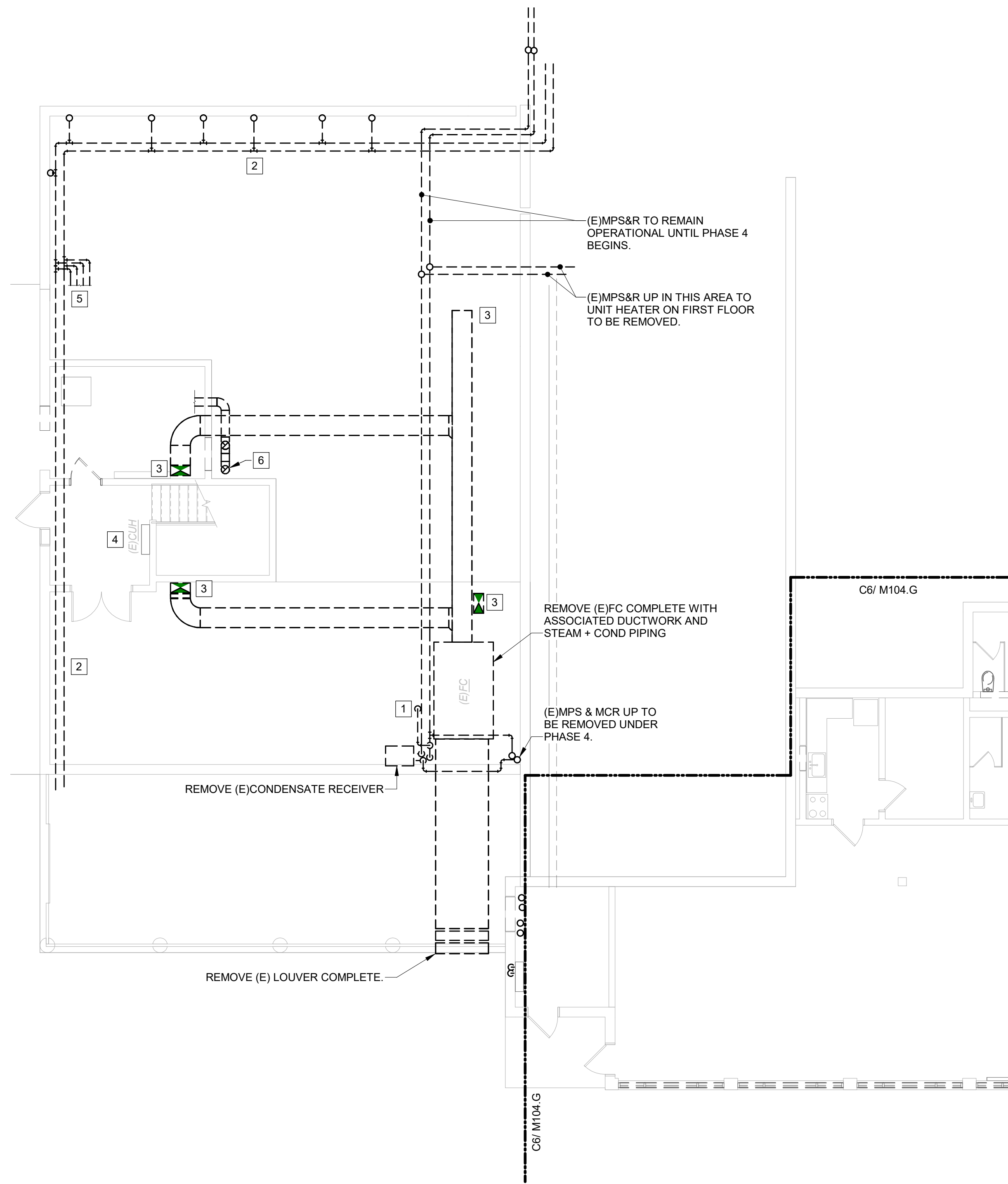
GENERAL PHASING NOTE:

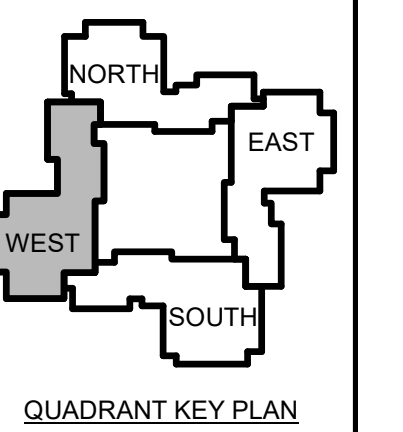
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



DEMOLITION KEYED NOTES:

- ① PROVIDE TEMPORARY CAPS AT (E) MPS/MPR SUCH THAT MAINS CAN REMAIN IN OPERATION UNTIL PHASE 4 BEGINS.
- ② REMOVE (E) HWS/R PIPING SERVING FIN TUBE RADIATOR ABOVE COMPLETE.
- ③ EXISTING DUCT RISER TO BE REMOVED.
- ④ EXISTING CABINET UNIT HEATER TO REMAIN. DISCONNECT AND REMOVE EXISTING HWS/R PIPING.
- ⑤ REMOVE (E) HWS/R BRANCHES TO PEX HEADERS ON FLOOR ABOVE.
- ⑥ (E) GENERATOR EXHAUST STACK UP THROUGH ROOF SHALL REMAIN FUNCTIONAL UNTIL THE NEW GENERATOR IS OPERATIONAL (PHASE 2). CONTRACTOR SHALL THEN REMOVE THE STACK IN PIECES, FROM THE BOTTOM OR TOP, COMPLETE.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

JOB NO.
076982

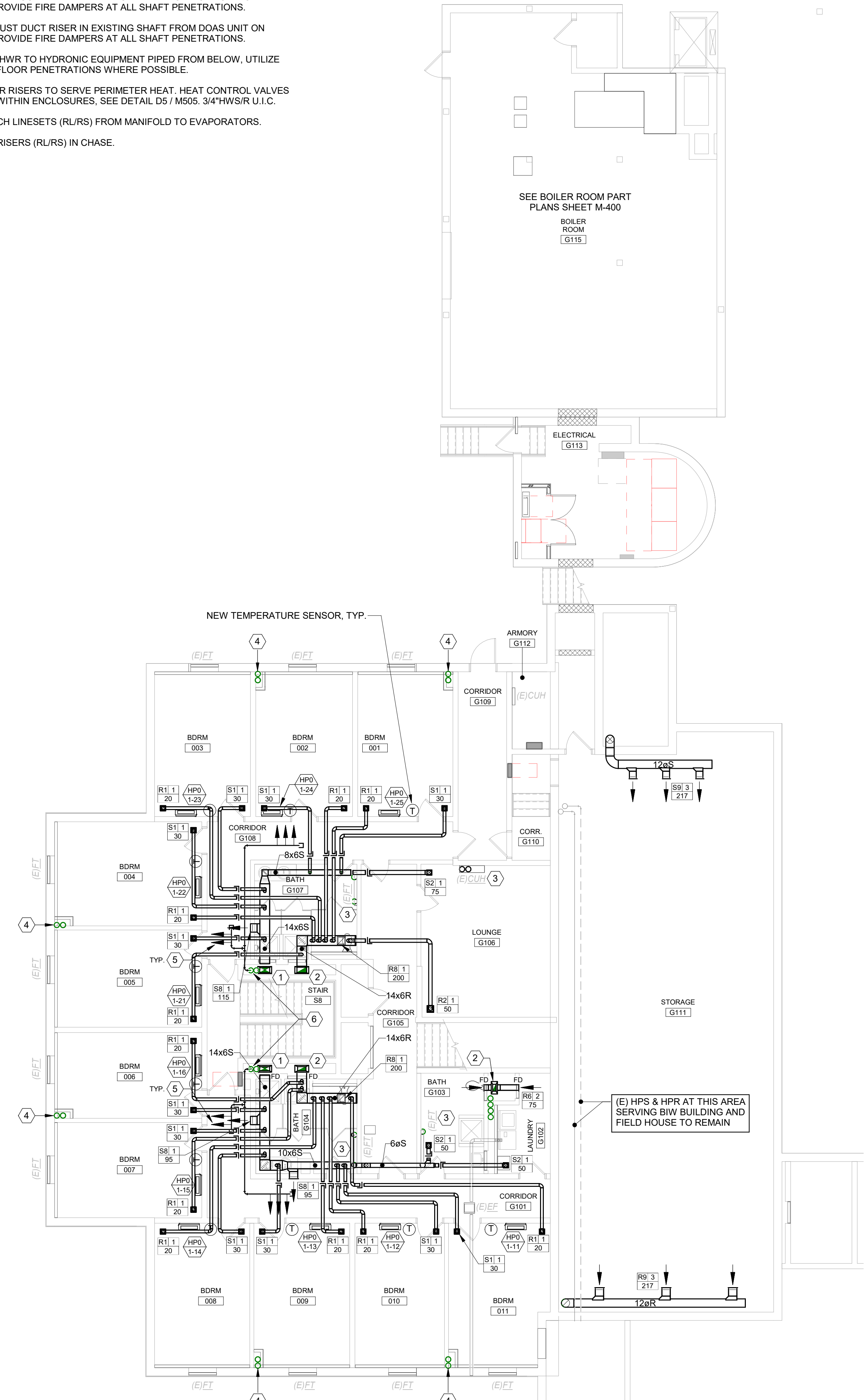
ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 INTERMEDIATE FLOOR MECHANICAL PLANS

SHEET
M101.0

KEYED NOTES:

- ① NEW SUPPLY DUCT RISER IN EXISTING SHAFT FROM DOAS UNIT ON GRADE - PROVIDE FIRE DAMPERS AT ALL SHAFT PENETRATIONS.
- ② NEW EXHAUST DUCT RISER IN EXISTING SHAFT FROM DOAS UNIT ON GRADE - PROVIDE FIRE DAMPERS AT ALL SHAFT PENETRATIONS.
- ③ NEW HWS/HWR TO HYDRONIC EQUIPMENT PIPED FROM BELOW, UTILIZE EXISTING FLOOR PENETRATIONS WHERE POSSIBLE.
- ④ NEW HWS/R RISERS TO SERVE PERIMETER HEAT, HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES, SEE DETAIL D5 / M605, 3/4" HWS/R U.I.C.
- ⑤ VRF BRANCH LINESETS (RLRS) FROM MANIFOLD TO EVAPORATORS.
- ⑥ VRF MAIN RISERS (RLRS) IN CHASE.

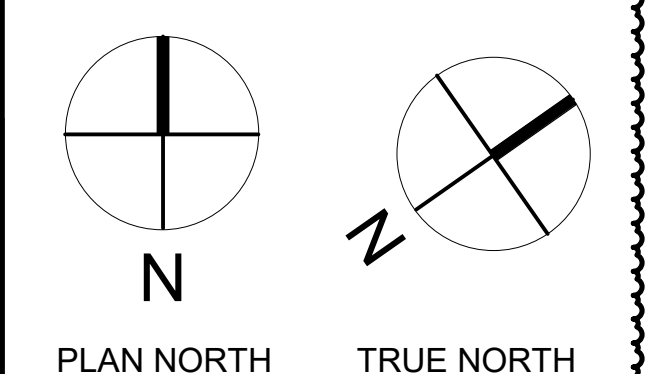


GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

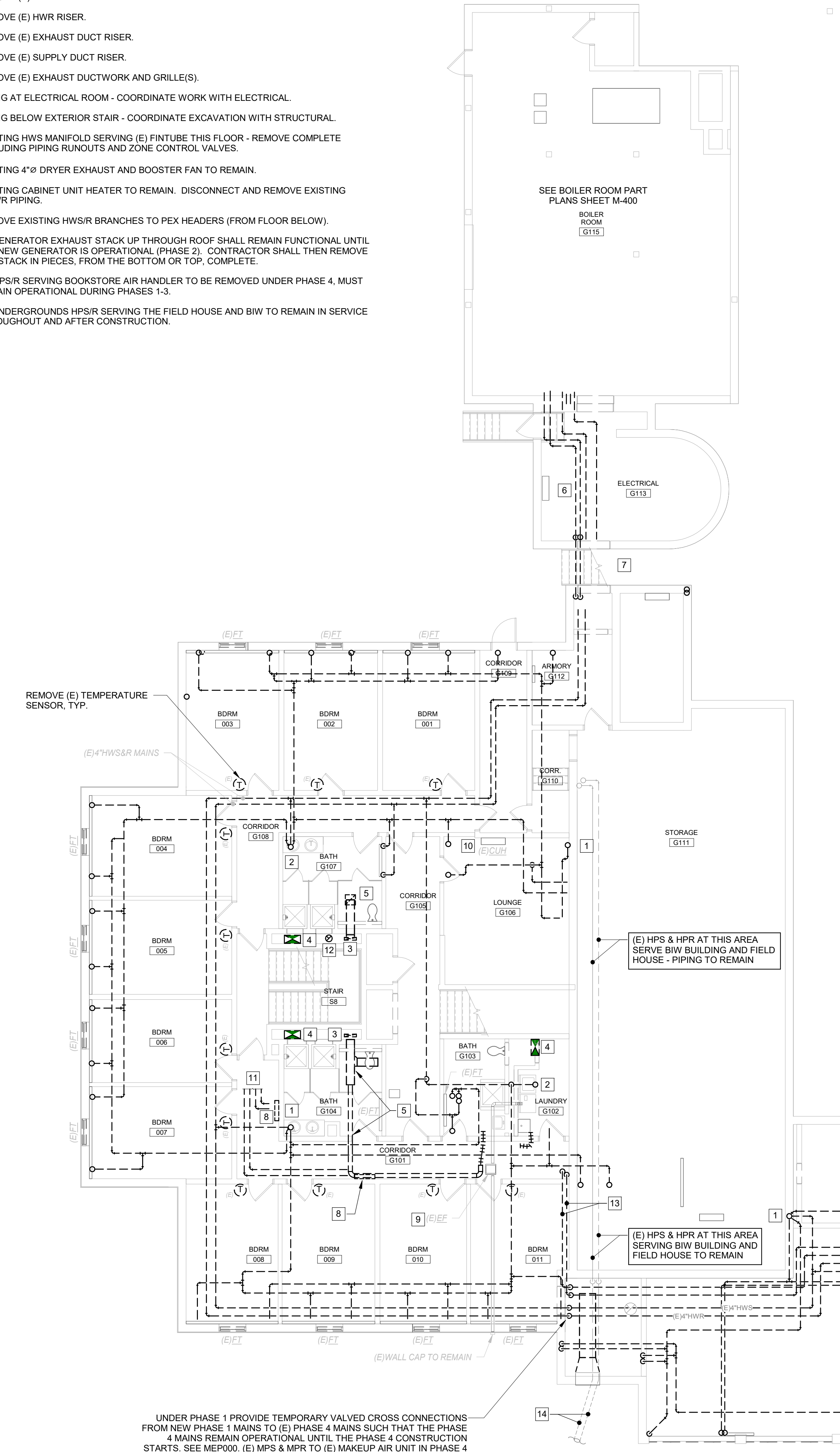
GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



DEMOLITION KEYED NOTES:

- 1 REMOVE (E) HWS RISER
- 2 REMOVE (E) HWR RISER.
- 3 REMOVE (E) EXHAUST DUCT RISER.
- 4 REMOVE (E) SUPPLY DUCT RISER.
- 5 REMOVE (E) EXHAUST DUCTWORK AND GRILLE(S).
- 6 PIPING AT ELECTRICAL ROOM - COORDINATE WORK WITH ELECTRICAL.
- 7 PIPING BELOW EXTERIOR STAIR - COORDINATE EXCAVATION WITH STRUCTURAL.
- 8 EXISTING HWS MANIFOLD SERVING (E) FIN TUBE THIS FLOOR - REMOVE COMPLETE INCLUDING PIPING RUNOUTS AND ZONE CONTROL VALVES.
- 9 EXISTING 4" DRYER EXHAUST AND BOOSTER FAN TO REMAIN.
- 10 EXISTING CABINET UNIT HEATER TO REMAIN. DISCONNECT AND REMOVE EXISTING HWS/R PIPING.
- 11 REMOVE EXISTING HWS/R BRANCHES TO PEX HEADERS (FROM FLOOR BELOW).
- 12 (E) GENERATOR EXHAUST STACK UP THROUGH ROOF SHALL REMAIN FUNCTIONAL UNTIL THE NEW GENERATOR IS OPERATIONAL (PHASE 2). CONTRACTOR SHALL THEN REMOVE THE STACK IN PIECES, FROM THE BOTTOM OR TOP, COMPLETE.
- 13 (E) MPS/R SERVING BOOKSTORE AIR HANDLER TO BE REMOVED UNDER PHASE 4, MUST REMAIN OPERATIONAL DURING PHASES 1-3.
- 14 (E) UNDERGROUNDS HPS/R SERVING THE FIELD HOUSE AND BIW TO REMAIN IN SERVICE THROUGHOUT AND AFTER CONSTRUCTION.



UNDER PHASE 1 PROVIDE TEMPORARY VALVED CROSS CONNECTIONS FROM NEW PHASE 1 MAINS TO (E) PHASE 4 MAINS SUCH THAT THE PHASE 4 MAINS REMAIN OPERATIONAL UNTIL THE PHASE 4 CONSTRUCTION STARTS. SEE MEP000. (E) MPS & MPR TO (E) MAKEUP AIR UNIT IN PHASE 4 MUST REMAIN OPERATIONAL UNTIL PHASE 4 DEMOLITION.

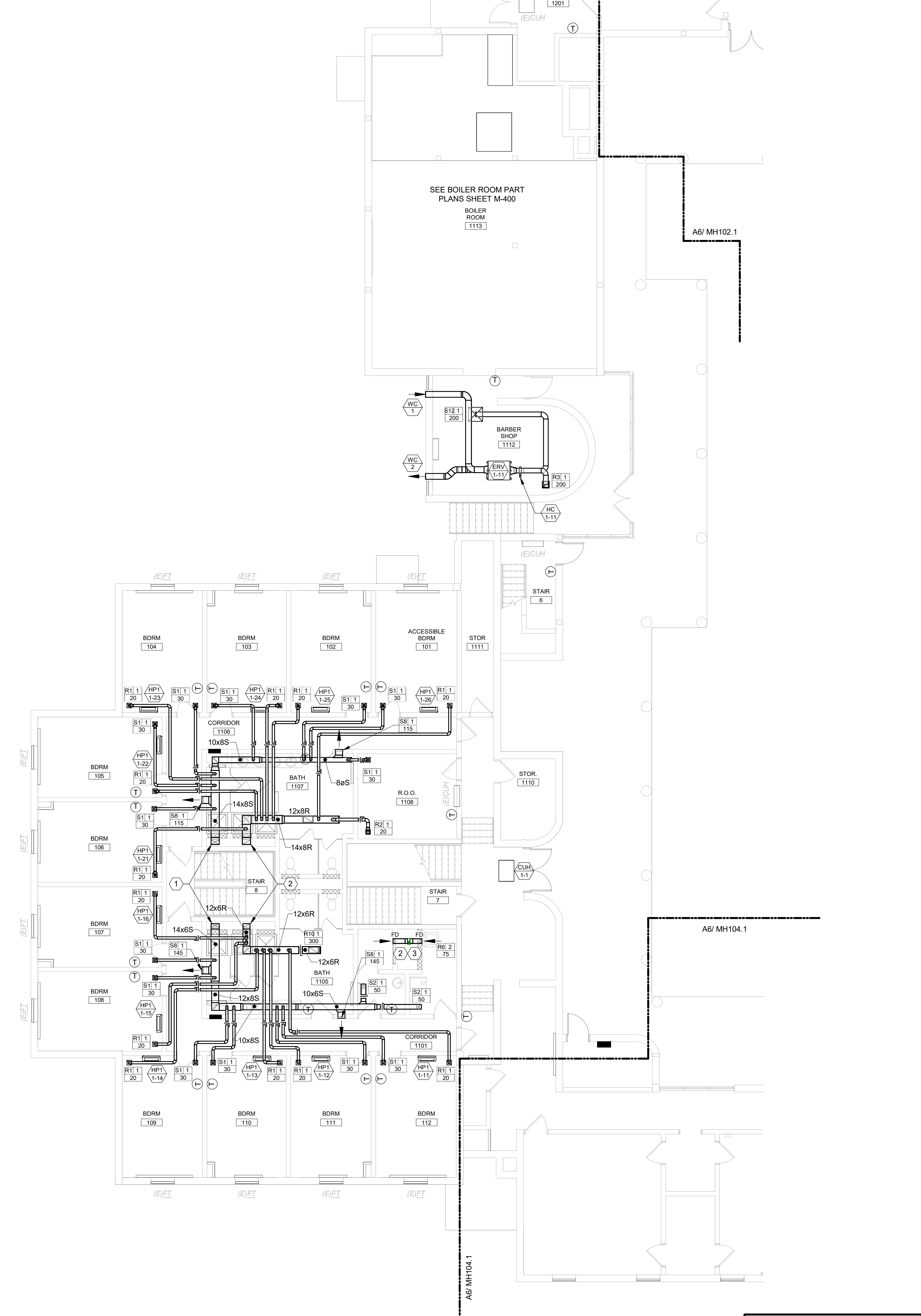
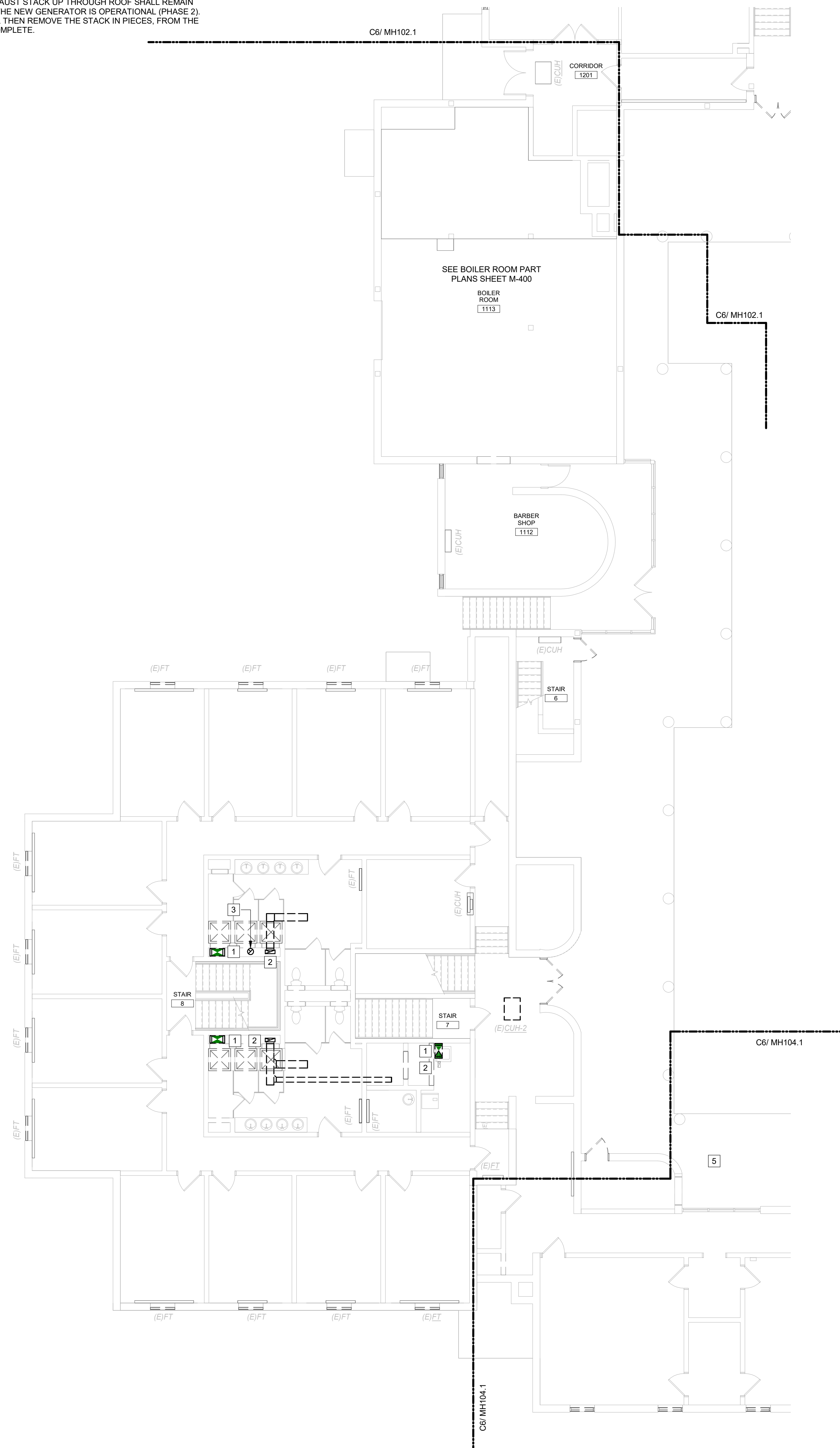
DEMOLITION KEYED NOTES:

- 1 EXISTING SUPPLY DUCT RISER IN CHASE TO BE REMOVED.
- 2 EXISTING EXHAUST DUCT RISER IN CHASE TO BE REMOVED.
- 3 (E) GENERATOR EXHAUST STACK UP THROUGH ROOF SHALL REMAIN FUNCTIONAL UNTIL THE NEW GENERATOR IS OPERATIONAL (PHASE 2). CONTRACTOR SHALL THEN REMOVE THE STACK IN PIECES, FROM THE BOTTOM OR TOP, COMPLETE.

KEYED NOTES:

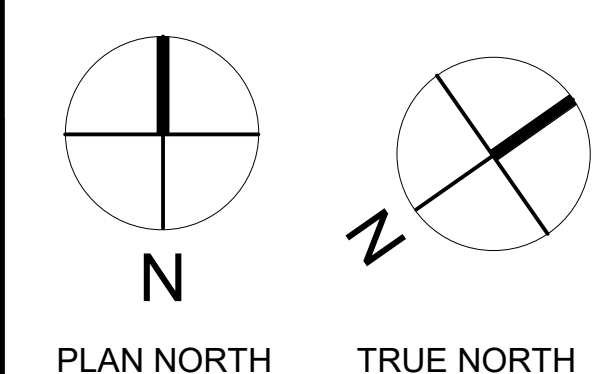
- 1 SUPPLY DUCT RISER IN EXISTING CHASE FROM DOAS UNIT.
- 2 RETURN DUCT RISER IN EXISTING CHASE FROM DOAS UNIT.
- 3 EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.

E
D
C
B
A



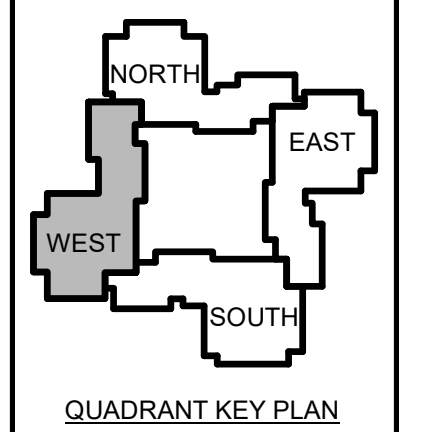
GENERAL MECHANICAL NOTE:
UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



COPYRIGHT
CHA Architecture
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 FIRST FLOOR MECHANICAL DUCTWORK PLANS

SHEET
MH101.1

DEMOLITION KEYED NOTES:

- 1 REMOVE (E) HWS/HWR PIPING SERVING (E) FIN-TUBE.
- 2 REMOVE EXISTING HWS RISER IN CHASE.
- 3 REMOVE EXISTING HWR RISER IN CHASE.
- 4 REMOVE (E) FIN-TUBE.
- 5 REMOVE (E) CUH / UH.
- 6 EXISTING PIPING LOCATED IN EXTERIOR SOFFIT. COORDINATE WORK WITH ARCHITECTURAL DIVISIONS AND REMOVAL OF SOFFIT.

UNDER PHASE 1 PROVIDE TEMPORARY VALVED CROSS CONNECTIONS FROM NEW PHASE 1 MAINS TO (E) PHASE 2/3 MAINS SUCH THAT THE PHASE 2/3 MAINS REMAIN OPERATIONAL UNTIL THE PHASE 2 CONSTRUCTION STARTS. SEE MEP000.

(E) HPS & HPR AT THIS AREA SERVING BWV BUILDING AND FIELD HOUSE TO REMAIN

KEYED NOTES:

- 1 NEW HWS/R RISERS TO SERVE PERIMETER HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505. 1"HWS/R UP & DN IN CHASE.
- 2 NEW HWS/R RISERS TO SERVE PERIMETER HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505. 1"HWS/R U.I.C.
- 3 1-1/4"GWS/R DOWN TO DOAS ON GRADE.
- 4 1-1/2"GWS/R UP TO DOAS ON ROOF.
- 5 GWS/R TO ERV DUCT COIL.
- 6 1"GWS/R UP TO DOAS ON ROOF.
- 7 1-1/4"HWS/R D.I.C.
- 8 HWS/R UP TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.
- 9 CONNECT TO HWS/HWR MAINS AT BOILER ROOM. PROVIDE SHUT-OFF VALVES AT BRANCHES.
- 10 CONNECT NEW HWS / HWR PIPING TO EXISTING EQUIPMENT, BALANCE AS NOTED.
- 11 VRF BRANCH LINESETS (RLRS) FROM MANIFOLD TO EVAPORATORS.
- 12 VRF MAIN RISERS (RLRS) IN CHASE.

NEW TEMPERATURE SENSOR, TYP.

(E) HPS&HPR EXPOSED ABOVE STAIR TO REMAIN

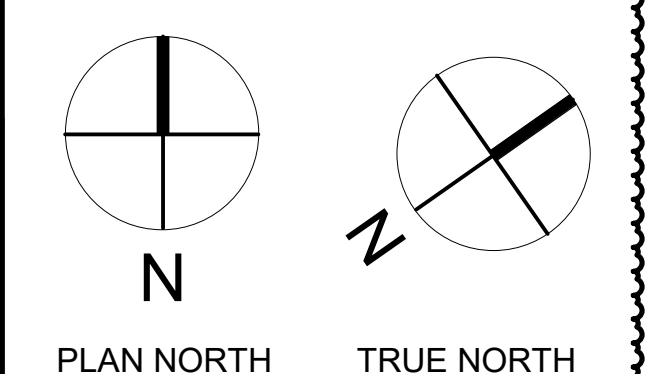
(E) HPS&HPR LOW AT STORAGE RM TO REMAIN

GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

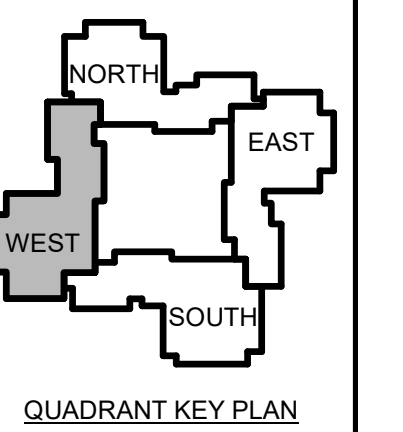
GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



COPYRIGHT
CHA Architecture
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| 1 | 12-5 | Addendum #1 -23 |
|-------------------|------|-----------------|
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO. 076982

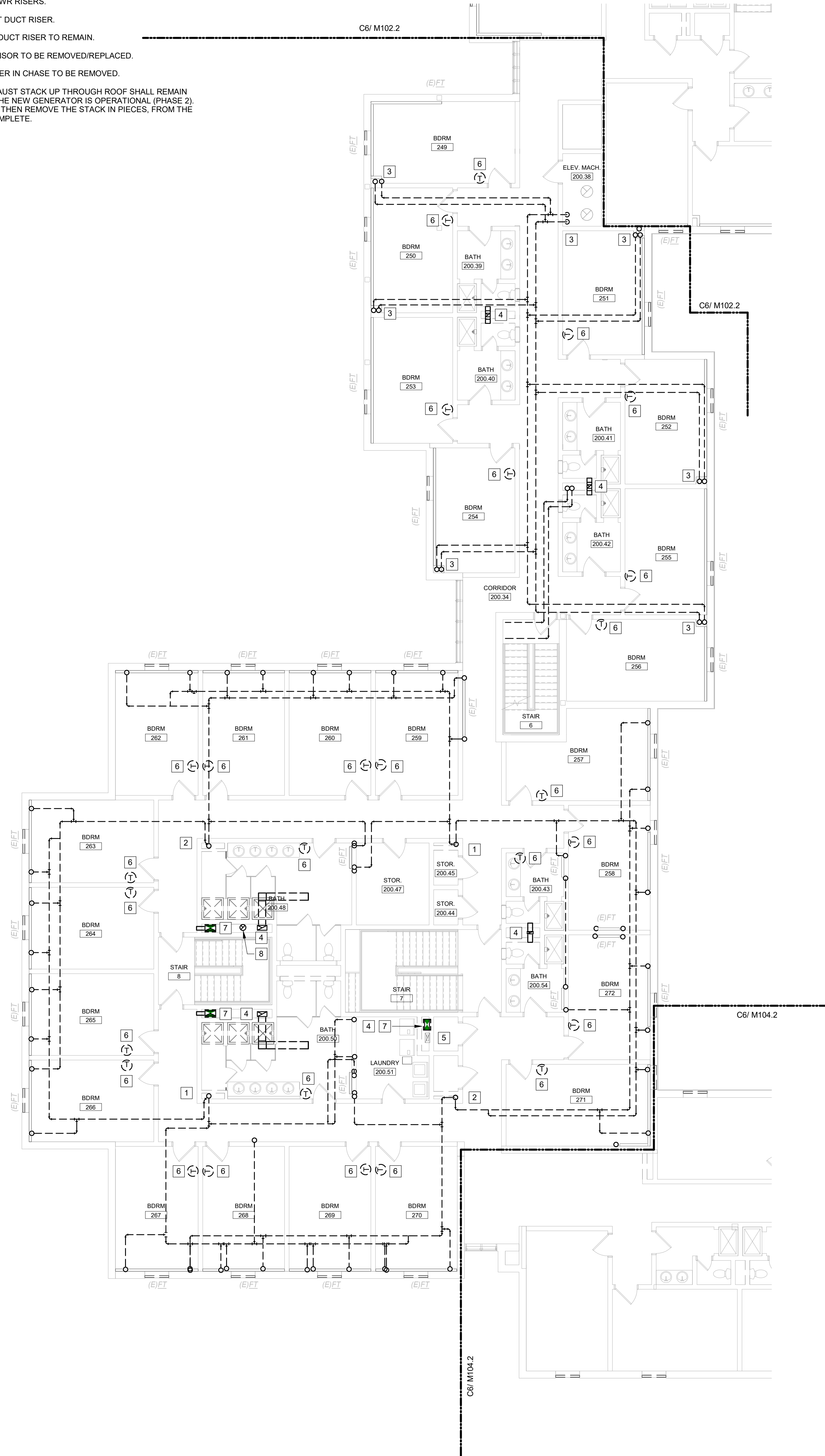
ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 FIRST FLOOR MECHANICAL PIPING PLANS

SHEET
MP101.1

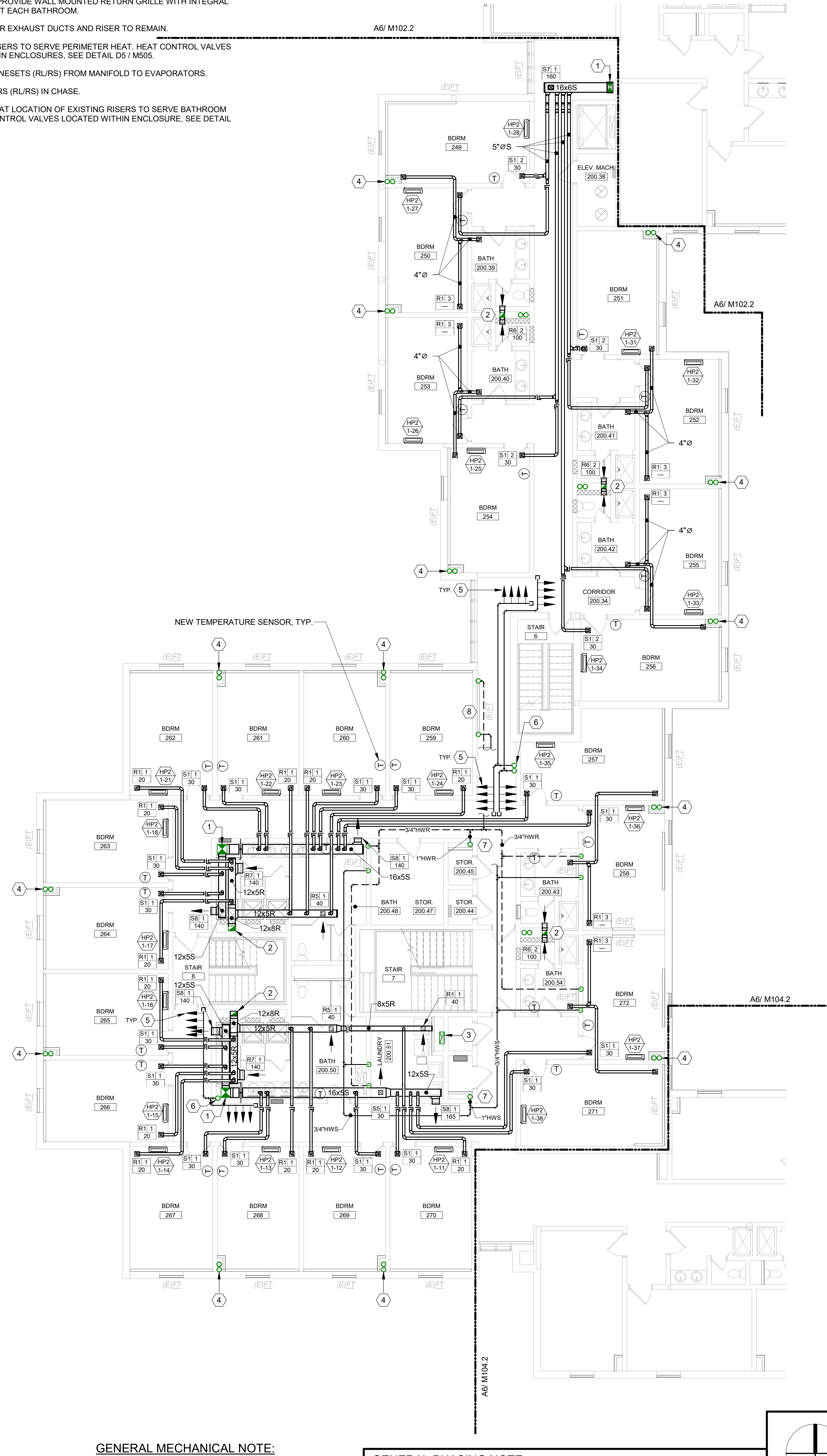
DEMOLITION KEYED NOTES:

- 1 REMOVE (E) HWS RISER
- 2 REMOVE (E) HWR RISER
- 3 REMOVE (E) HWS & HWR RISERS
- 4 REMOVE (E) EXHAUST DUCT RISER
- 5 (E) DRYER EXHAUST DUCT RISER TO REMAIN
- 6 (E) THERMOSTAT/SENSOR TO BE REMOVED/REPLACED
- 7 (E) SUPPLY DUCT RISER IN CHASE TO BE REMOVED
- 8 (E) GENERATOR EXHAUST STACK UP THROUGH ROOF SHALL REMAIN FUNCTIONAL UNTIL THE NEW GENERATOR IS OPERATIONAL (PHASE 2). CONTRACTOR SHALL THEN REMOVE THE STACK IN PIECES, FROM THE BOTTOM OR TOP, COMPLETE.



KEYED NOTES:

- 1 SUPPLY/RETURN DUCT RISER IN CHASE FROM DOAS UNIT. PROVIDE FIRE DAMPERS AT BRANCHES ON THIS LEVEL.
- 2 RETURN DUCT RISER IN EXISTING CHASE TO SERVE ADJACENT BATHROOMS - PROVIDE WALL MOUNTED RETURN GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
- 3 EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- 4 NEW HWS/R RISERS TO SERVE PERIMETER HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505.
- 5 VRF BRANCH LINESETS (RL/RS) FROM MANIFOLD TO EVAPORATORS.
- 6 VRF MAIN RISERS (RL/RS) IN CHASE.
- 7 HWS/R RISERS AT LOCATION OF EXISTING RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.

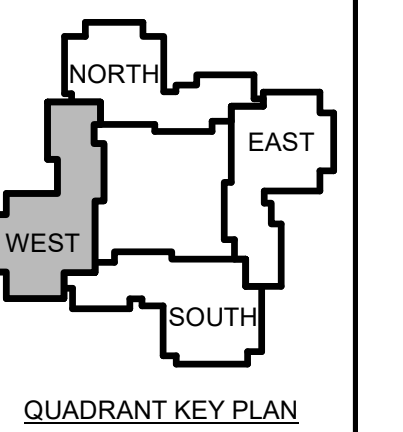
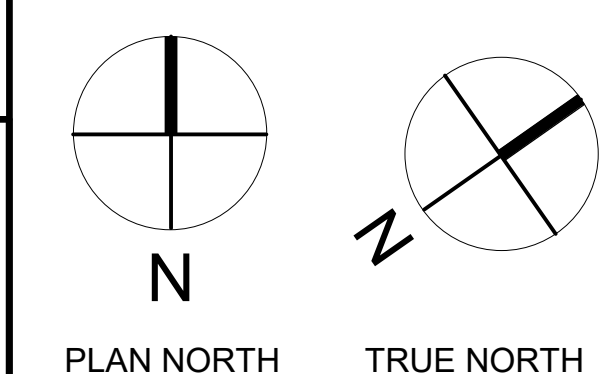


GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



| No. | Date | Description |
|-----|------|-----------------|
| 1 | 12-5 | Addendum #1 -23 |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 SECOND FLOOR MECHANICAL PLANS

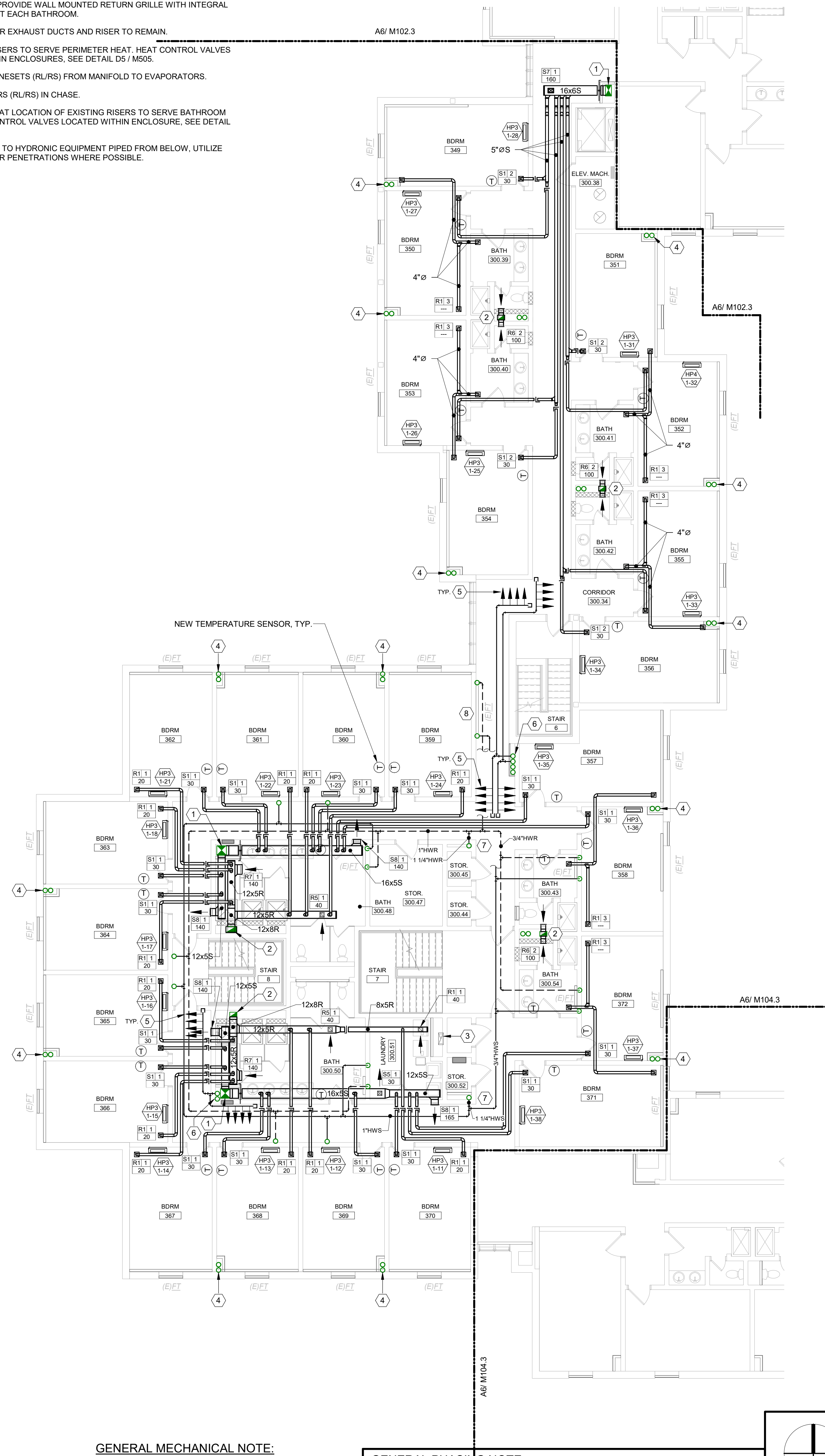
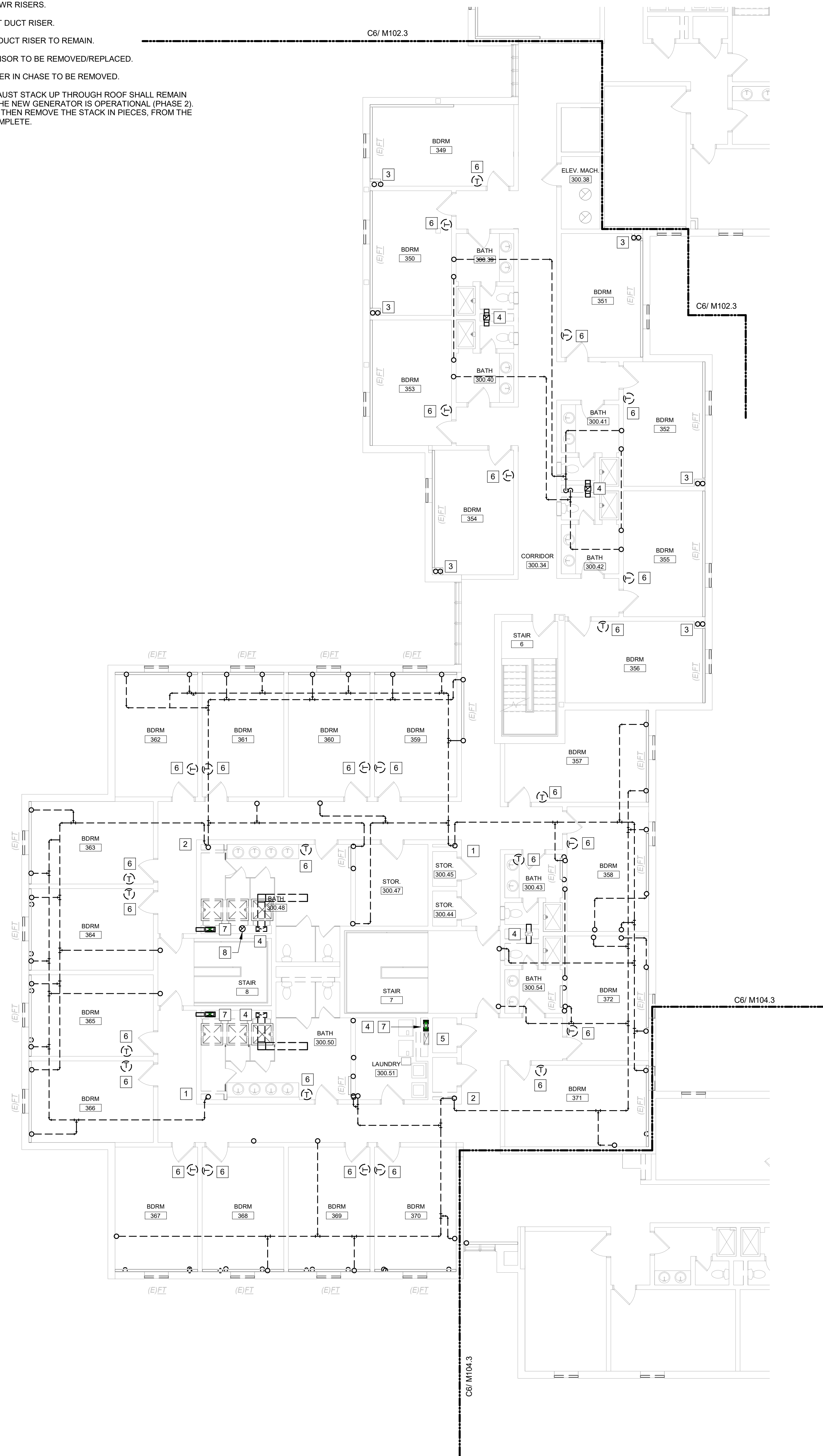
SHEET
M101.2

DEMOLITION KEYED NOTES:

- 1 REMOVE (E) HWS RISER
- 2 REMOVE (E) HWR RISER
- 3 REMOVE (E) HWS & HWR RISERS
- 4 REMOVE (E) EXHAUST DUCT RISER
- 5 (E) DRYER EXHAUST DUCT RISER TO REMAIN
- 6 (E) THERMOSTAT/SENSOR TO BE REMOVED/REPLACED
- 7 (E) SUPPLY DUCT RISER IN CHASE TO BE REMOVED
- 8 (E) GENERATOR EXHAUST STACK UP THROUGH ROOF SHALL REMAIN FUNCTIONAL UNTIL THE NEW GENERATOR IS OPERATIONAL (PHASE 2). CONTRACTOR SHALL THEN REMOVE THE STACK IN PIECES, FROM THE BOTTOM OR TOP, COMPLETE.

KEYED NOTES:

- 1 SUPPLY/RETURN DUCT RISER IN CHASE FROM DOAS UNIT. PROVIDE FIRE DAMPERS AT BRANCHES ON THIS LEVEL.
- 2 RETURN DUCT RISER IN EXISTING CHASE TO SERVE ADJACENT BATHROOMS. PROVIDE WALL MOUNTED RETURN GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
- 3 EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- 4 NEW HWS/R RISERS TO SERVE PERIMETER HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505.
- 5 VRF BRANCH LINESETS (RL/RS) FROM MANIFOLD TO EVAPORATORS.
- 6 VRF MAIN RISERS (RL/RS) IN CHASE.
- 7 HWS/R RISERS AT LOCATION OF EXISTING RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.
- 8 NEW HWS/HWR TO HYDRONIC EQUIPMENT PIPED FROM BELOW. UTILIZE EXISTING FLOOR PENETRATIONS WHERE POSSIBLE.

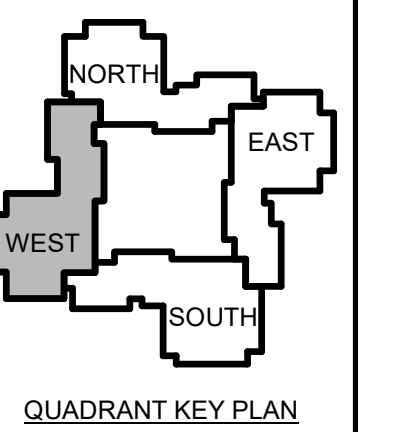
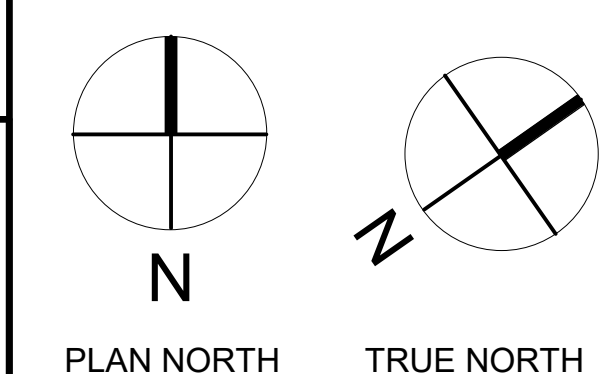


GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 THIRD FLOOR MECHANICAL PLANS

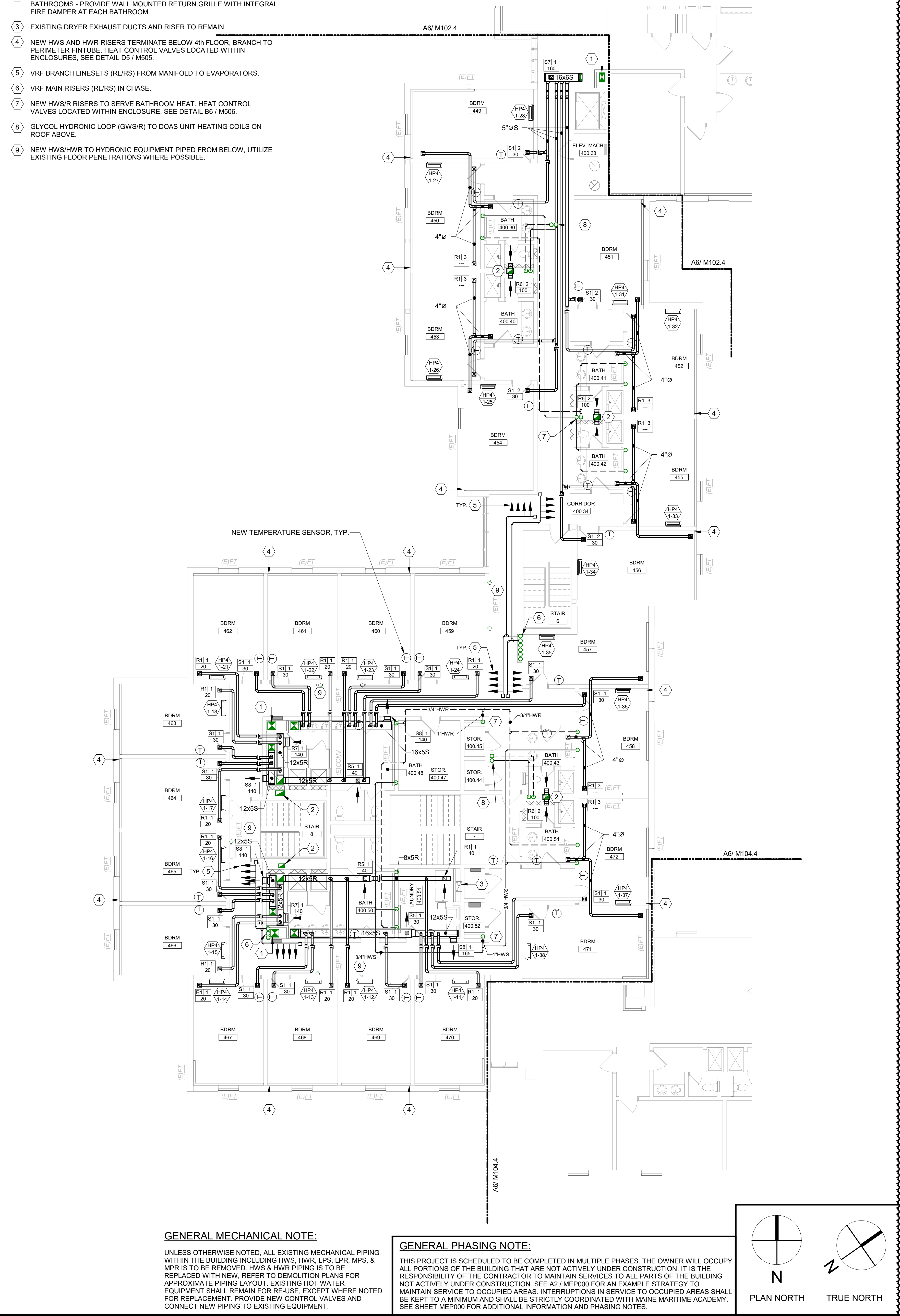
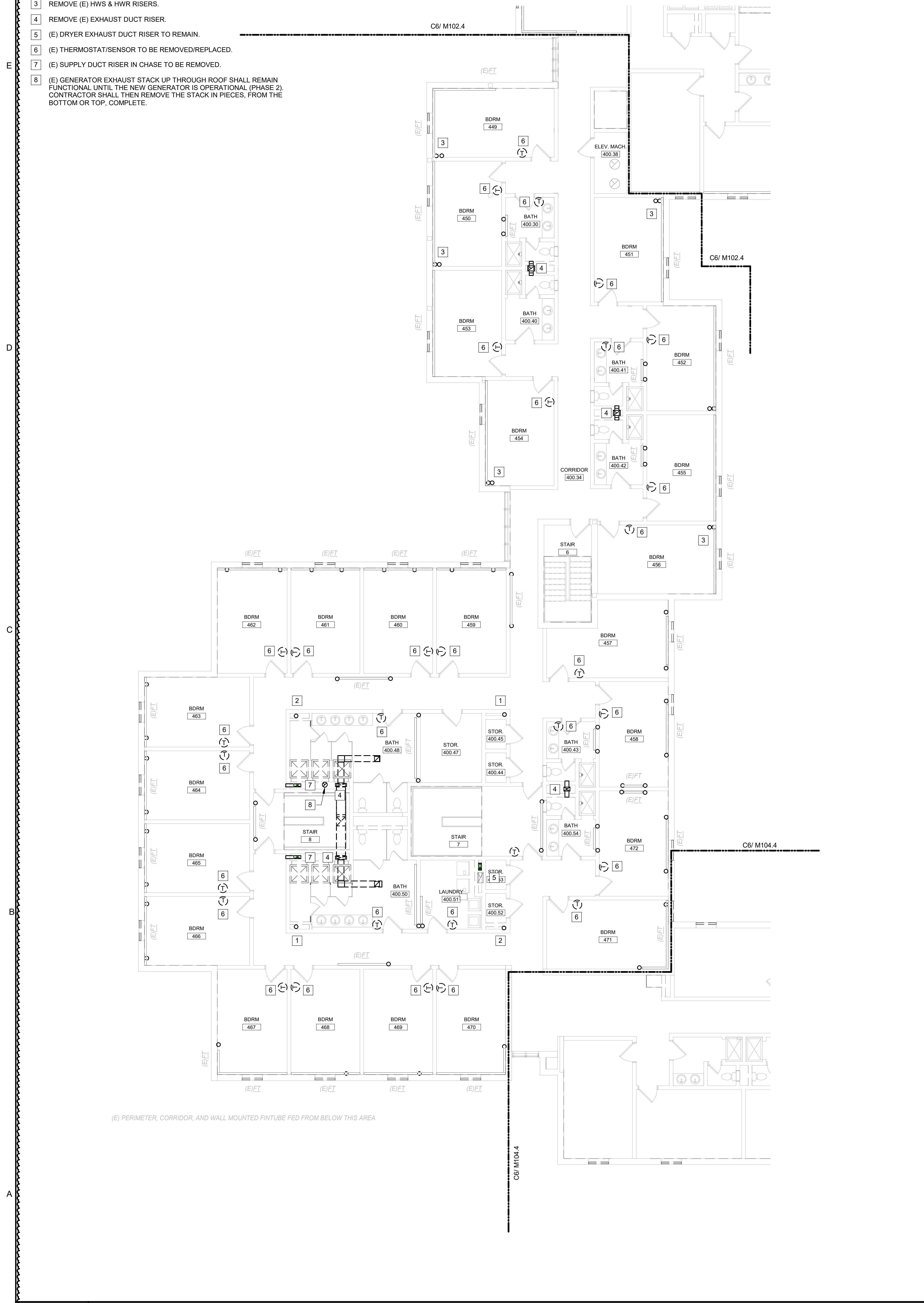
SHEET
M101.3

DEMOLITION KEYED NOTES:

- 1 REMOVE (E) HWS RISER
- 2 REMOVE (E) HWR RISER
- 3 REMOVE (E) HWS & HWR RISERS
- 4 REMOVE (E) EXHAUST DUCT RISER
- 5 (E) DRYER EXHAUST DUCT RISER TO REMAIN
- 6 (E) THERMOSTAT/SENSOR TO BE REMOVED/REPLACED
- 7 (E) SUPPLY DUCT RISER IN CHASE TO BE REMOVED
- 8 (E) GENERATOR EXHAUST STACK UP THROUGH ROOF SHALL REMAIN FUNCTIONAL UNTIL THE NEW GENERATOR IS OPERATIONAL (PHASE 2). CONTRACTOR SHALL THEN REMOVE THE STACK IN PIECES, FROM THE BOTTOM OR TOP, COMPLETE.

KEYED NOTES:

- 1 SUPPLY RETURN DUCT RISER IN CHASE FROM DOAS UNIT ON ROOF, NO BRANCHES ON THIS LEVEL.
- 2 RETURN DUCT RISER IN EXISTING CHASE TO SERVE ADJACENT BATHROOMS - PROVIDE WALL MOUNTED RETURN GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
- 3 EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- 4 NEW HWS AND HWR RISERS TERMINATE BELOW 4th FLOOR, BRANCH TO PERIMETER FINITUBE. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL 05 / M505.
- 5 VRF BRANCH LINESETS (RL/RS) FROM MANIFOLD TO EVAPORATORS.
- 6 VRF MAIN RISERS (RL/RS) IN CHASE.
- 7 NEW HWS/R RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.
- 8 GLYCOL HYDRONIC LOOP (GWS/R) TO DOAS UNIT HEATING COILS ON ROOF ABOVE.
- 9 NEW HWS/HWR TO HYDRONIC EQUIPMENT PIPED FROM BELOW, UTILIZE EXISTING FLOOR PENETRATIONS WHERE POSSIBLE.

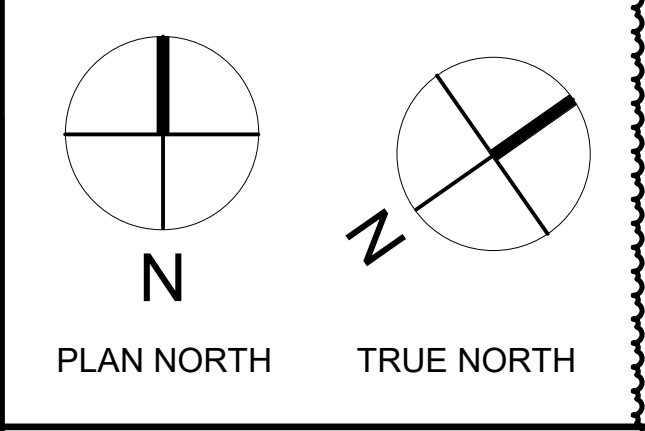


GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

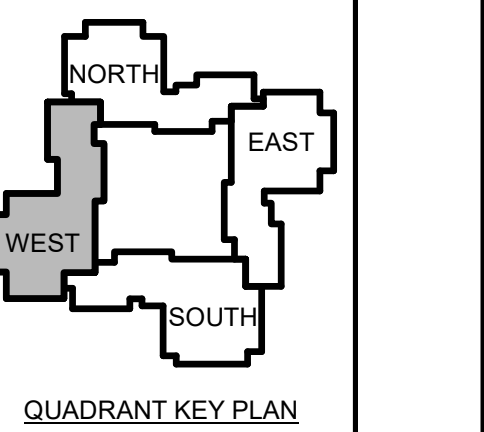
GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



COPYRIGHT
CHA Architecture
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

No. Date Description
Revision Schedule

JOB NO.
076982

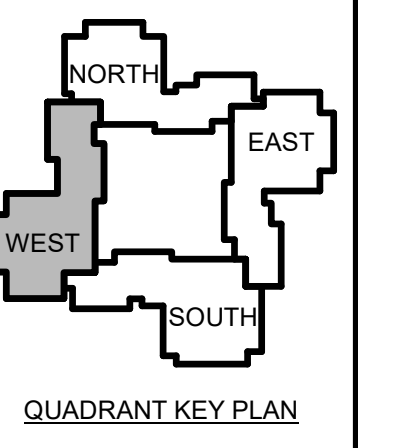
ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 FOURTH FLOOR MECHANICAL PLANS

SHEET
M101.4

COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

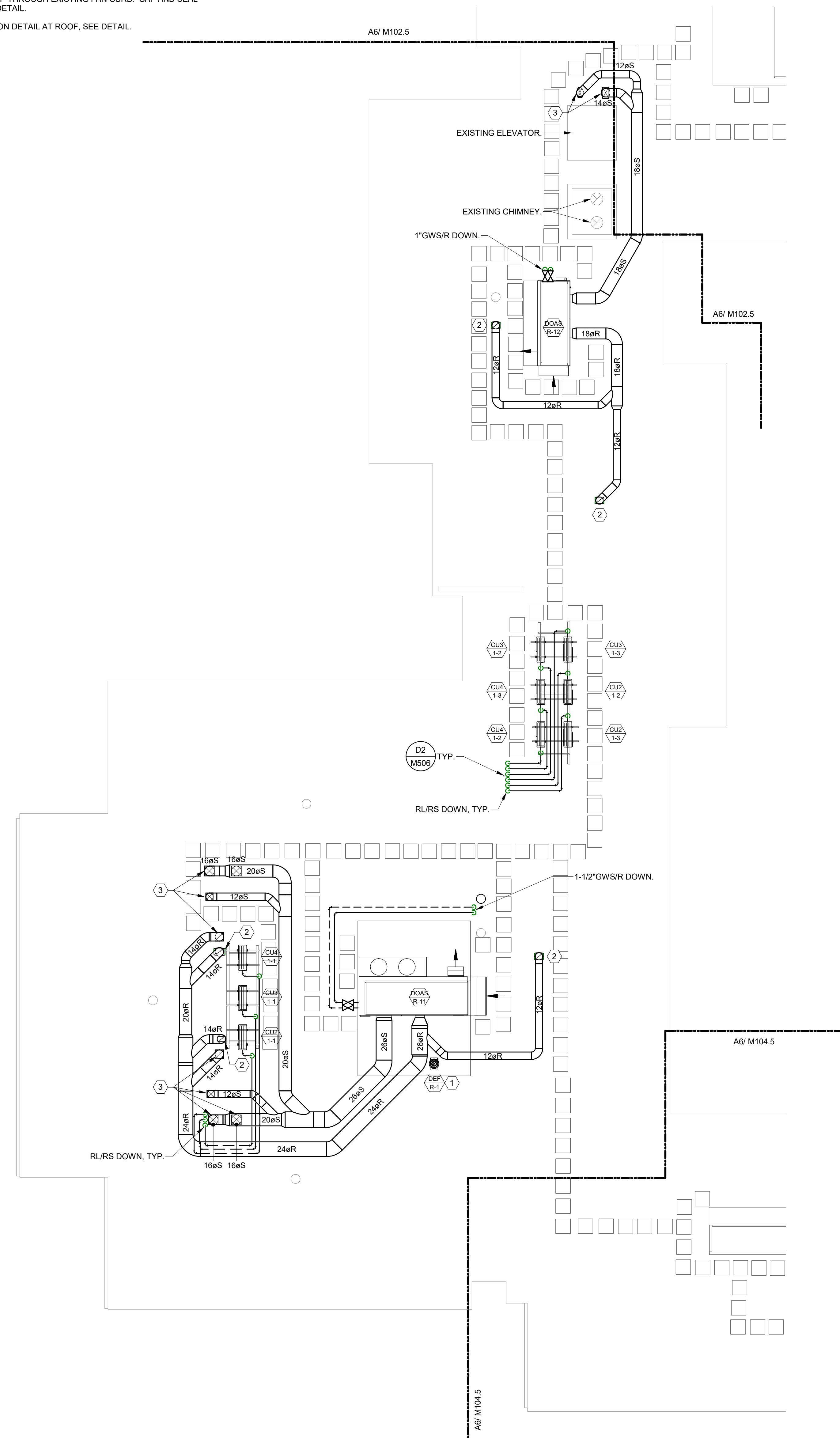
ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 1 ROOF LEVEL MECHANICAL PLANS

SHEET
M101.5

KEYED NOTES:

- ① EXISTING DRYER EXHAUST FAN TO BE REPLACED W/ VARIABLE FLOW FAN.
- ② RETURN DUCT TO DROP THROUGH EXISTING FAN CURB. CAP AND SEAL WEATHERTIGHT, SEE DETAIL.
- ③ FOR DUCT PENETRATION DETAIL AT ROOF, SEE DETAIL.

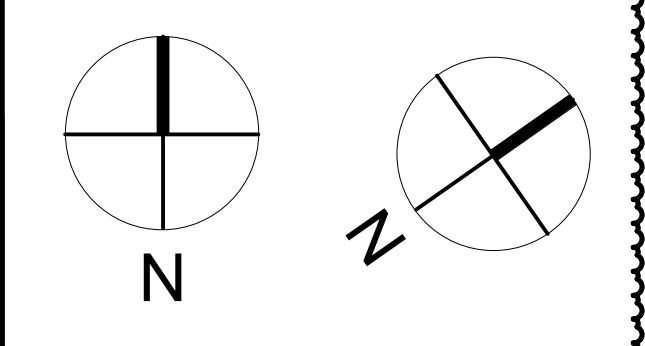


GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

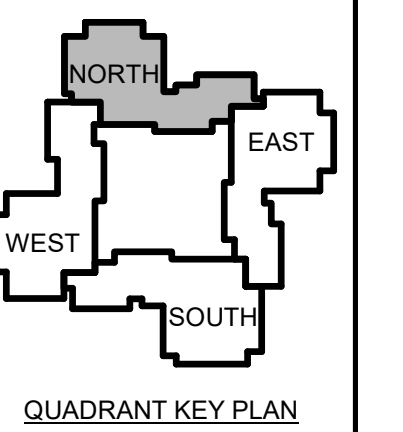
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



DEMOLITION KEYED NOTES:

- ① EXISTING DRYER EXHAUST FAN TO BE REPLACED.
- ② REMOVE EXISTING EXHAUST FAN.
- ③ (E) GENERATOR EXHAUST STACK UP THROUGH ROOF SHALL REMAIN FUNCTIONAL UNTIL THE NEW GENERATOR IS OPERATIONAL (PHASE 2). CONTRACTOR SHALL THEN REMOVE THE STACK IN PIECES, FROM THE BOTTOM OR TOP, COMPLETE PATCH (E) ROOF OPENING AND SEAL WEATHERTIGHT.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

No. Date Description
 Revision Schedule

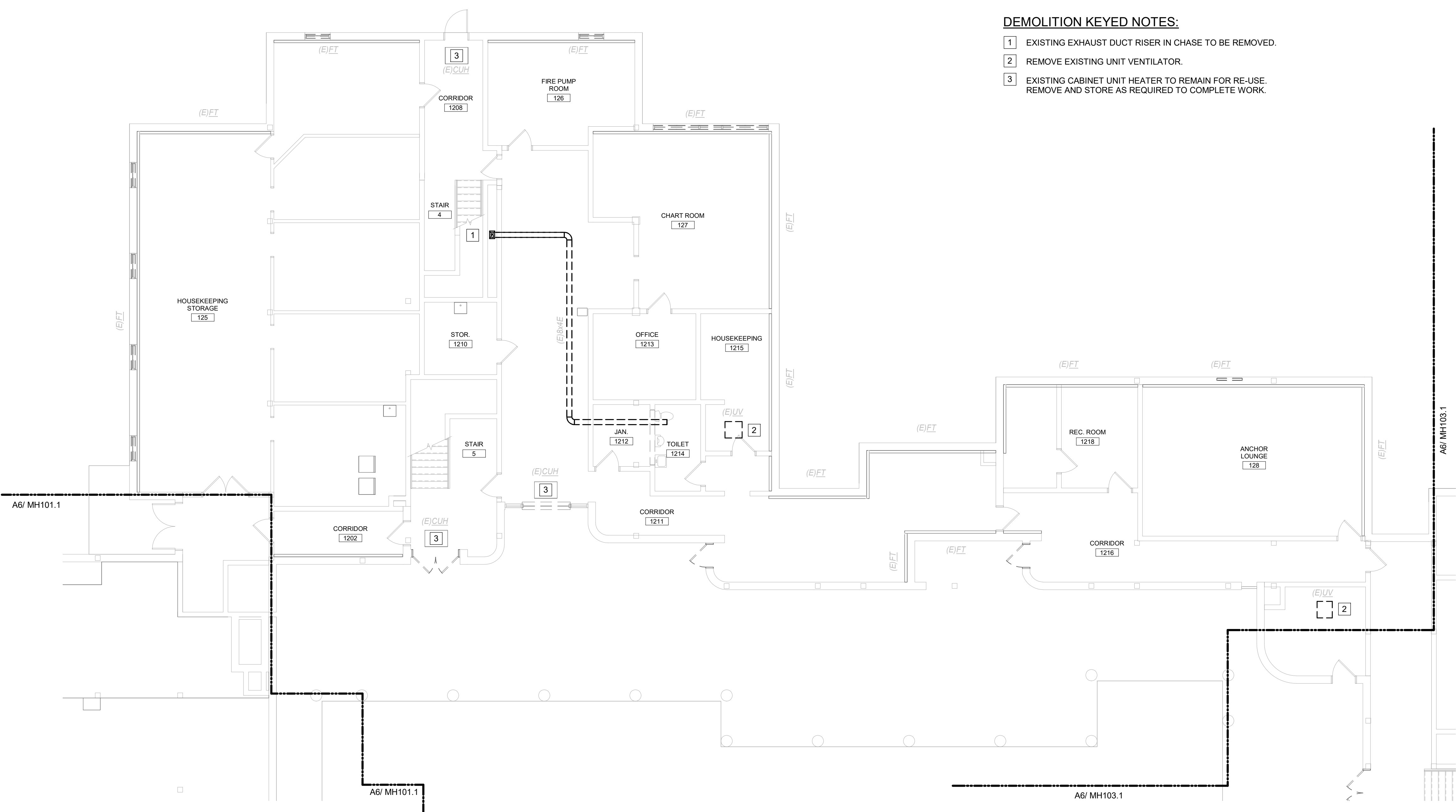
JOB NO.
076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 2 FIRST
 FLOOR MECHANICAL
 DUCTWORK PLANS

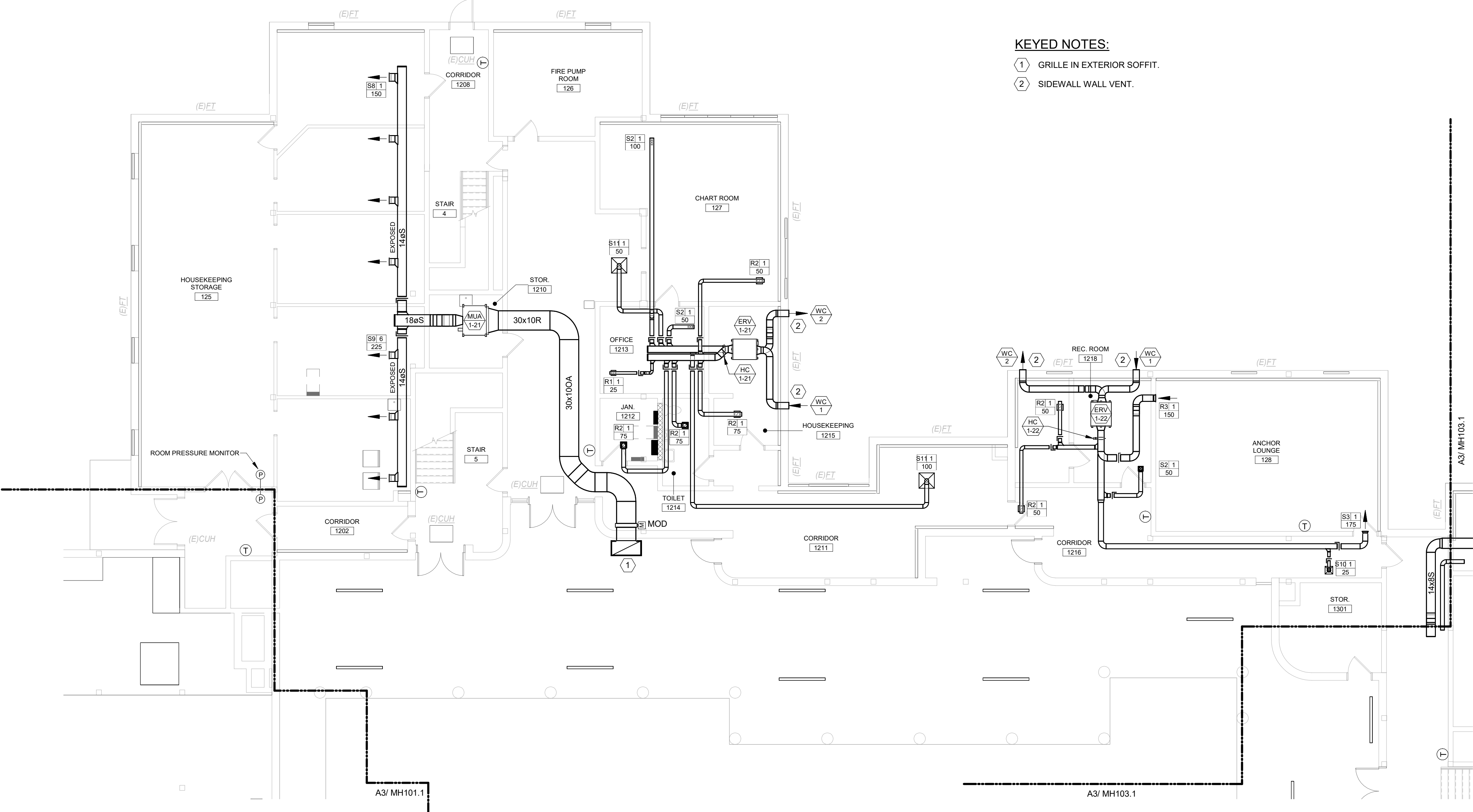
SHEET
MH102.1

- DEMOLITION KEYED NOTES:**
- EXISTING EXHAUST DUCT RISER IN CHASE TO BE REMOVED.
 - REMOVE EXISTING UNIT VENTILATOR.
 - EXISTING CABINET UNIT HEATER TO REMAIN FOR RE-USE. REMOVE AND STORE AS REQUIRED TO COMPLETE WORK.



C6 PHASE 2 FIRST FLOOR MECHANICAL DUCTWORK DEMOLITION PLAN
 1/8" = 1'-0"

- KEYED NOTES:**
- GRILLE IN EXTERIOR SOFFIT.
 - SIDEWALL WALL VENT.



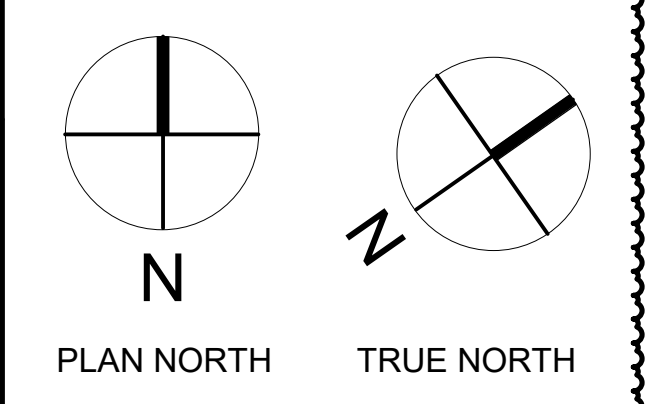
A6 PHASE 2 FIRST FLOOR MECHANICAL DUCTWORK PLAN
 1/8" = 1'-0"

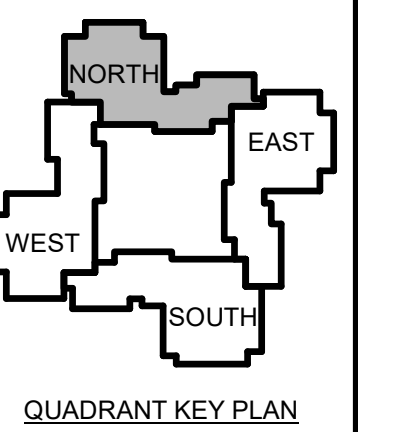
GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

JOB NO.
076982

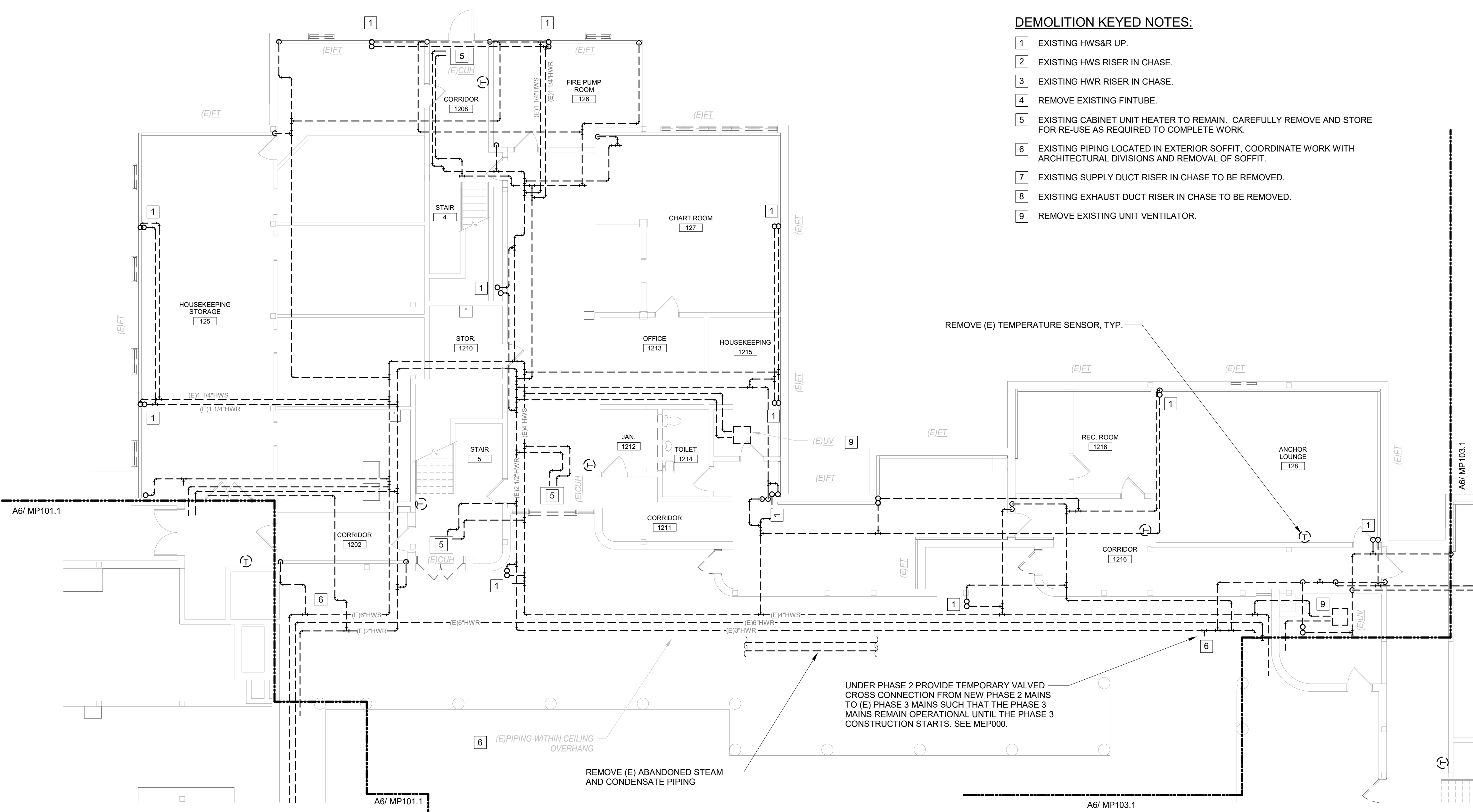
ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 2 FIRST FLOOR MECHANICAL PIPING PLANS

SHEET
MP102.1

DEMOLITION KEYED NOTES:

- 1 EXISTING HWS&R UP.
- 2 EXISTING HWS RISER IN CHASE.
- 3 EXISTING HWR RISER IN CHASE.
- 4 REMOVE EXISTING FINITUBE.
- 5 EXISTING CABINET UNIT HEATER TO REMAIN. CAREFULLY REMOVE AND STORE FOR RE-USE AS REQUIRED TO COMPLETE WORK.
- 6 EXISTING PIPING LOCATED IN EXTERIOR SOFFIT. COORDINATE WORK WITH ARCHITECTURAL DIVISIONS AND REMOVAL OF SOFFIT.
- 7 EXISTING SUPPLY DUCT RISER IN CHASE TO BE REMOVED.
- 8 EXISTING EXHAUST DUCT RISER IN CHASE TO BE REMOVED.
- 9 REMOVE EXISTING UNIT VENTILATOR.

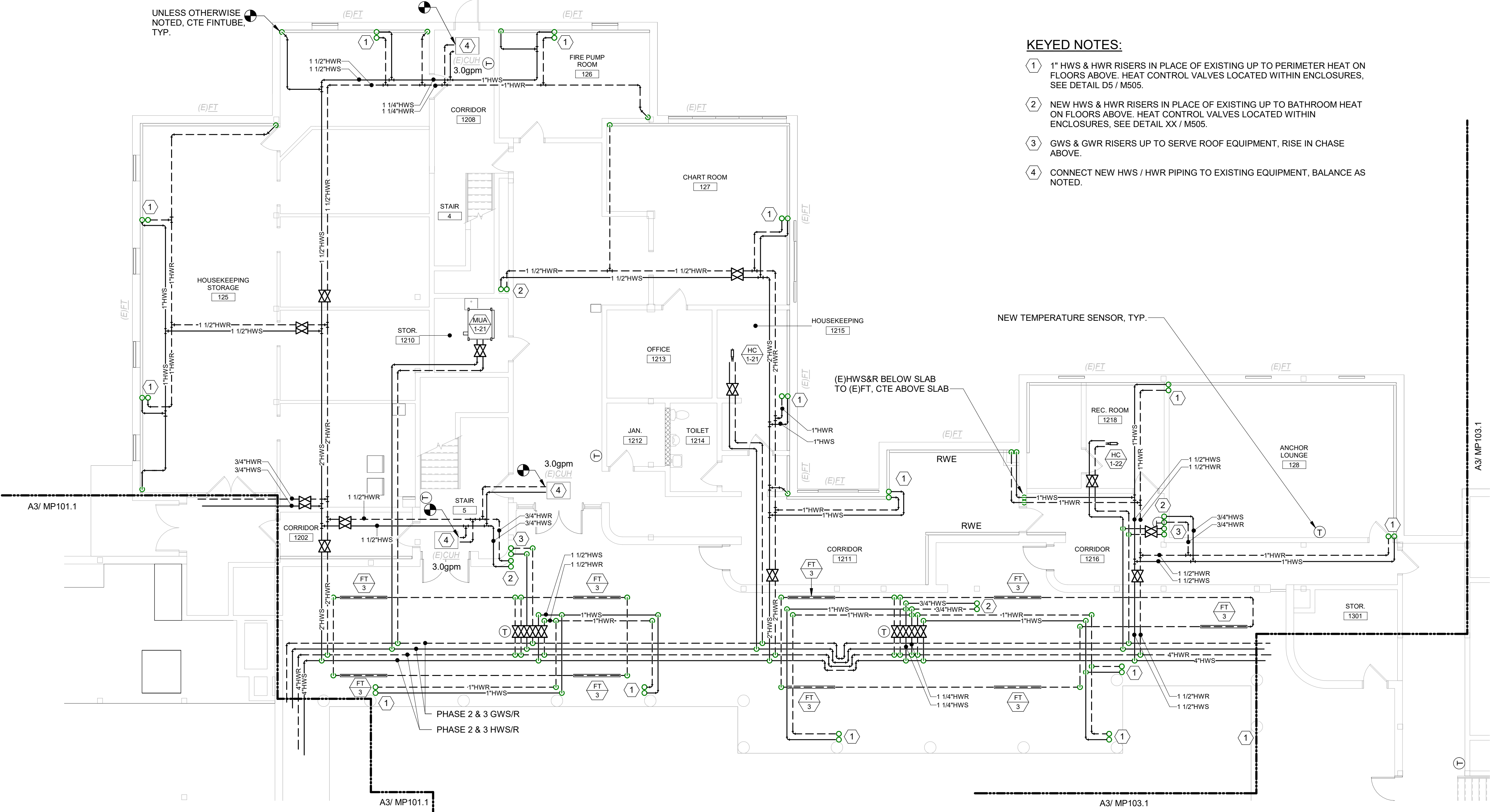


C6 FIRST FLOOR MECHANICAL PIPING DEMOLITION PLAN

1/8" = 1'-0"

KEYED NOTES:

- 1 1" HWS & HWR RISERS IN PLACE OF EXISTING UP TO PERIMETER HEAT ON FLOORS ABOVE. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505.
- 2 NEW HWS & HWR RISERS IN PLACE OF EXISTING UP TO BATHROOM HEAT ON FLOORS ABOVE. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL XX / M505.
- 3 GWS & GWR RISERS UP TO SERVE ROOF EQUIPMENT, RISE IN CHASE ABOVE.
- 4 CONNECT NEW HWS / HWR PIPING TO EXISTING EQUIPMENT. BALANCE AS NOTED.



A6 FIRST FLOOR MECHANICAL PIPING PLAN

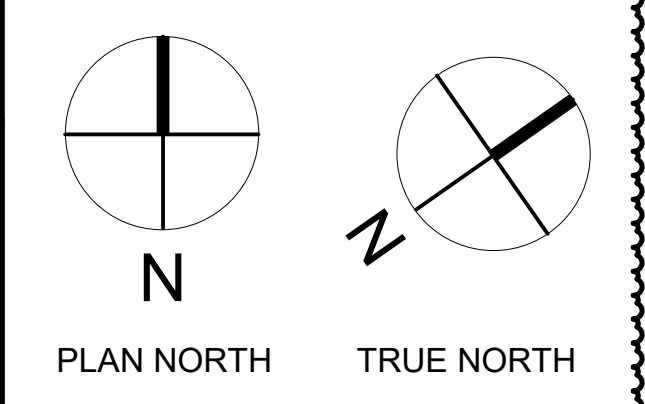
1/8" = 1'-0"

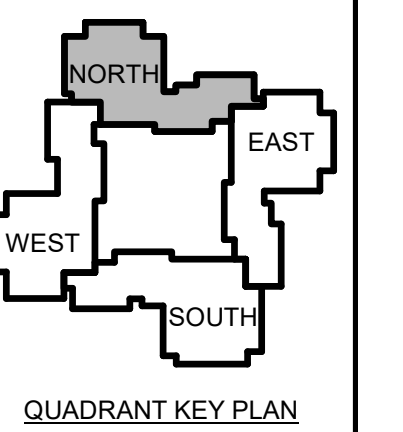
GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| | | |
|---|------|-----------------|
| 1 | 12-5 | Addendum #1 -23 |
|---|------|-----------------|

| No. | Date | Description |
|-------------------|------|-------------|
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

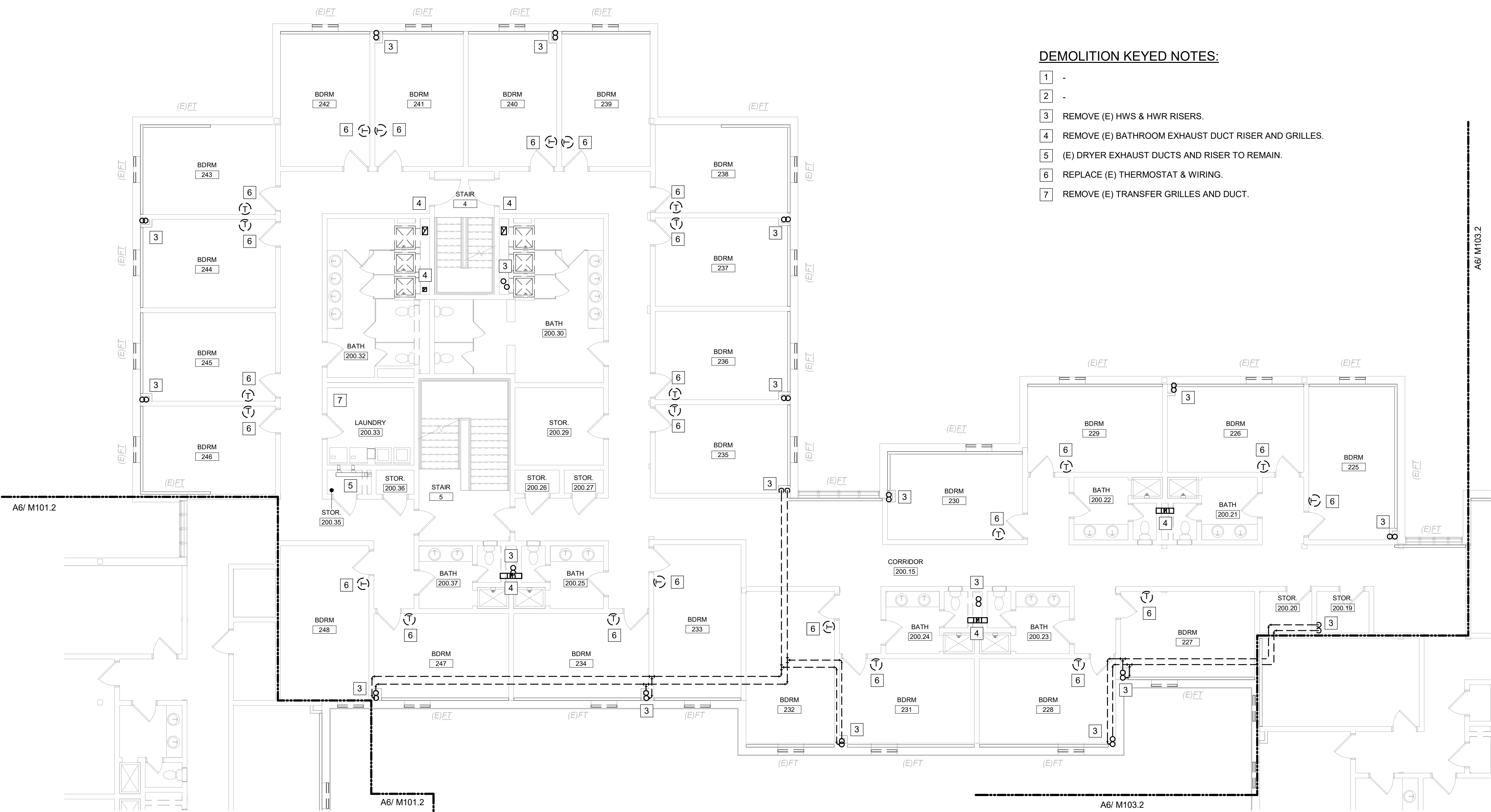
ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 2 SECOND FLOOR MECHANICAL PLANS

SHEET
M102.2

DEMOLITION KEYED NOTES:

- 1 -
- 2 -
- 3 REMOVE (E) HWS & HWR RISERS.
- 4 REMOVE (E) BATHROOM EXHAUST DUCT RISER AND GRILLES.
- 5 (E) DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- 6 REPLACE (E) THERMOSTAT & WIRING.
- 7 REMOVE (E) TRANSFER GRILLES AND DUCT.

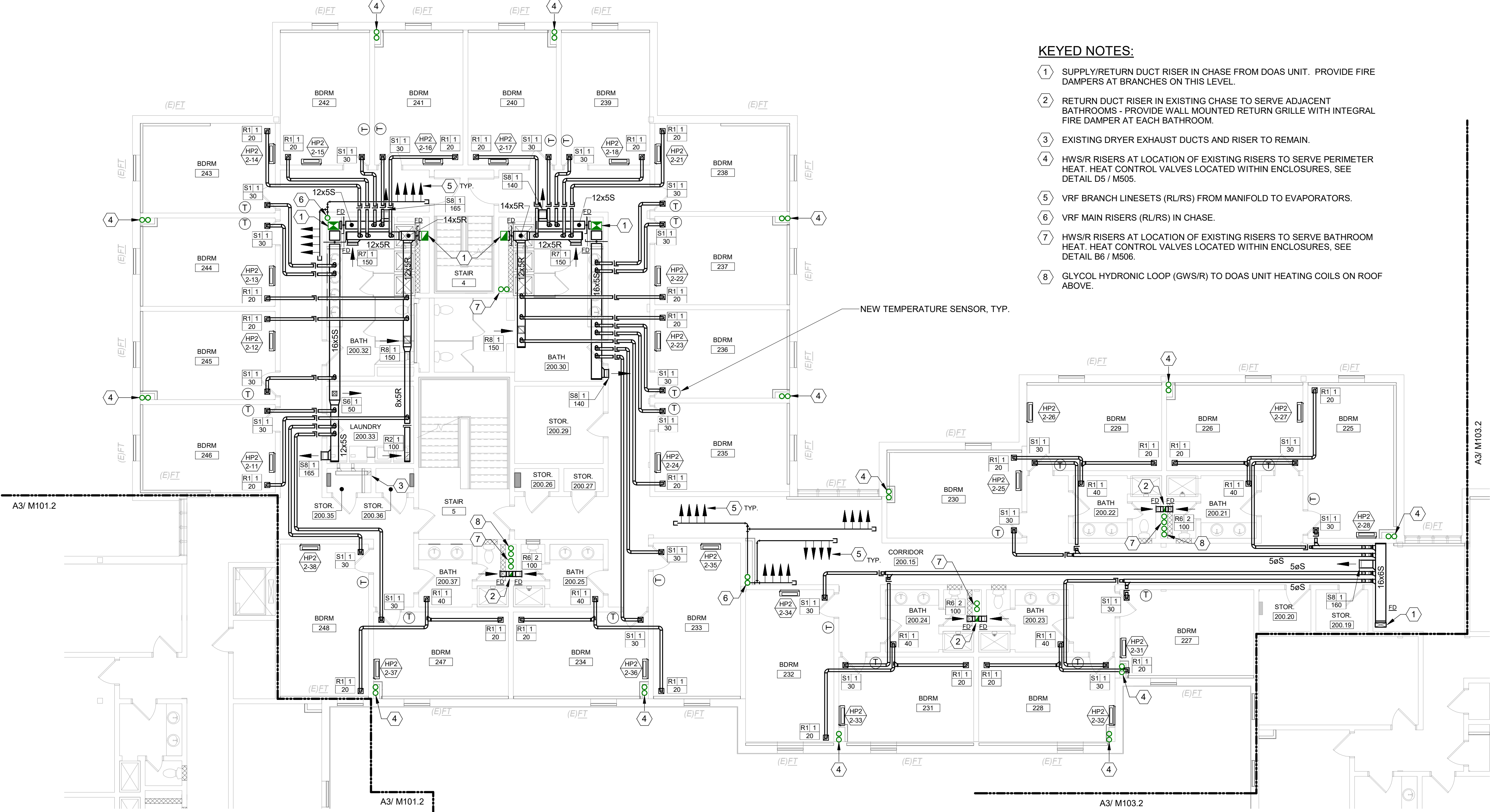


C6 PHASE 2 SECOND FLOOR MECHANICAL DEMOLITION PLAN

1/8" = 1'-0"

KEYED NOTES:

- 1 SUPPLY/RETURN DUCT RISER IN CHASE FROM DOAS UNIT. PROVIDE FIRE DAMPERS AT BRANCHES ON THIS LEVEL.
- 2 RETURN DUCT RISER IN EXISTING CHASE TO SERVE ADJACENT BATHROOMS - PROVIDE WALL MOUNTED RETURN GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
- 3 EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- 4 HWS/R RISERS AT LOCATION OF EXISTING RISERS TO SERVE PERIMETER HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505.
- 5 VRF BRANCH LINESETS (RLRS) FROM MANIFOLD TO EVAPORATORS.
- 6 VRF MAIN RISERS (RLRS) IN CHASE.
- 7 HWS/R RISERS AT LOCATION OF EXISTING RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL B6 / M506.
- 8 GLYCOL HYDRONIC LOOP (GWS/R) TO DOAS UNIT HEATING COILS ON ROOF ABOVE.



A6 PHASE 2 SECOND FLOOR MECHANICAL PLAN

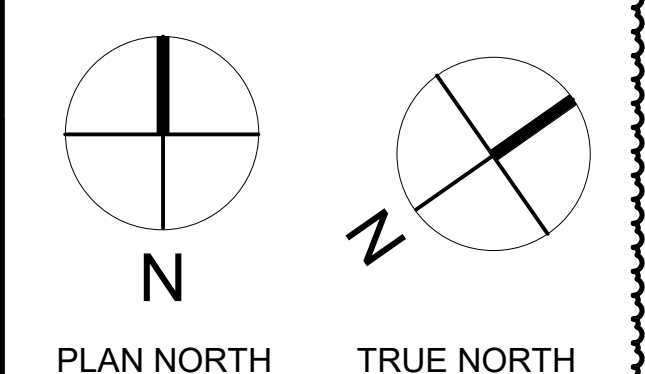
1/8" = 1'-0"

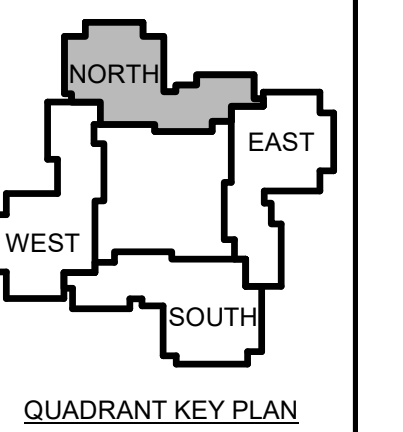
GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

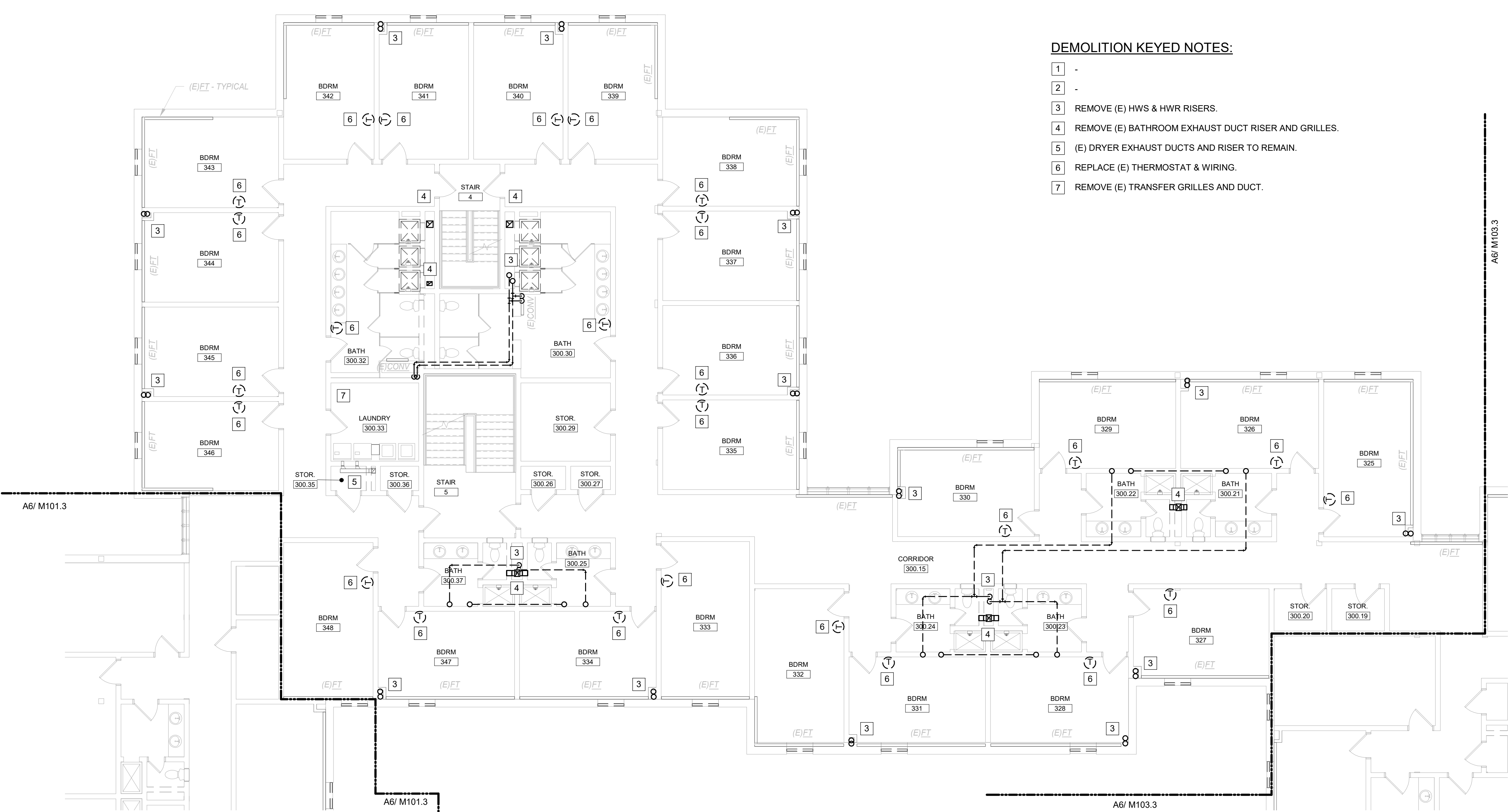
| | |
|---------|--|
| JOB NO. | 076982 |
| ISSUE | 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING |
| | 11/22/2023 |

TITLE
 PHASE 2 THIRD FLOOR MECHANICAL PLANS

SHEET
M102.3

DEMOLITION KEYED NOTES:

- 1 -
- 2 -
- 3 REMOVE (E) HWS & HWR RISERS.
- 4 REMOVE (E) BATHROOM EXHAUST DUCT RISER AND GRILLES.
- 5 (E) DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- 6 REPLACE (E) THERMOSTAT & WIRING.
- 7 REMOVE (E) TRANSFER GRILLES AND DUCT.

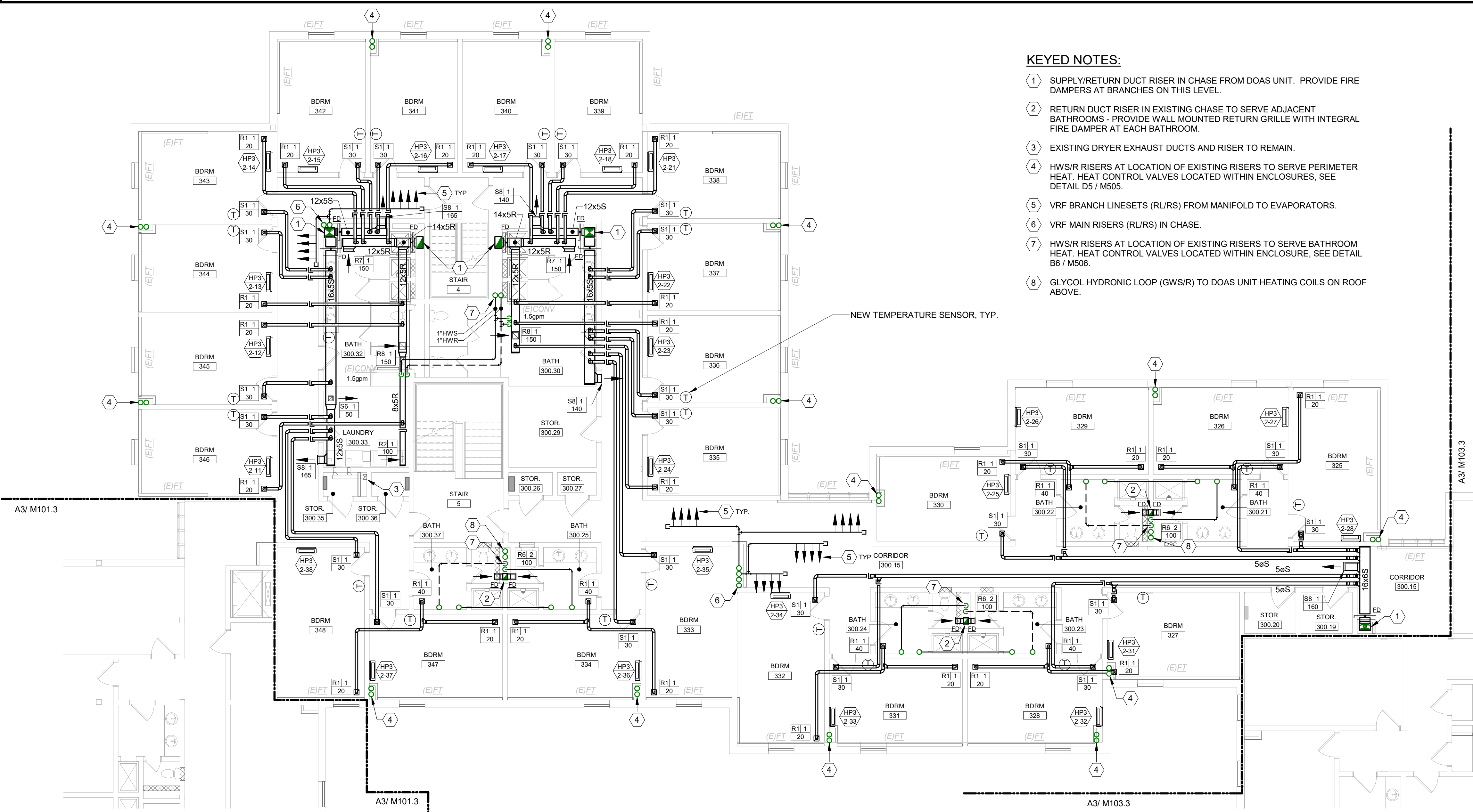


C6 PHASE 2 THIRD FLOOR MECHANICAL DEMOLITION PLAN

1/8" = 1'-0"

KEYED NOTES:

- 1 SUPPLY/RETURN DUCT RISER IN CHASE FROM DOAS UNIT. PROVIDE FIRE DAMPERS AT BRANCHES ON THIS LEVEL.
- 2 RETURN DUCT RISER IN EXISTING CHASE TO SERVE ADJACENT BATHROOMS - PROVIDE WALL MOUNTED RETURN GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
- 3 EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- 4 HWS/R RISERS AT LOCATION OF EXISTING RISERS TO SERVE PERIMETER HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505.
- 5 VRF BRANCH LINESETS (RLRS) FROM MANIFOLD TO EVAPORATORS.
- 6 VRF MAIN RISERS (RLRS) IN CHASE.
- 7 HWS/R RISERS AT LOCATION OF EXISTING RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.
- 8 GLYCOL HYDRONIC LOOP (GWS/R) TO DOAS UNIT HEATING COILS ON ROOF ABOVE.



A6 PHASE 2 THIRD FLOOR MECHANICAL PLAN

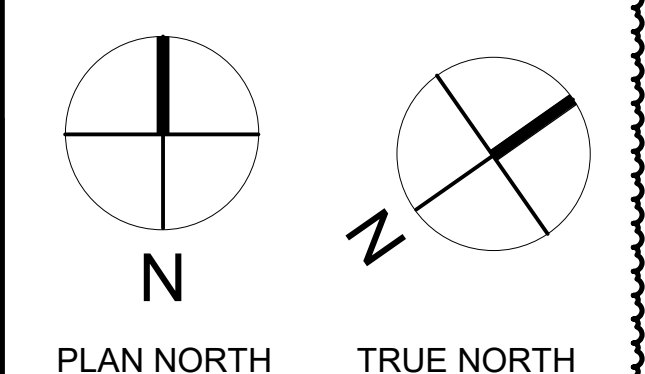
1/8" = 1'-0"

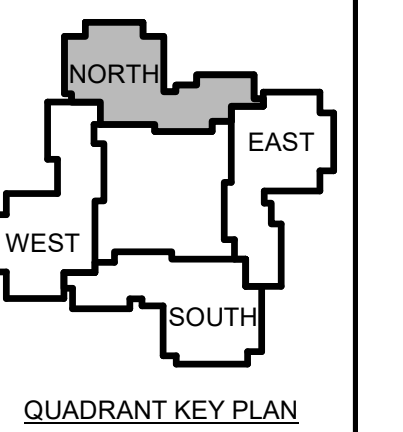
GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| | | |
|---|------|-----------------|
| 1 | 12-5 | Addendum #1 -23 |
|---|------|-----------------|

| No. | Date | Description |
|-------------------|------|-------------|
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

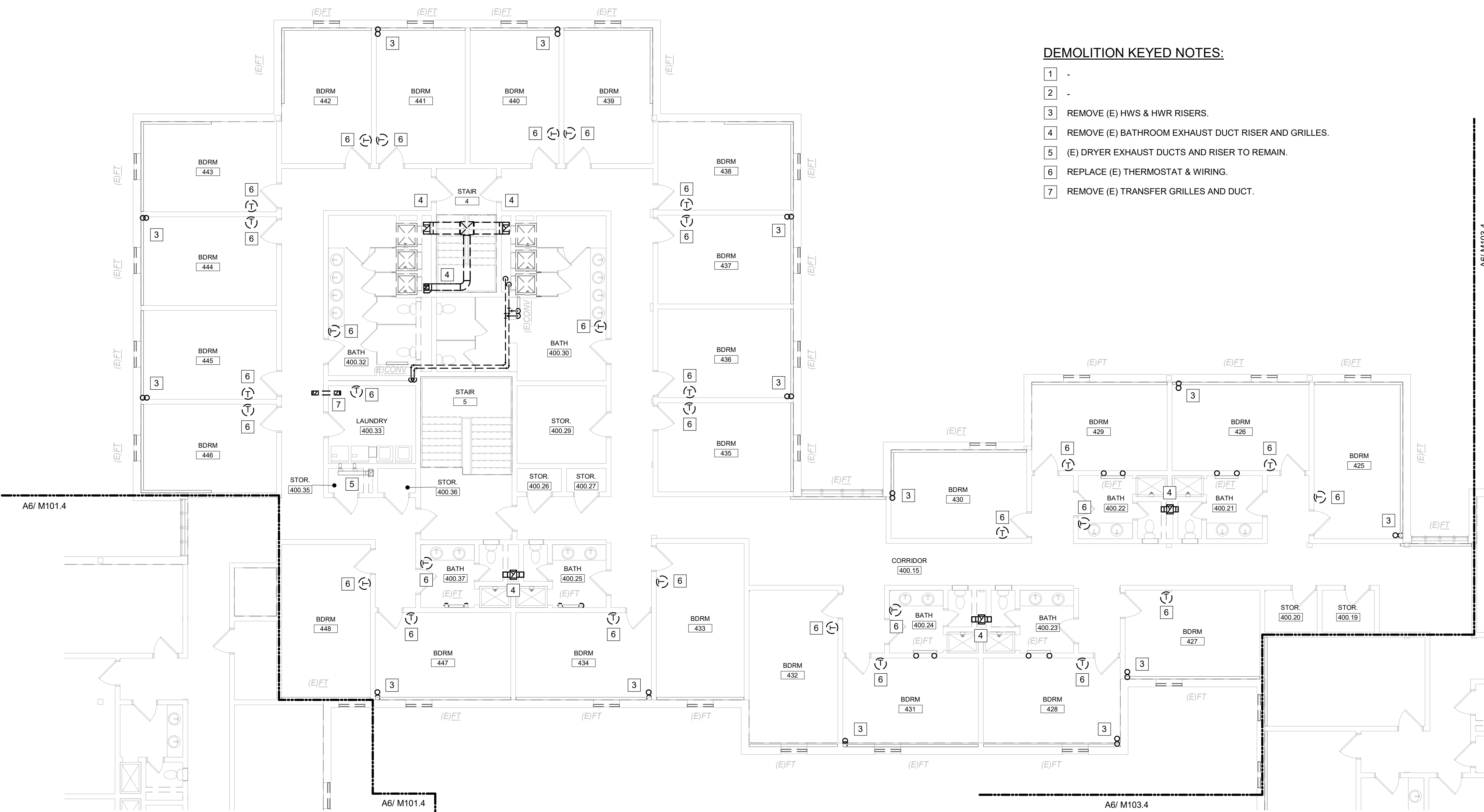
ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 2 FOURTH FLOOR MECHANICAL PLANS

SHEET
M102.4

DEMOLITION KEYED NOTES:

- 1 -
- 2 -
- 3 REMOVE (E) HWS & HWR RISERS.
- 4 REMOVE (E) BATHROOM EXHAUST DUCT RISER AND GRILLES.
- 5 (E) DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- 6 REPLACE (E) THERMOSTAT & WIRING.
- 7 REMOVE (E) TRANSFER GRILLES AND DUCT.



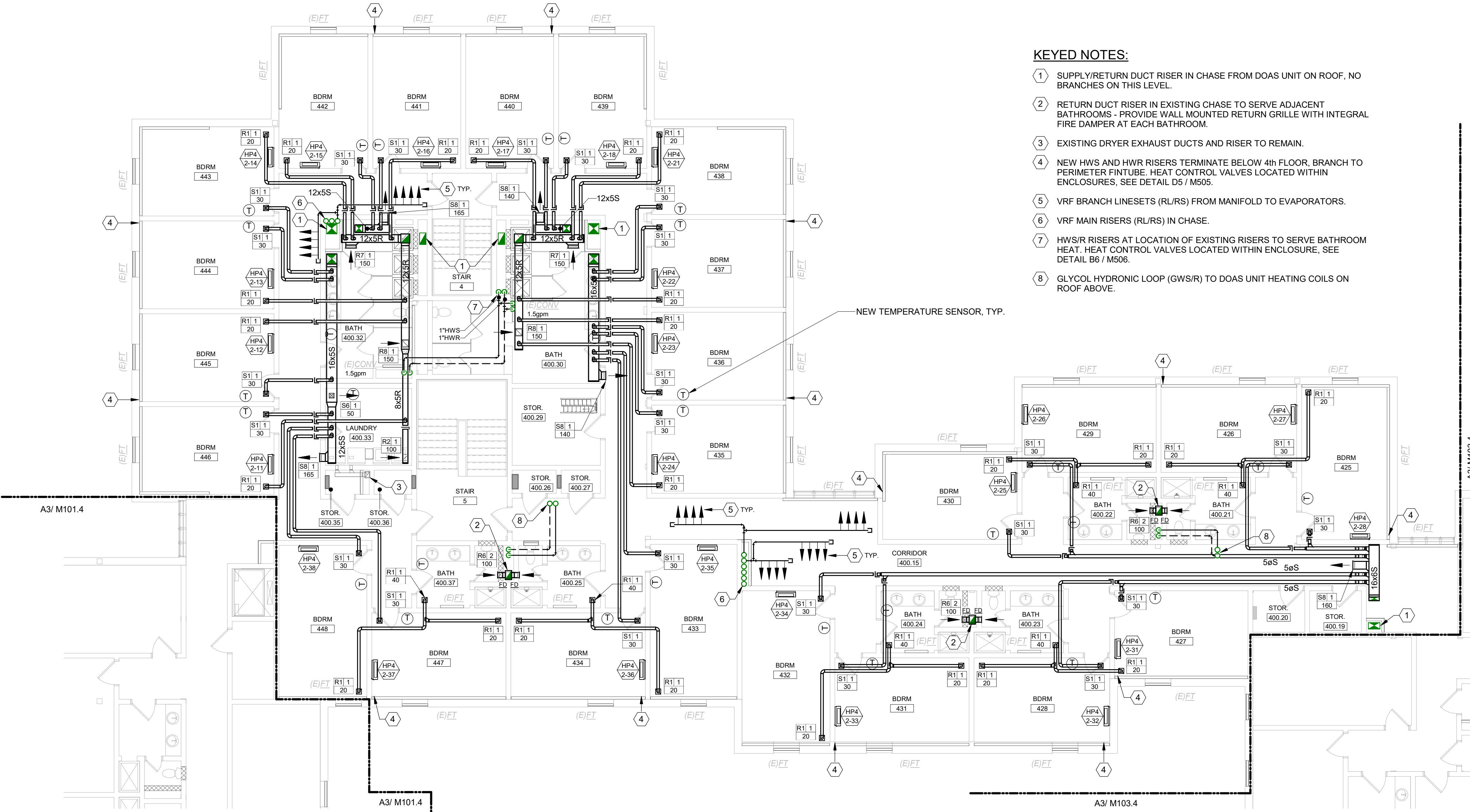
C6 PHASE 2 FOURTH FLOOR MECHANICAL DEMOLITION PLAN

1/8" = 1'-0"

KEYED NOTES:

- 1 SUPPLY/RETURN DUCT RISER IN CHASE FROM DOAS UNIT ON ROOF. NO BRANCHES ON THIS LEVEL.
- 2 RETURN DUCT RISER IN EXISTING CHASE TO SERVE ADJACENT BATHROOMS - PROVIDE WALL MOUNTED RETURN GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
- 3 EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- 4 NEW HWS AND HWR RISERS TERMINATE BELOW 4th FLOOR. BRANCH TO PERIMETER FINITURE. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505.
- 5 VRF BRANCH LINESETS (RLRS) FROM MANIFOLD TO EVAPORATORS.
- 6 VRF MAIN RISERS (RLRS) IN CHASE.
- 7 HWS/R RISERS AT LOCATION OF EXISTING RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.
- 8 GLYCOL HYDRONIC LOOP (GWS/R) TO DOAS UNIT HEATING COILS ON ROOF ABOVE.

NEW TEMPERATURE SENSOR. TYP.



A6 PHASE 2 FOURTH FLOOR MECHANICAL PLAN

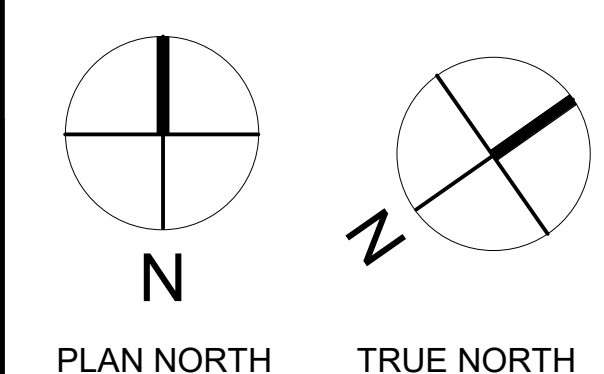
1/8" = 1'-0"

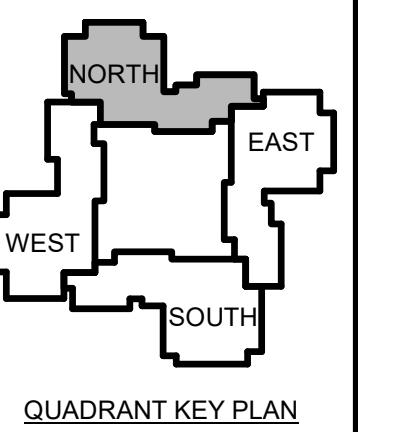
GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

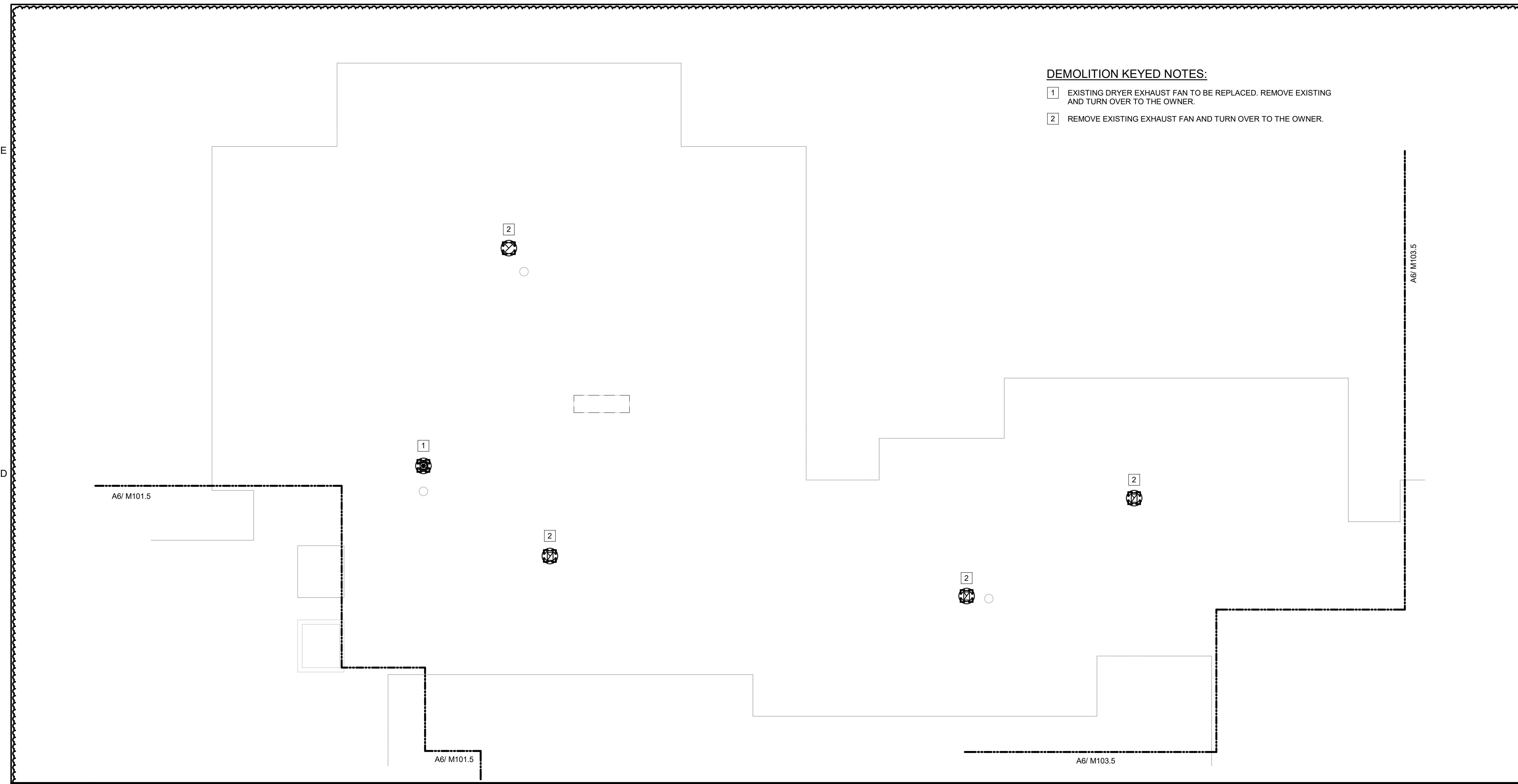
ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 2 ROOF LEVEL MECHANICAL PLANS

SHEET
M102.5

DEMOLITION KEYED NOTES:

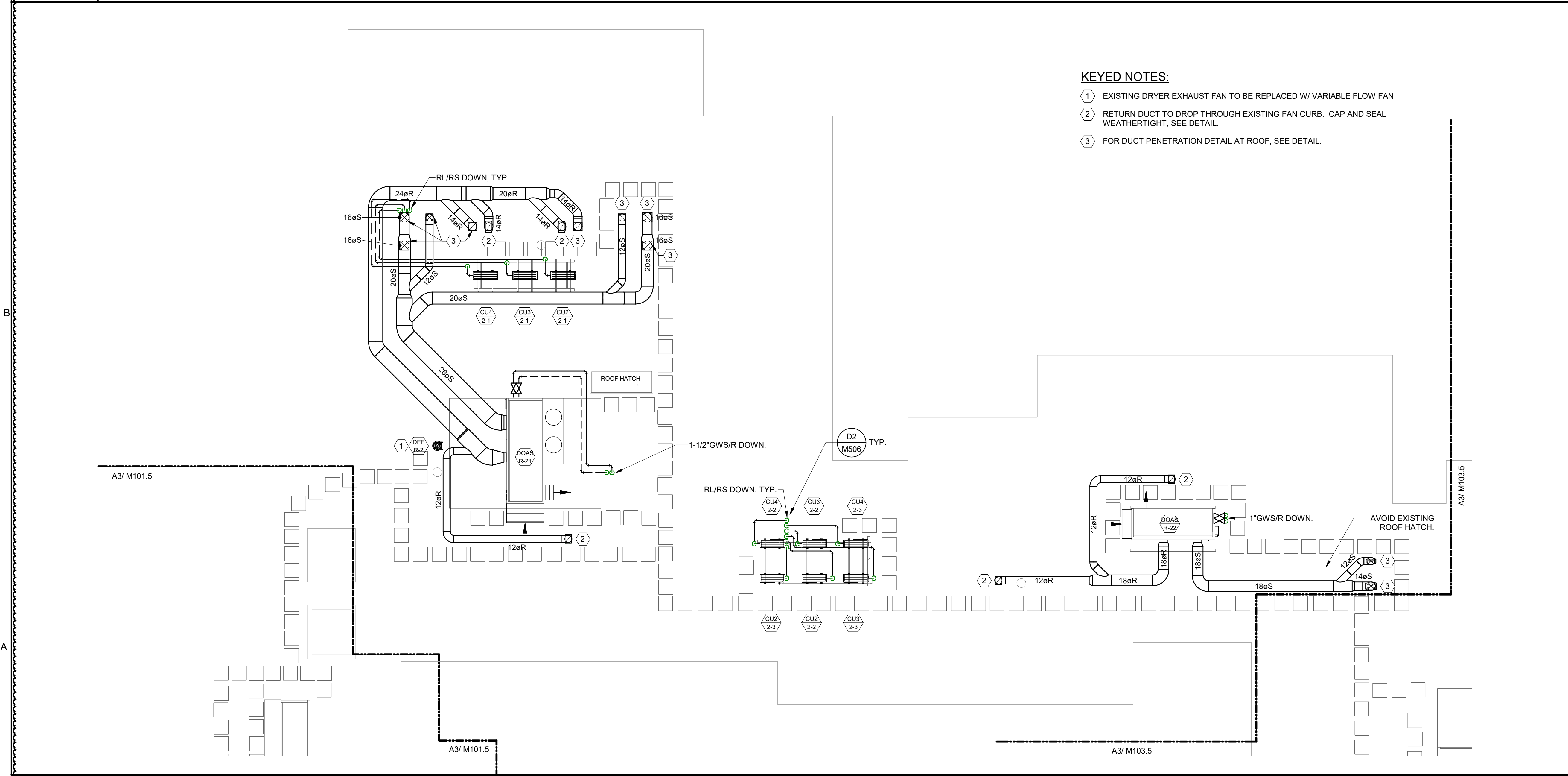
- 1 EXISTING DRYER EXHAUST FAN TO BE REPLACED. REMOVE EXISTING AND TURN OVER TO THE OWNER.
- 2 REMOVE EXISTING EXHAUST FAN AND TURN OVER TO THE OWNER.



C6 PHASE 2 ROOF LEVEL MECHANICAL DEMOLITION PLAN
 1/8" = 1'-0"

KEYED NOTES:

- 1 EXISTING DRYER EXHAUST FAN TO BE REPLACED W/ VARIABLE FLOW FAN
- 2 RETURN DUCT TO DROP THROUGH EXISTING FAN CURB. CAP AND SEAL WEATHERTIGHT, SEE DETAIL.
- 3 FOR DUCT PENETRATION DETAIL AT ROOF, SEE DETAIL.



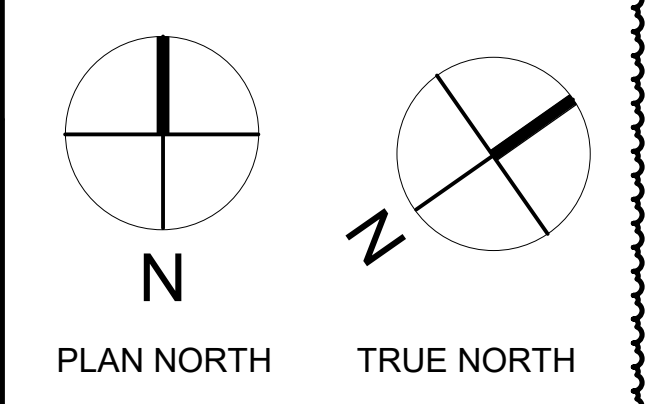
A6 PHASE 2 ROOF LEVEL MECHANICAL PLAN
 1/8" = 1'-0"

GENERAL MECHANICAL NOTE:

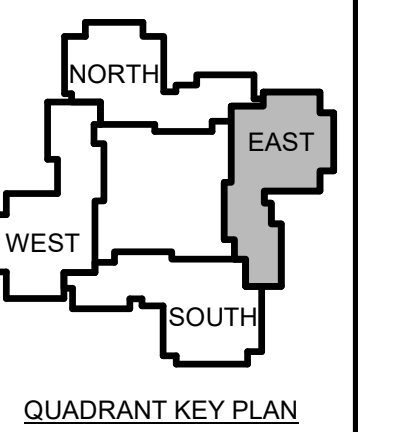
UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

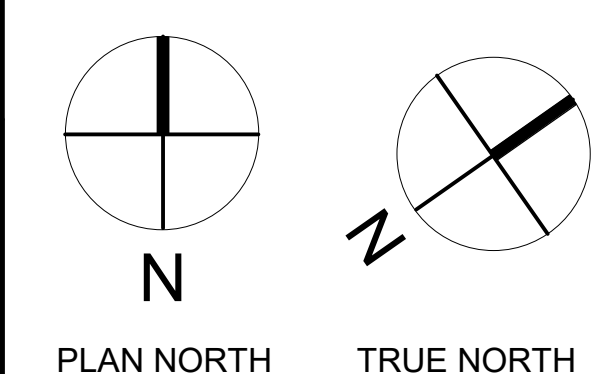
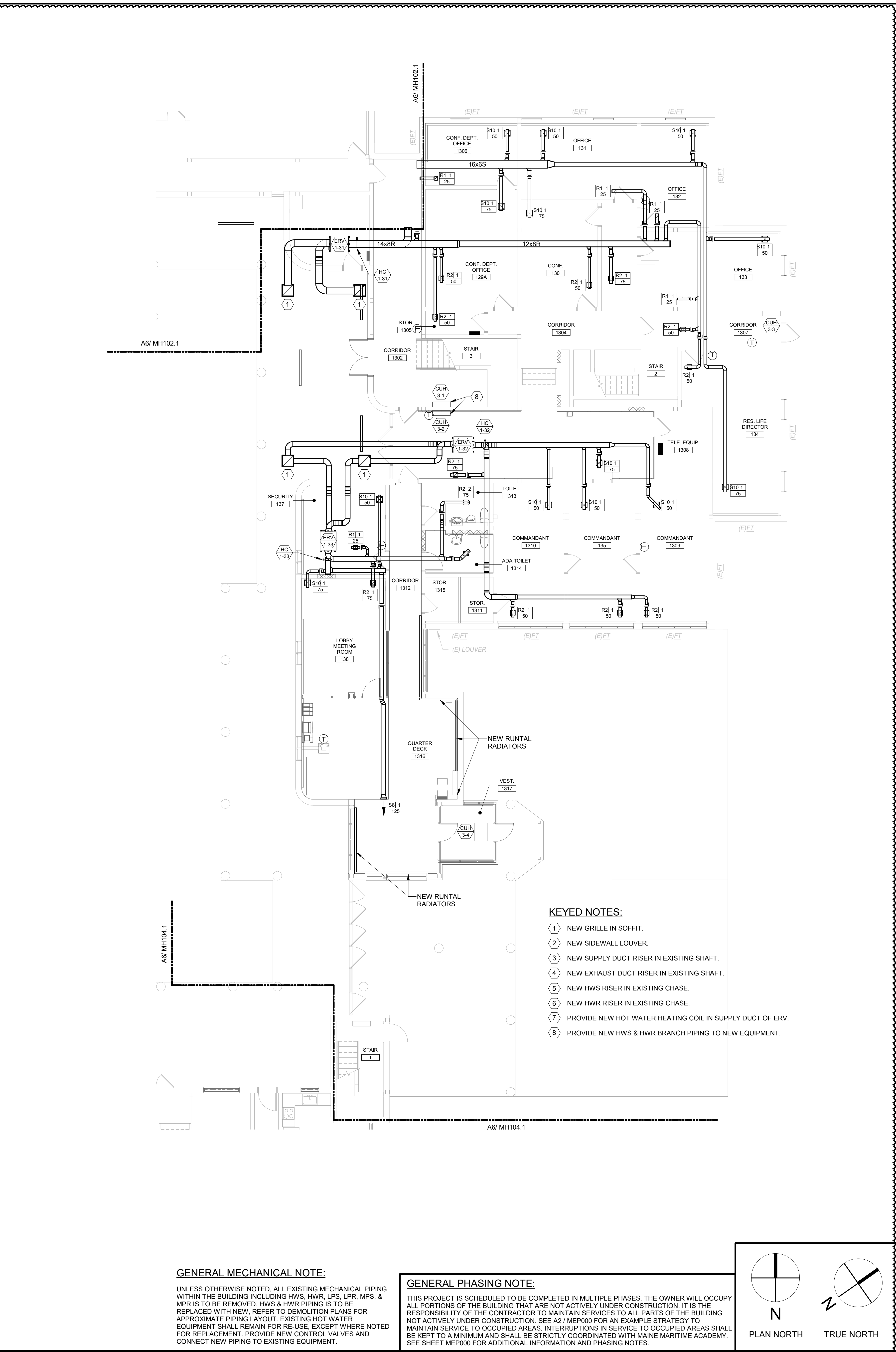
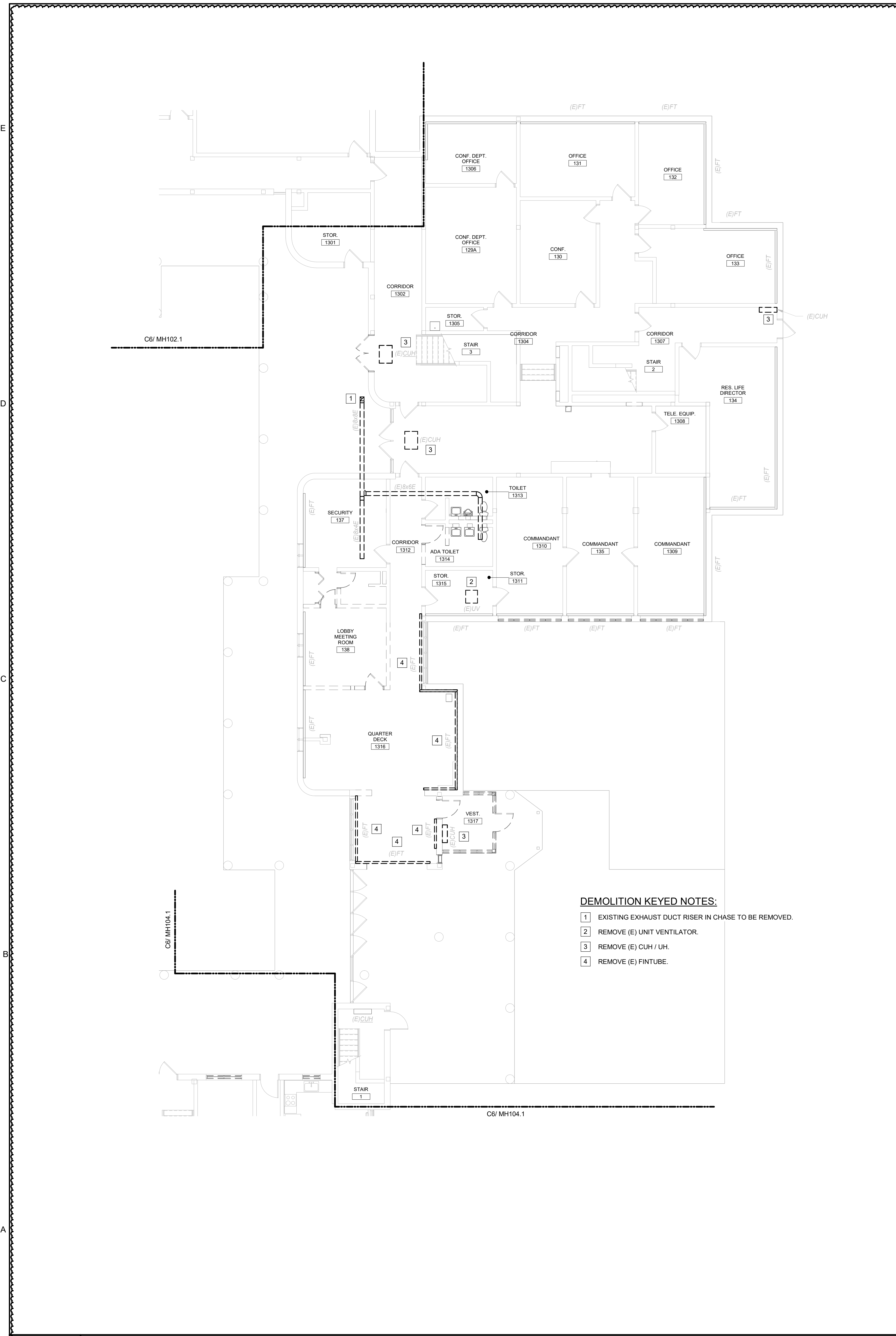
| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

JOB NO.
076982

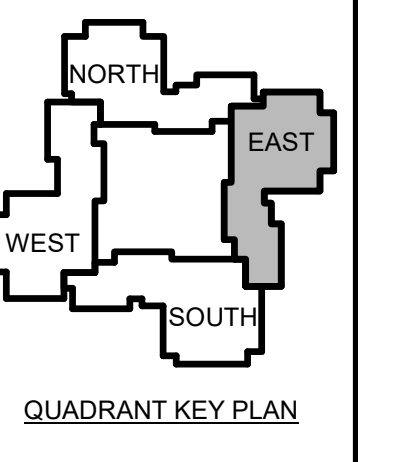
ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
PHASE 3 FIRST
FLOOR MECHANICAL
DUCTWORK PLANS

SHEET
MH103.1



CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|-------------------|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |
| No. | Date | Description |
| Revision Schedule | | |

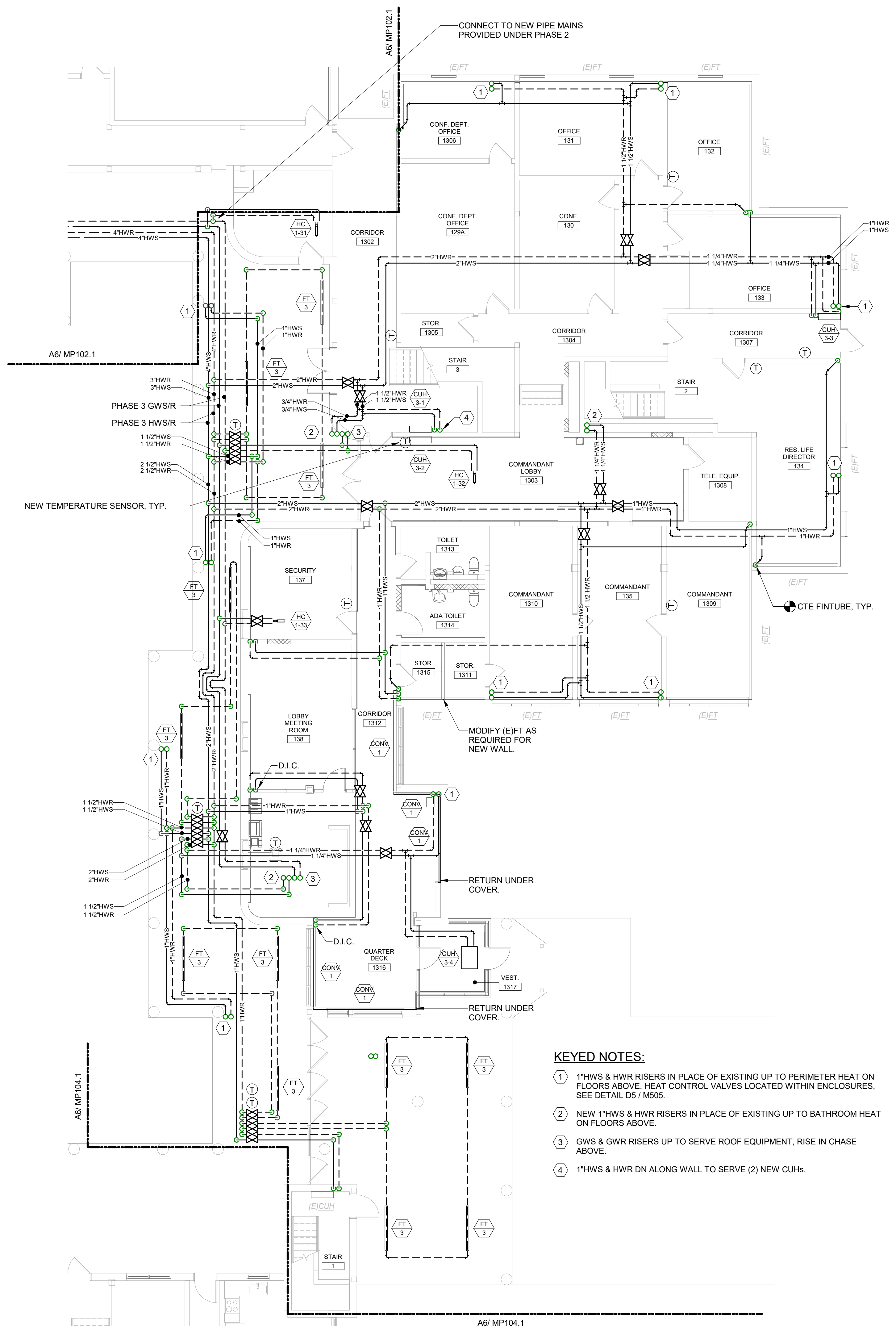
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 3 FIRST FLOOR MECHANICAL PIPING PLANS

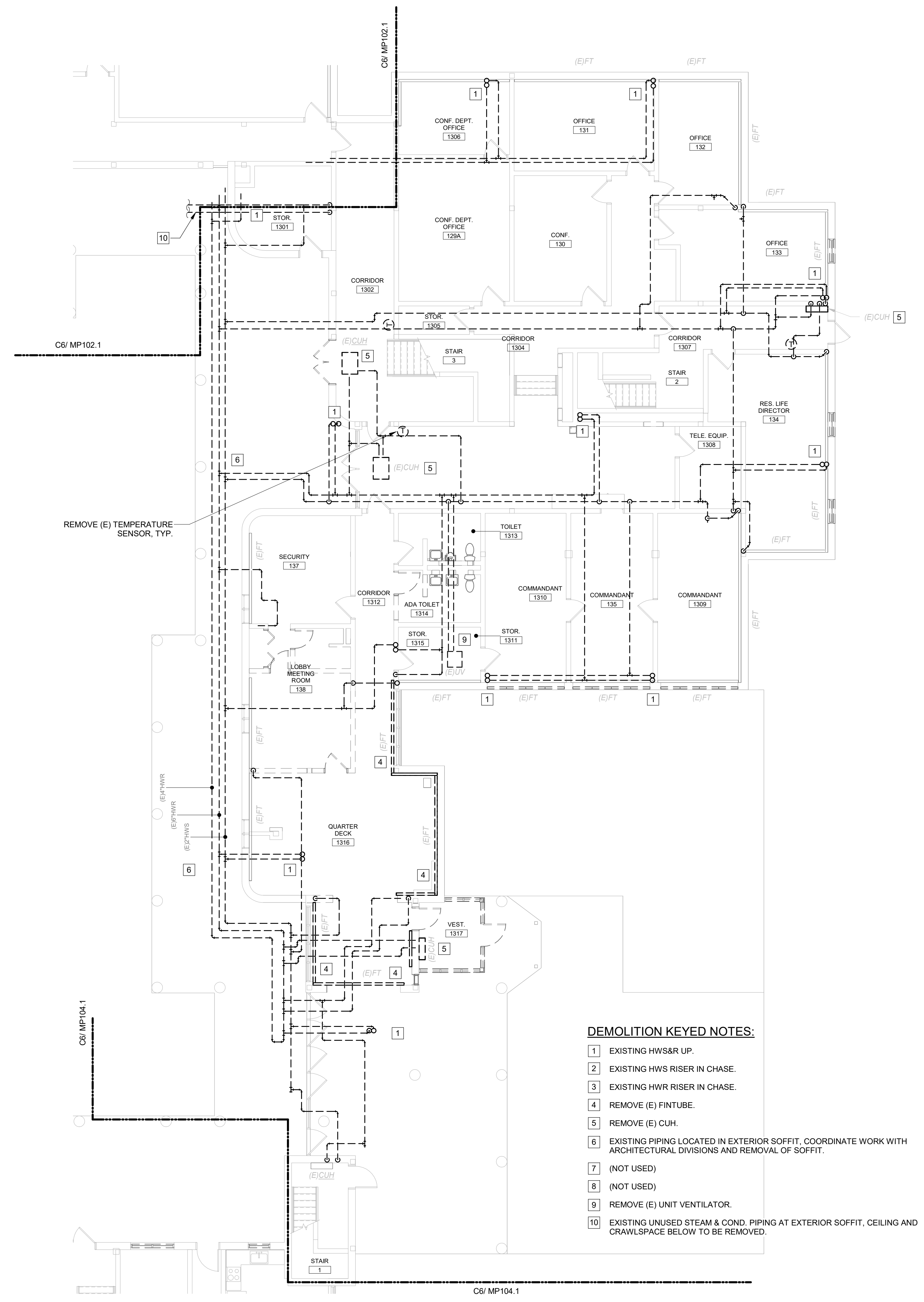
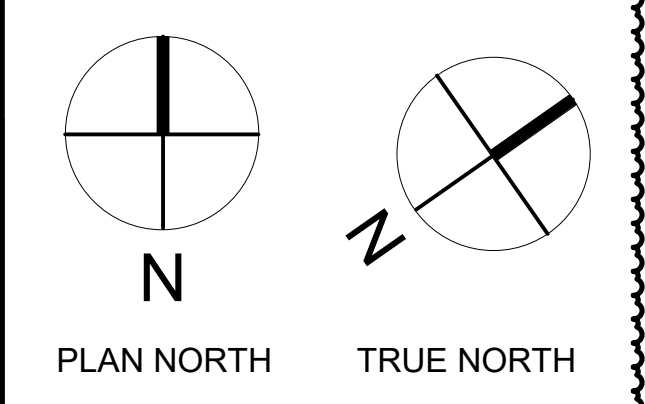
SHEET
MP103.1



- KEYED NOTES:**
- 1" HWS & HWR RISERS IN PLACE OF EXISTING UP TO PERIMETER HEAT ON FLOORS ABOVE. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505.
 - NEW 1" HWS & HWR RISERS IN PLACE OF EXISTING UP TO BATHROOM HEAT ON FLOORS ABOVE.
 - GWS & GWR RISERS UP TO SERVE ROOF EQUIPMENT, RISE IN CHASE ABOVE.
 - 1" HWS & HWR DN ALONG WALL TO SERVE (2) NEW CUHs.

GENERAL MECHANICAL NOTE:
 UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

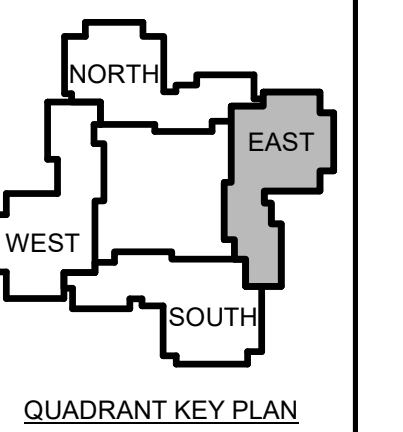


- DEMOLITION KEYED NOTES:**
- 1 EXISTING HWS&R UP.
 - 2 EXISTING HWS RISER IN CHASE.
 - 3 EXISTING HWR RISER IN CHASE.
 - 4 REMOVE (E) FINRTUBE.
 - 5 REMOVE (E) CUH.
 - 6 EXISTING PIPING LOCATED IN EXTERIOR SOFFIT, COORDINATE WORK WITH ARCHITECTURAL DIVISIONS AND REMOVAL OF SOFFIT.
 - 7 (NOT USED)
 - 8 (NOT USED)
 - 9 REMOVE (E) UNIT VENTILATOR.
 - 10 EXISTING UNUSED STEAM & COND. PIPING AT EXTERIOR SOFFIT, CEILING AND CRAWLSPACE BELOW TO BE REMOVED.

A3 FIRST FLOOR MECHANICAL PIPING PLAN
 1/8" = 1'-0"

A6 FIRST FLOOR MECHANICAL PIPING DEMOLITION PLAN
 1/8" = 1'-0"

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

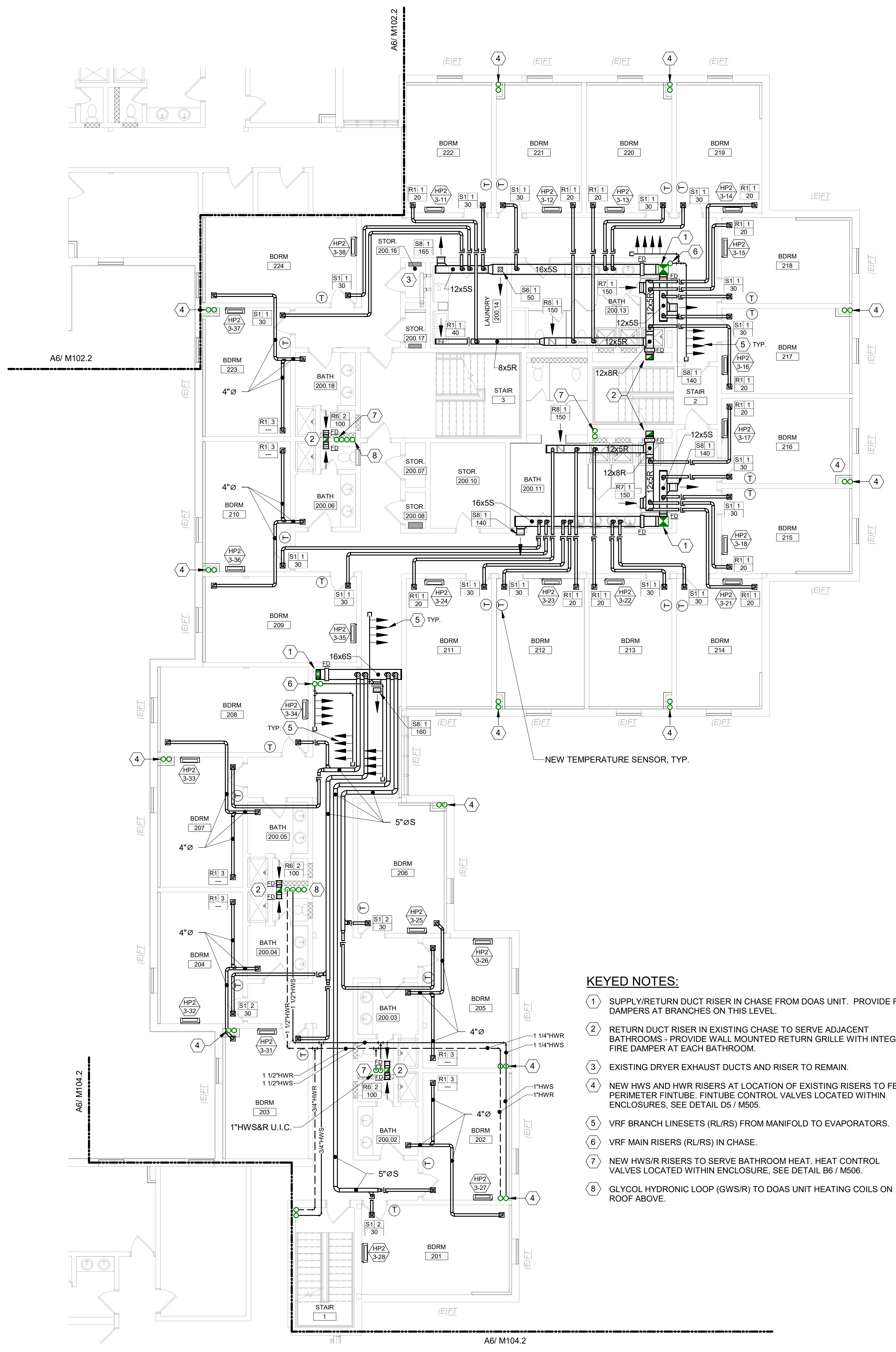
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 3 SECOND FLOOR MECHANICAL PLANS

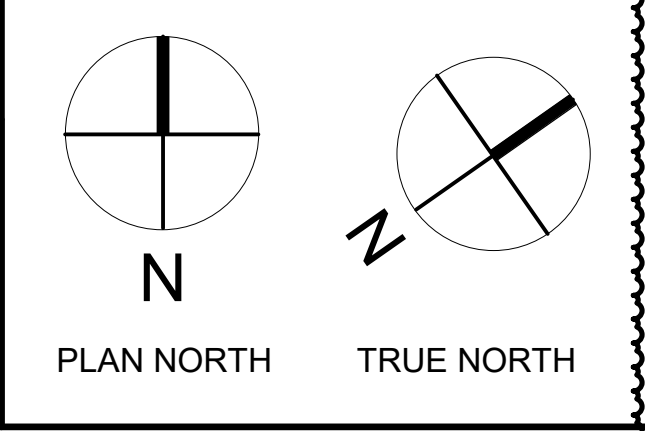
SHEET
M103.2



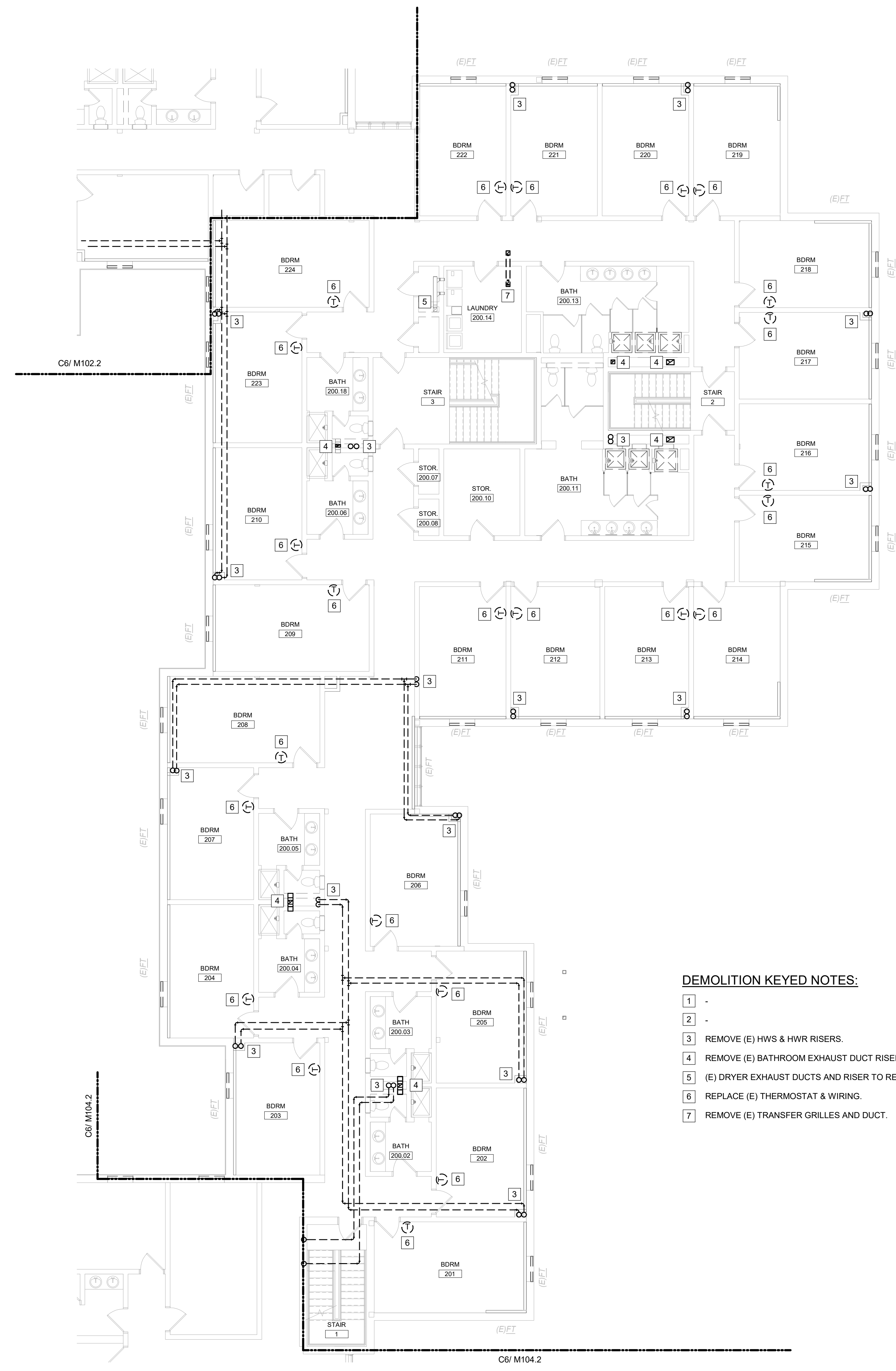
- KEYED NOTES:**
- SUPPLY/RETURN DUCT RISER IN CHASE FROM DOAS UNIT. PROVIDE FIRE DAMPERS AT BRANCHES ON THIS LEVEL.
 - RETURN DUCT RISER IN EXISTING CHASE TO SERVE ADJACENT BATHROOMS - PROVIDE WALL MOUNTED RETURN GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
 - EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.
 - NEW HWS AND HWR RISERS AT LOCATION OF EXISTING RISERS TO FEED PERIMETER FINITUBE. FINITUBE CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL 05 / M505.
 - VRF BRANCH LINESETS (RL/RS) FROM MANIFOLD TO EVAPORATORS.
 - VRF MAIN RISERS (RL/RS) IN CHASE.
 - NEW HWS/R RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.
 - GLYCOL HYDRONIC LOOP (GWS/R) TO DOAS UNIT HEATING COILS ON ROOF ABOVE.

GENERAL MECHANICAL NOTE:
UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

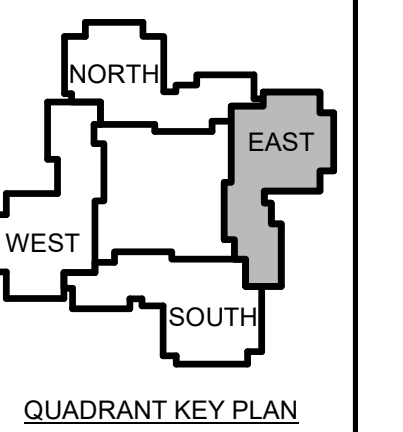
GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



- DEMOLITION KEYED NOTES:**
- -
 - REMOVE (E) HWS & HWR RISERS.
 - REMOVE (E) BATHROOM EXHAUST DUCT RISER AND GRILLES.
 - (E) DRYER EXHAUST DUCTS AND RISER TO REMAIN.
 - REPLACE (E) THERMOSTAT & WIRING.
 - REMOVE (E) TRANSFER GRILLES AND DUCT.



CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

No. Date Description

Revision Schedule

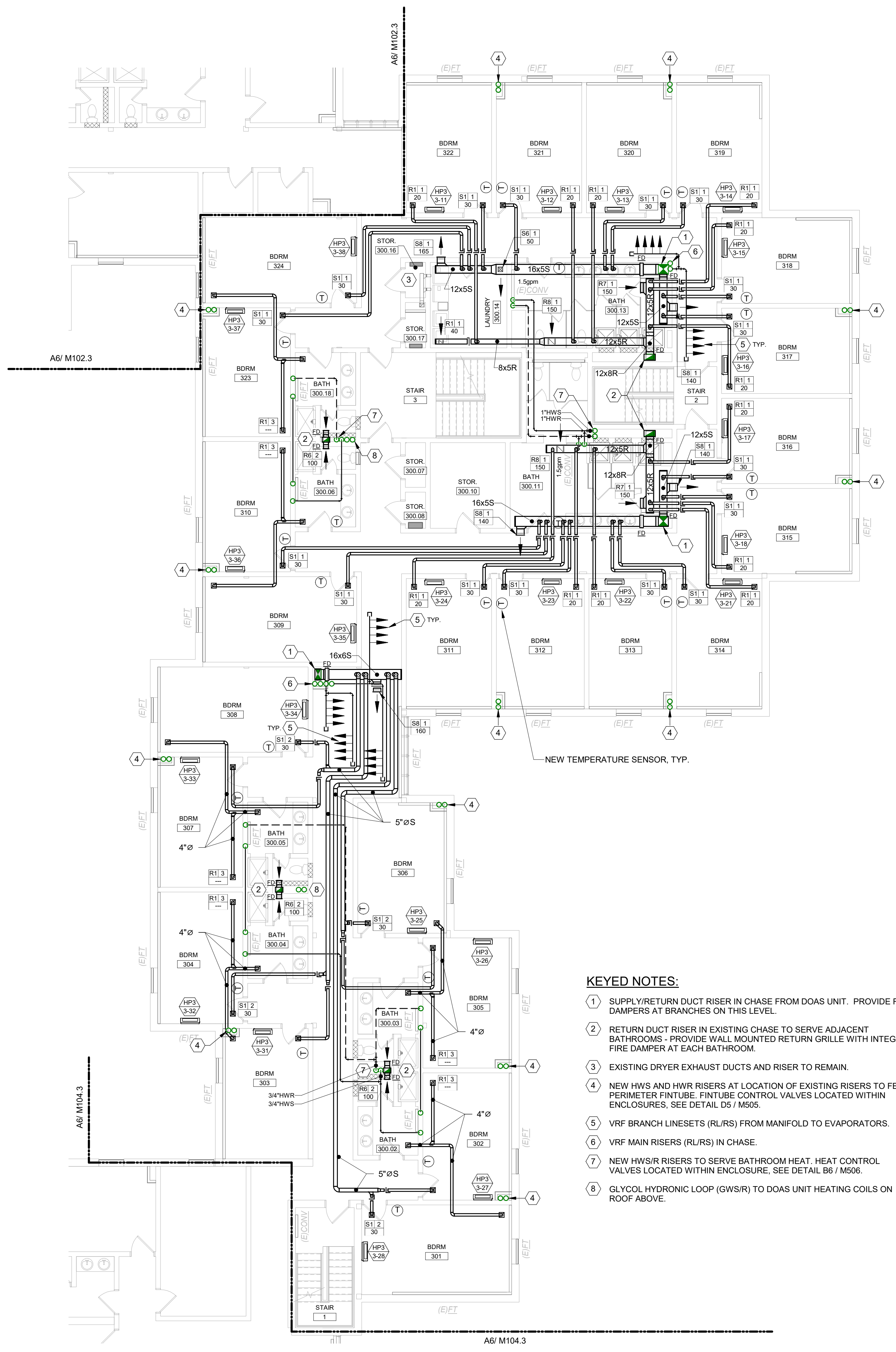
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
PHASE 3 THIRD
FLOOR MECHANICAL
PLANS

SHEET
M103.3



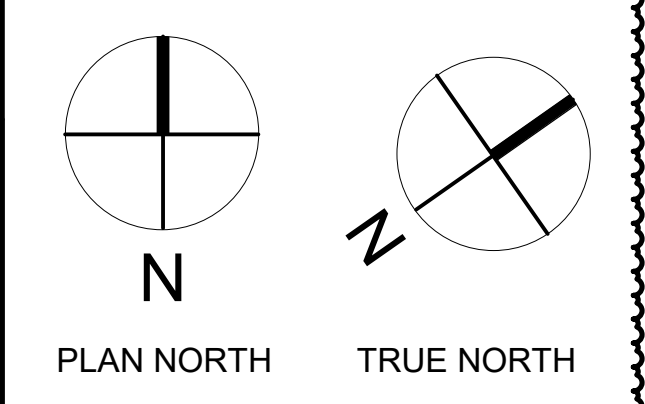
- KEYED NOTES:**
- SUPPLY/RETURN DUCT RISER IN CHASE FROM DOAS UNIT. PROVIDE FIRE DAMPERS AT BRANCHES ON THIS LEVEL.
 - RETURN DUCT RISER IN EXISTING CHASE TO SERVE ADJACENT BATHROOMS - PROVIDE WALL MOUNTED RETURN GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
 - EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.
 - NEW HWS AND HWR RISERS AT LOCATION OF EXISTING RISERS TO FEED PERIMETER FINITUBE. FINITUBE CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL 05 / M505.
 - VRF BRANCH LINESETS (RL/RS) FROM MANIFOLD TO EVAPORATORS.
 - VRF MAIN RISERS (RL/RS) IN CHASE.
 - NEW HWS/R RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.
 - GLYCOL HYDRONIC LOOP (GWS/R) TO DOAS UNIT HEATING COILS ON ROOF ABOVE.

GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

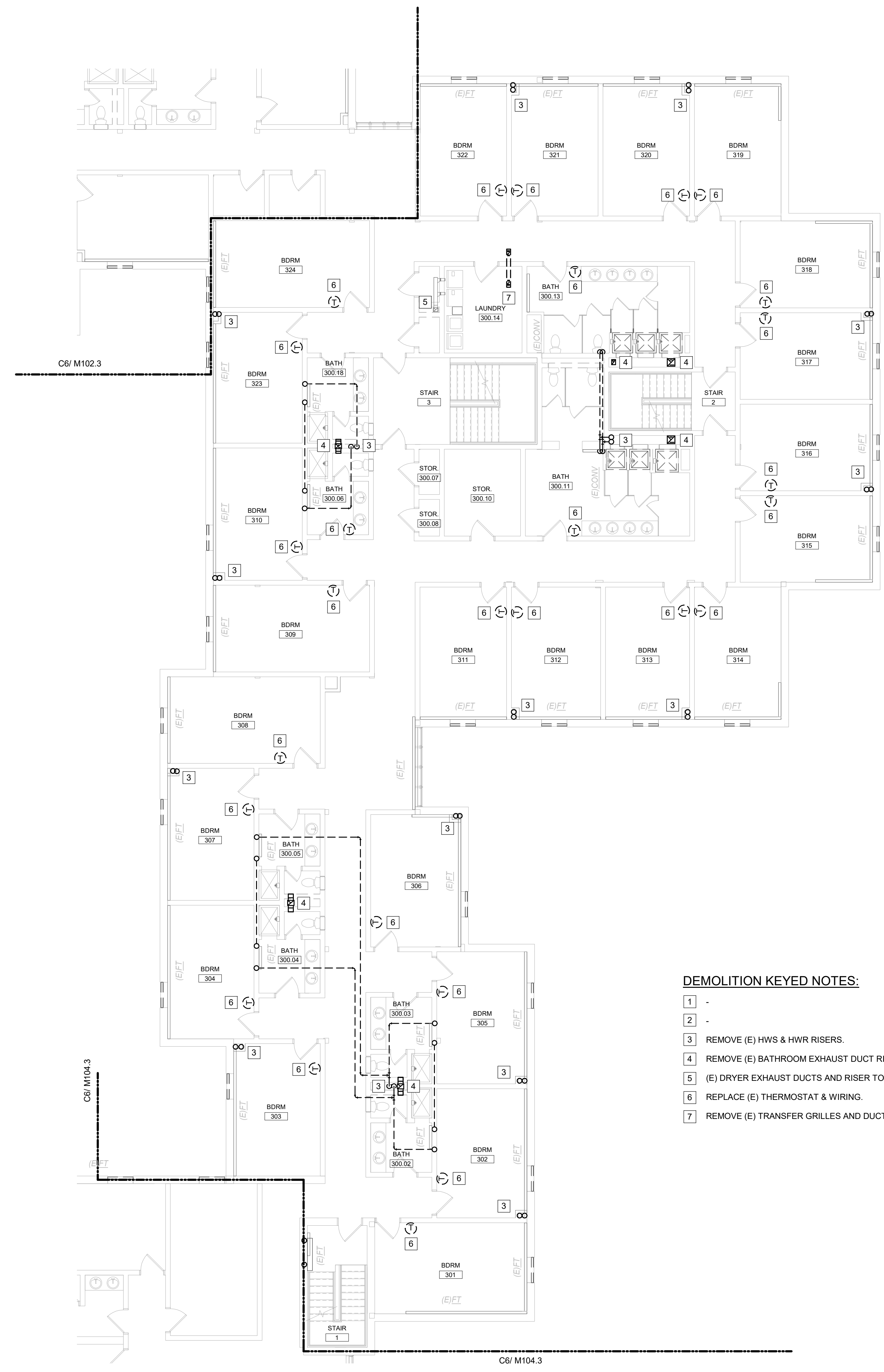
GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

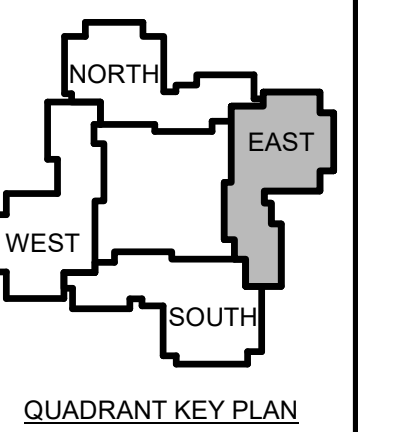


DEMOLITION KEYED NOTES:

-
-
- REMOVE (E) HWS & HWR RISERS.
- REMOVE (E) BATHROOM EXHAUST DUCT RISER AND GRILLES.
- (E) DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- REPLACE (E) THERMOSTAT & WIRING.
- REMOVE (E) TRANSFER GRILLES AND DUCT.



CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

No. Date Description

Revision Schedule

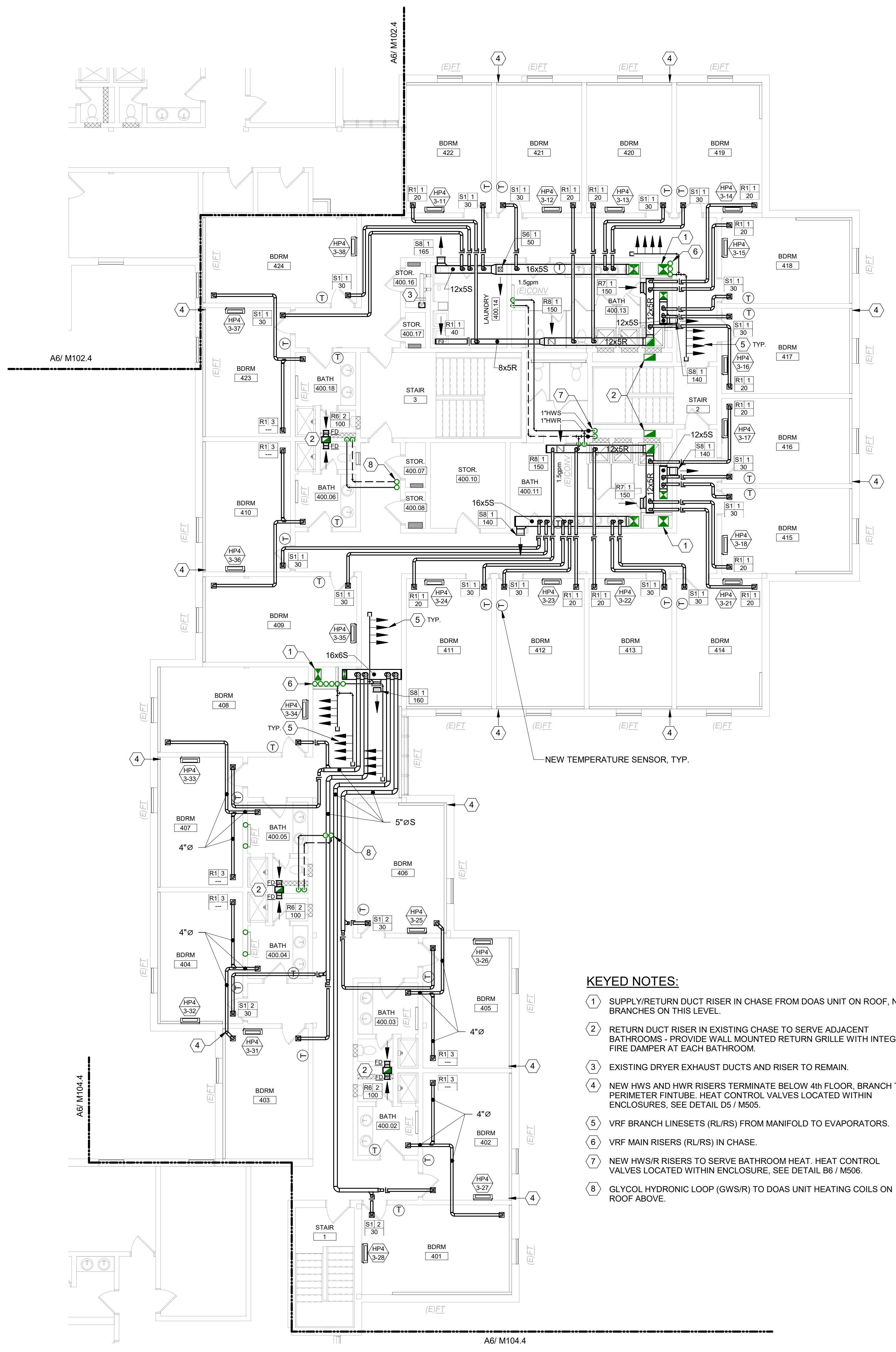
NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 3 FOURTH FLOOR MECHANICAL PLANS

SHEET
M103.4



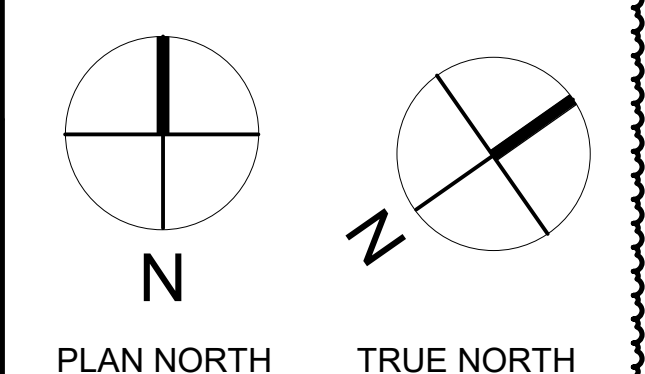
- KEYED NOTES:**
- SUPPLY/RETURN DUCT RISER IN CHASE FROM DOAS UNIT ON ROOF. NO BRANCHES ON THIS LEVEL.
 - RETURN DUCT RISER IN EXISTING CHASE TO SERVE ADJACENT BATHROOMS - PROVIDE WALL MOUNTED RETURN GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
 - EXISTING DRYER EXHAUST DUCTS AND RISER TO REMAIN.
 - NEW HWS AND HWR RISERS TERMINATE BELOW 4th FLOOR, BRANCH TO PERIMETER FINITUBE. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL 05 / M505.
 - VRF BRANCH LINESETS (RL/RS) FROM MANIFOLD TO EVAPORATORS.
 - VRF MAIN RISERS (RL/RS) IN CHASE.
 - NEW HWS/R RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.
 - GLYCOL HYDRONIC LOOP (GWS/R) TO DOAS UNIT HEATING COILS ON ROOF ABOVE.

GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

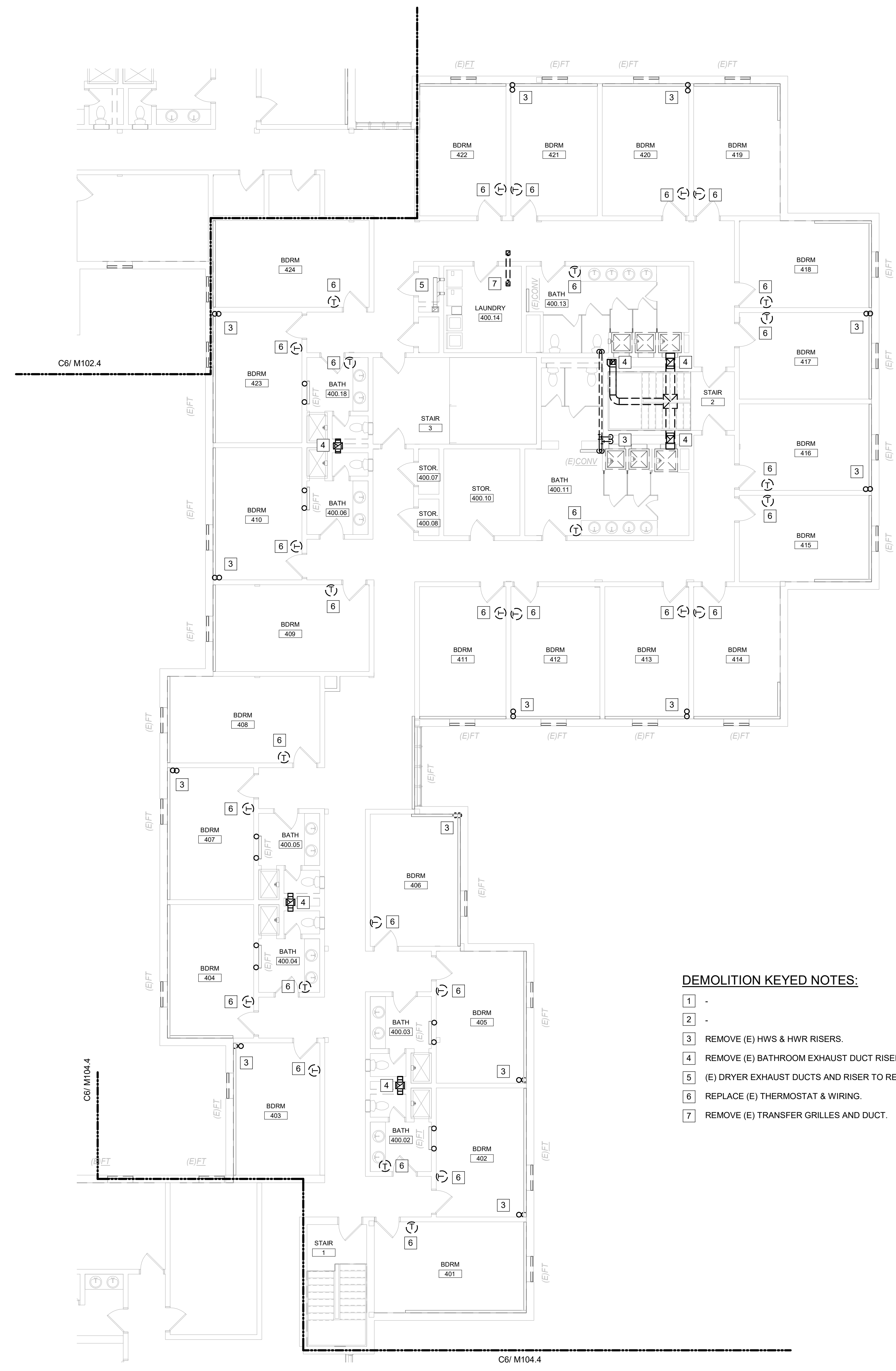
GENERAL PHASING NOTE:

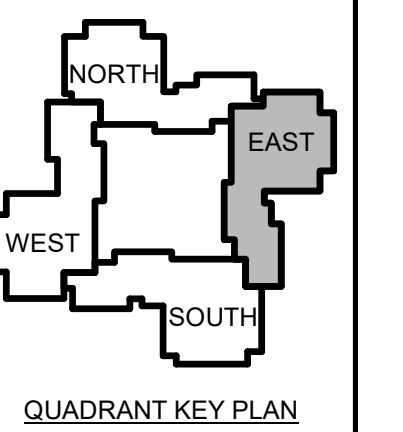
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



DEMOLITION KEYED NOTES:

-
-
- REMOVE (E) HWS & HWR RISERS.
- REMOVE (E) BATHROOM EXHAUST DUCT RISER AND GRILLES.
- (E) DRYER EXHAUST DUCTS AND RISER TO REMAIN.
- REPLACE (E) THERMOSTAT & WIRING.
- REMOVE (E) TRANSFER GRILLES AND DUCT.





| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| -23 | | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 3 ROOF
 LEVEL MECHANICAL
 PLANS

SHEET
M103.5

KEYED NOTES:

- ① EXISTING DRYER EXHAUST FAN TO BE REPLACED W/ VARIABLE FLOW FAN.
- ② RETURN DUCT TO DROP THROUGH EXISTING FAN CURB. CAP AND SEAL WEATHERTIGHT, SEE DETAIL.
- ③ FOR DUCT PENETRATION DETAIL AT ROOF, SEE DETAIL.

DEMOLITION KEYED NOTES:

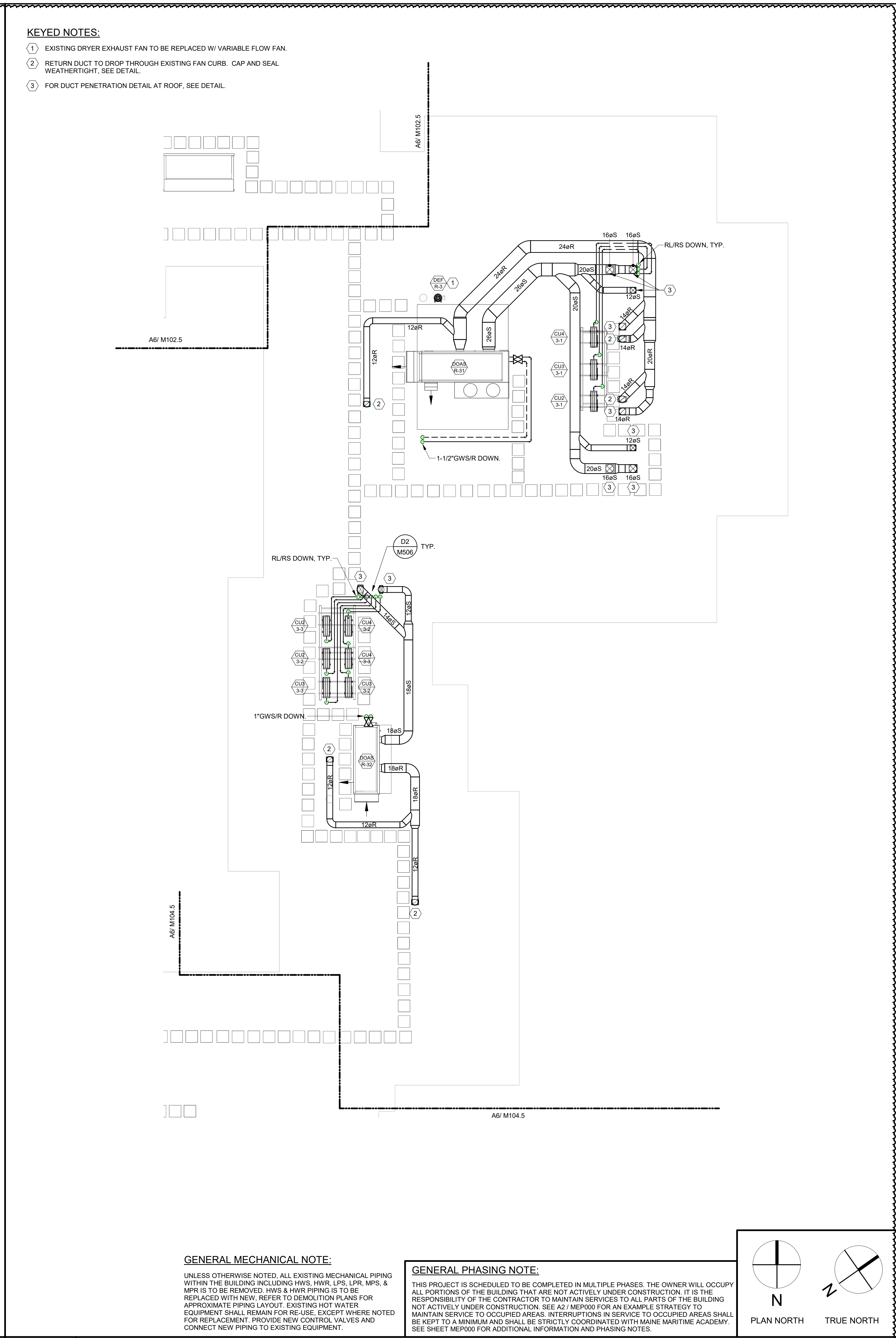
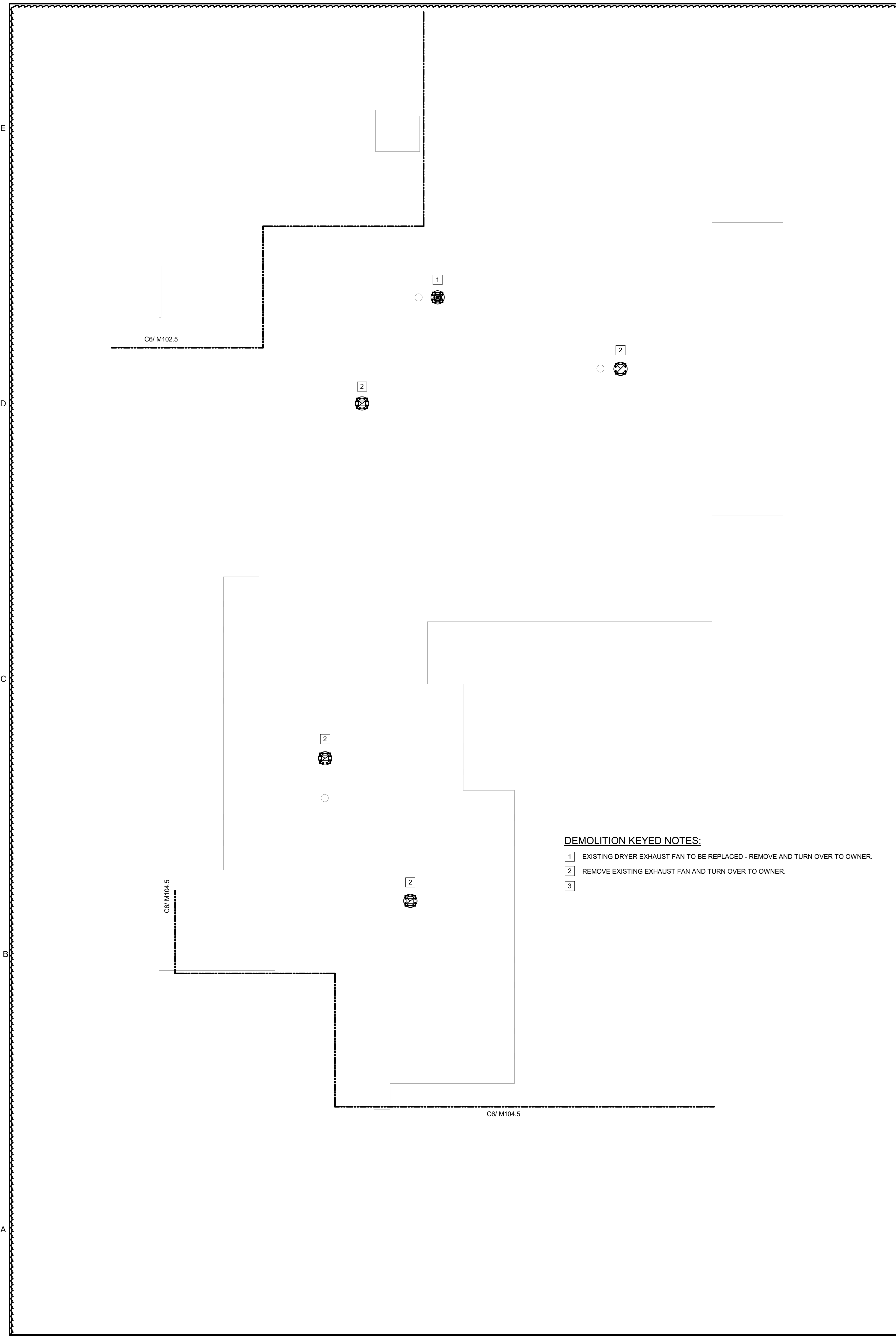
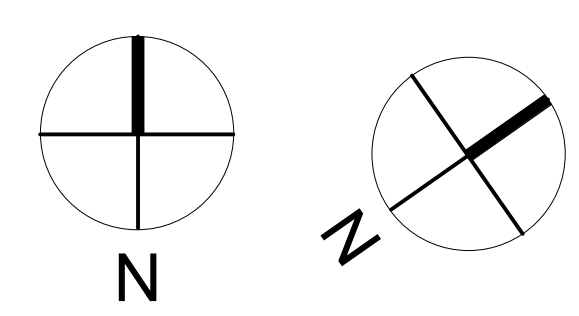
- ① EXISTING DRYER EXHAUST FAN TO BE REPLACED - REMOVE AND TURN OVER TO OWNER.
- ② REMOVE EXISTING EXHAUST FAN AND TURN OVER TO OWNER.
- ③

GENERAL MECHANICAL NOTE:

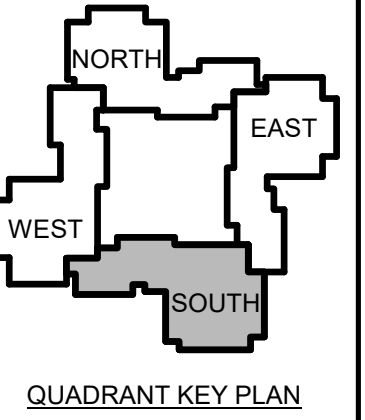
UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW, REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



1 12-5 Addendum #1
 -23

| No. | Date | Description |
|-----|------|-----------------|
| 1 | 12-5 | Addendum #1 -23 |

Revision Schedule

NOT FOR
 CONSTRUCTION

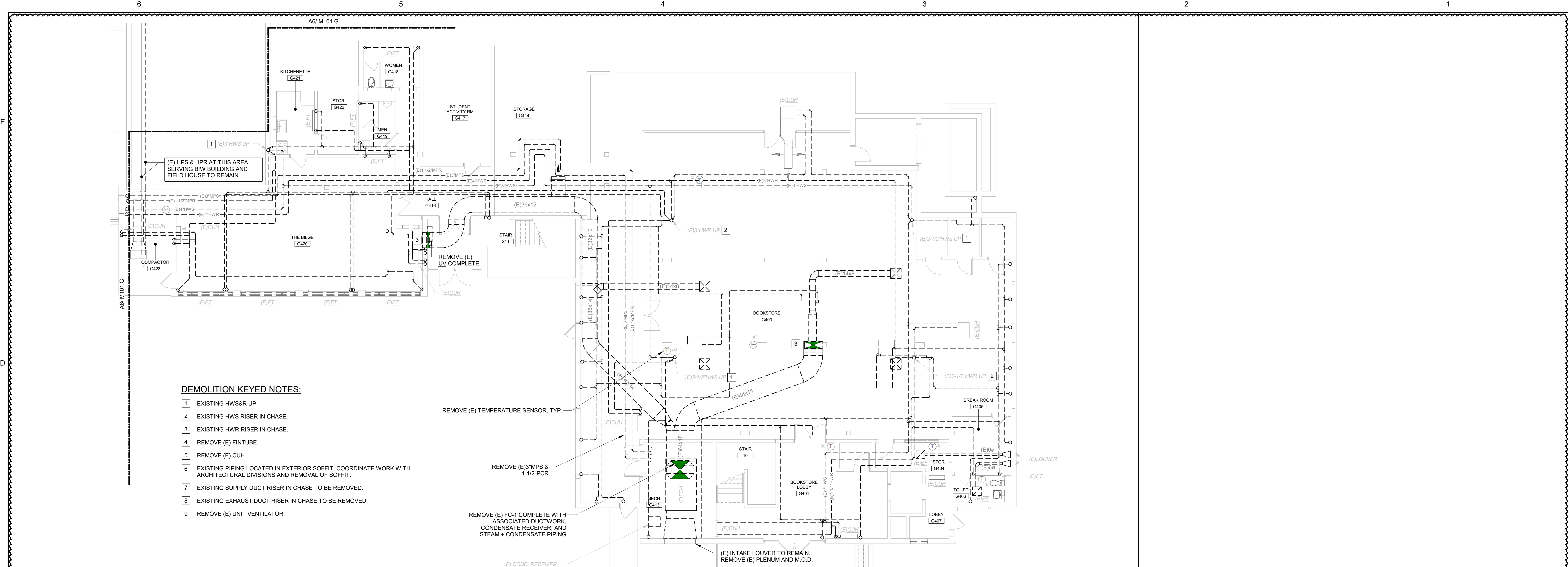
JOB NO.
 076982

ISSUE
 100% CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

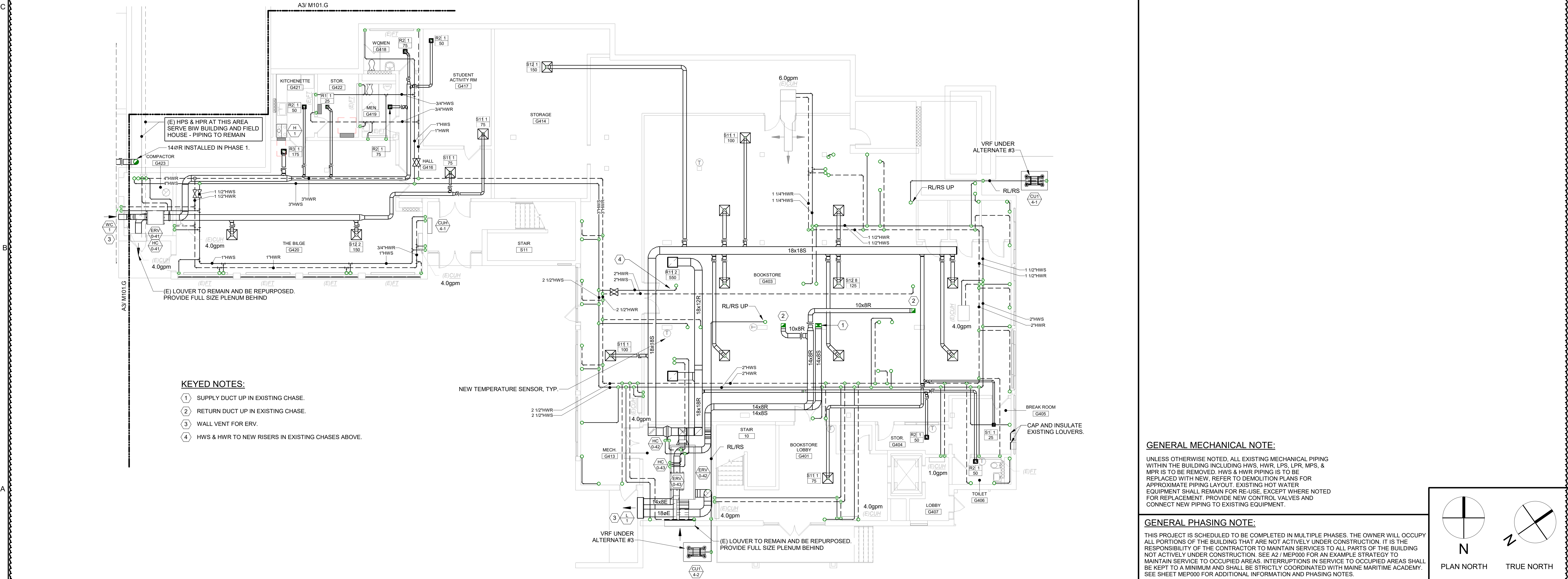
TITLE
 PHASE 4 GROUND
 FLOOR MECHANICAL
 PLANS

SHEET

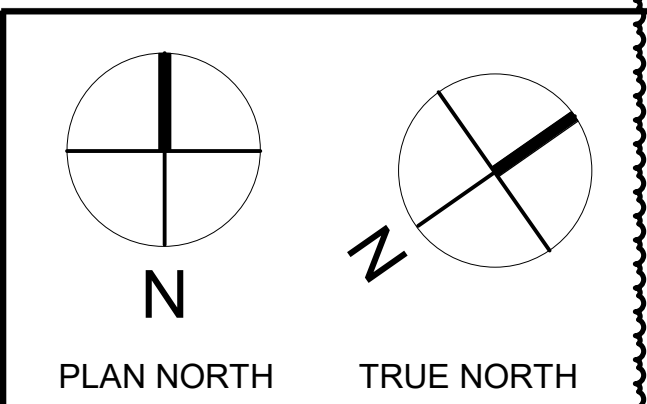
M104.G



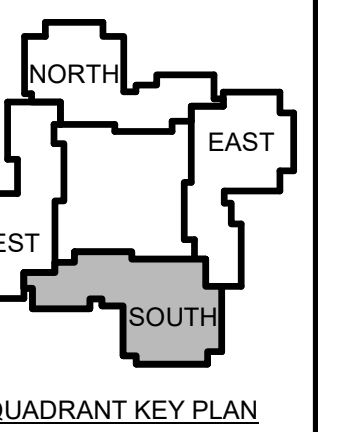
C6 PHASE 4 GROUND FLOOR MECHANICAL DEMOLITION PLAN
 1/8" = 1'-0"



A6 PHASE 4 GROUND FLOOR MECHANICAL PLAN
 1/8" = 1'-0"



CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| | |
|---|----------------------|
| 1 | 12-5 Addendum #1 -23 |
|---|----------------------|

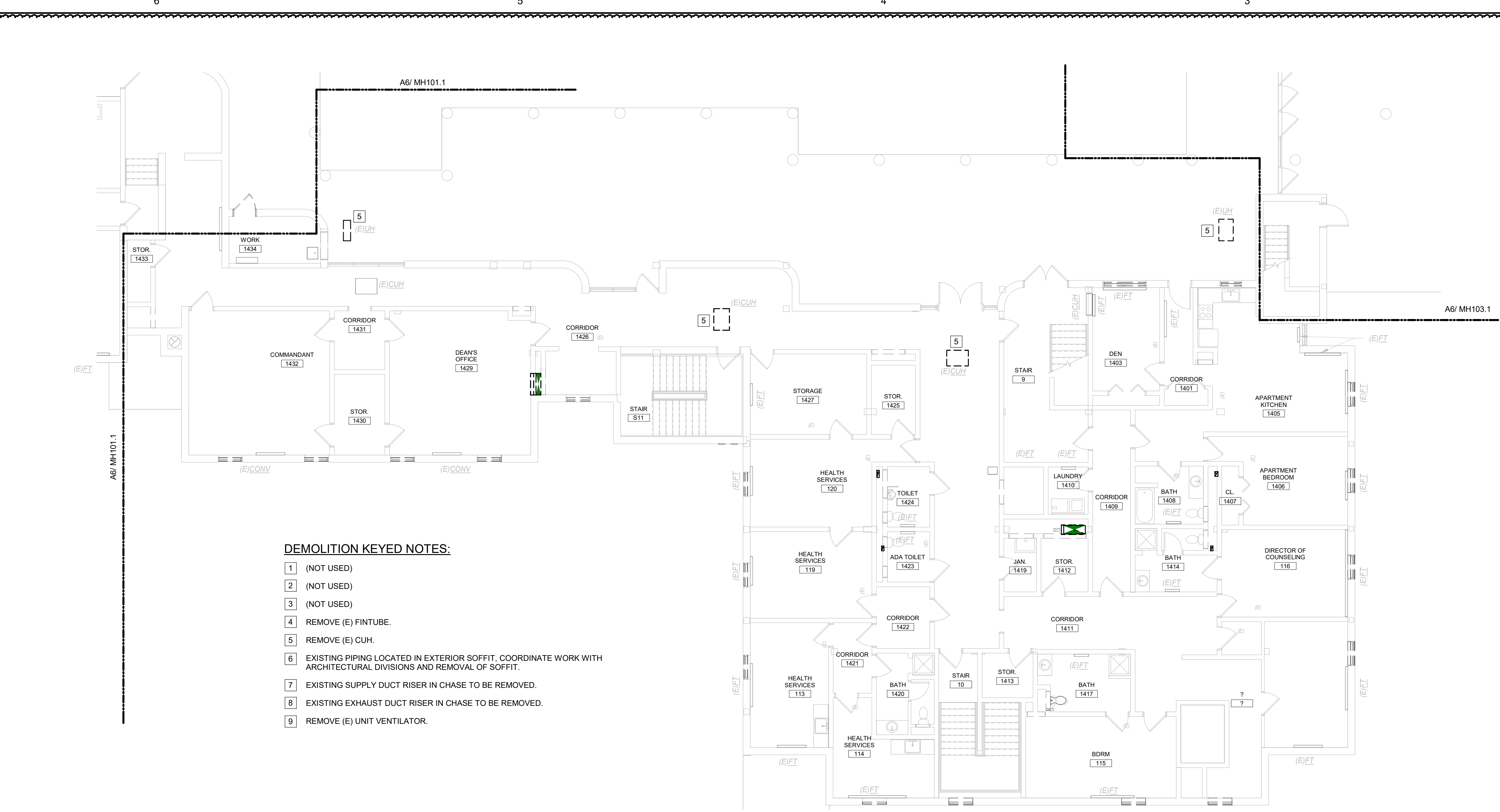
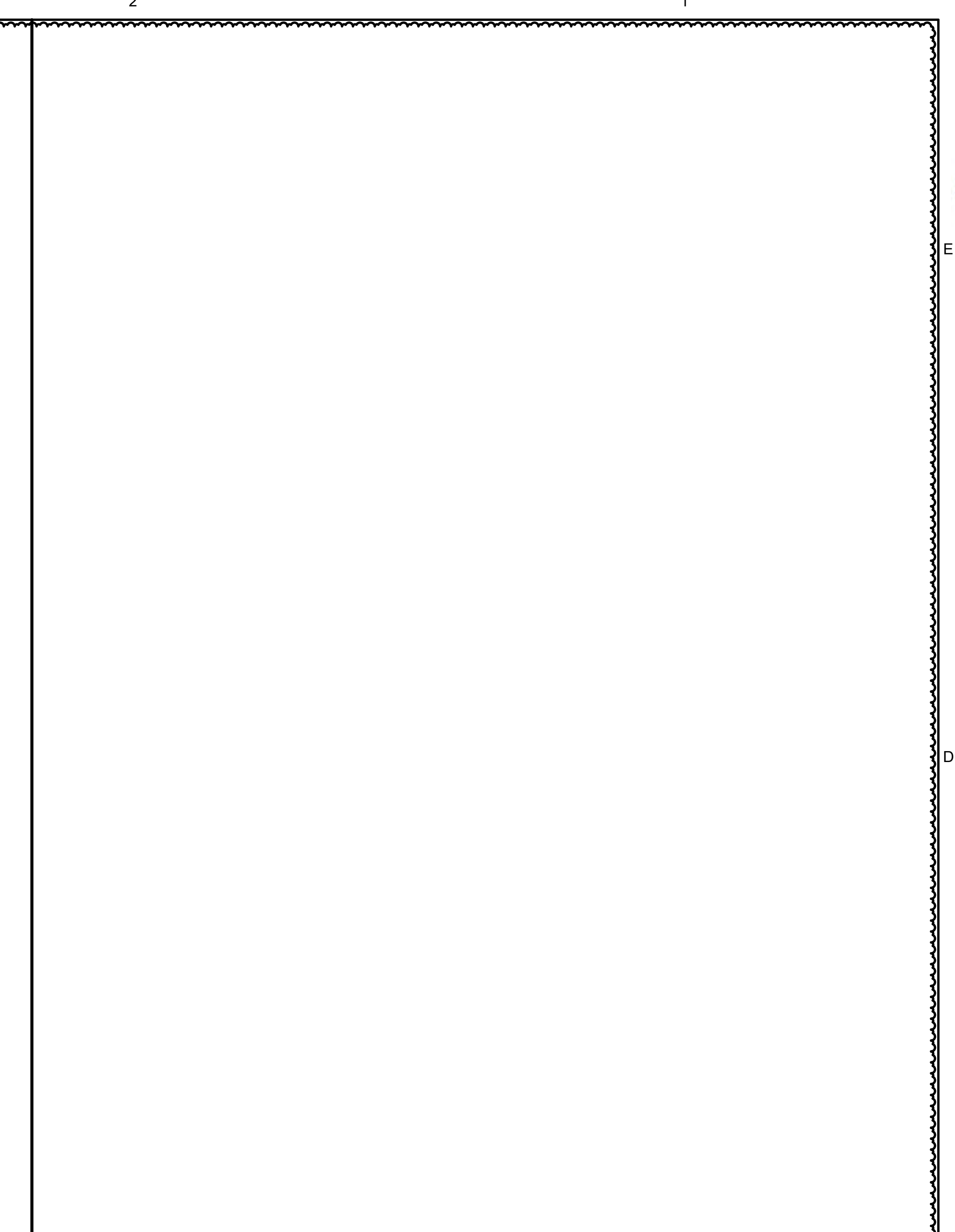
No. Date Description
Revision Schedule

JOB NO.
076982

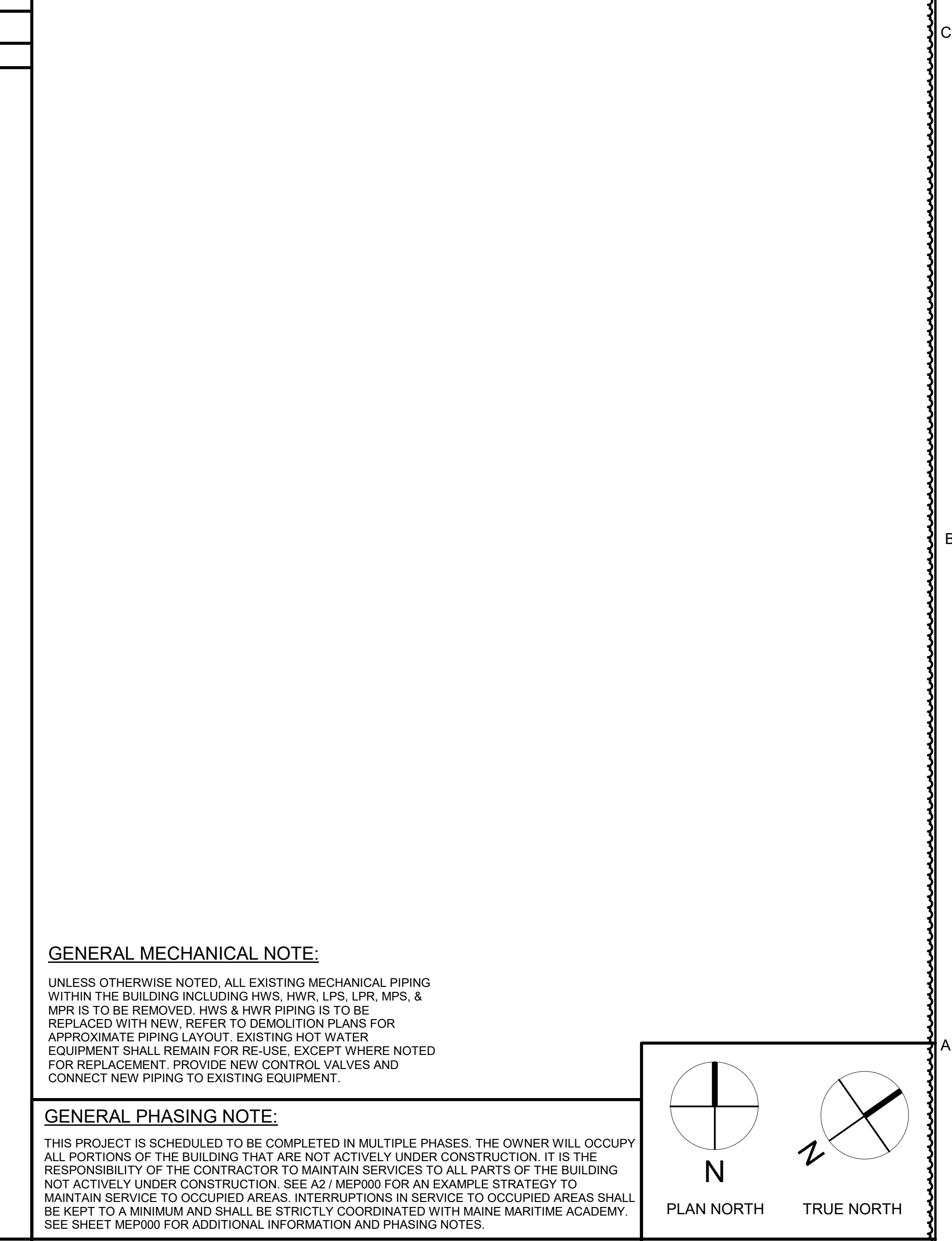
ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 4 FIRST FLOOR MECHANICAL DUCTWORK PLANS

SHEET
MH104.1



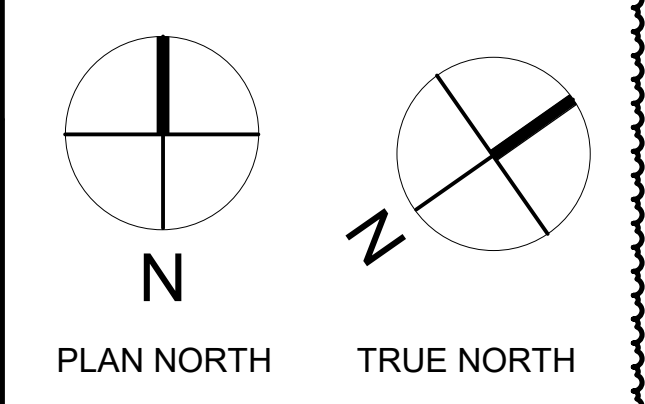
C6 PHASE 4 FIRST FLOOR MECHANICAL DUCTWORK DEMOLITION PLAN
1/8" = 1'-0"

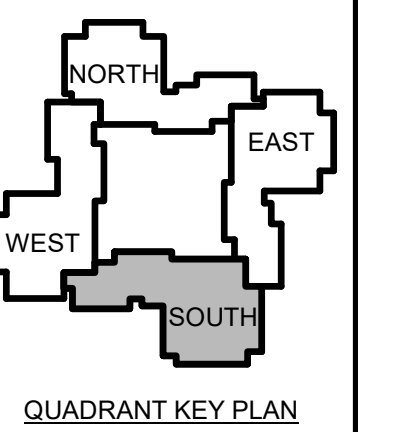


A6 PHASE 4 FIRST FLOOR MECHANICAL DUCTWORK PLAN
1/8" = 1'-0"

GENERAL MECHANICAL NOTE:
UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

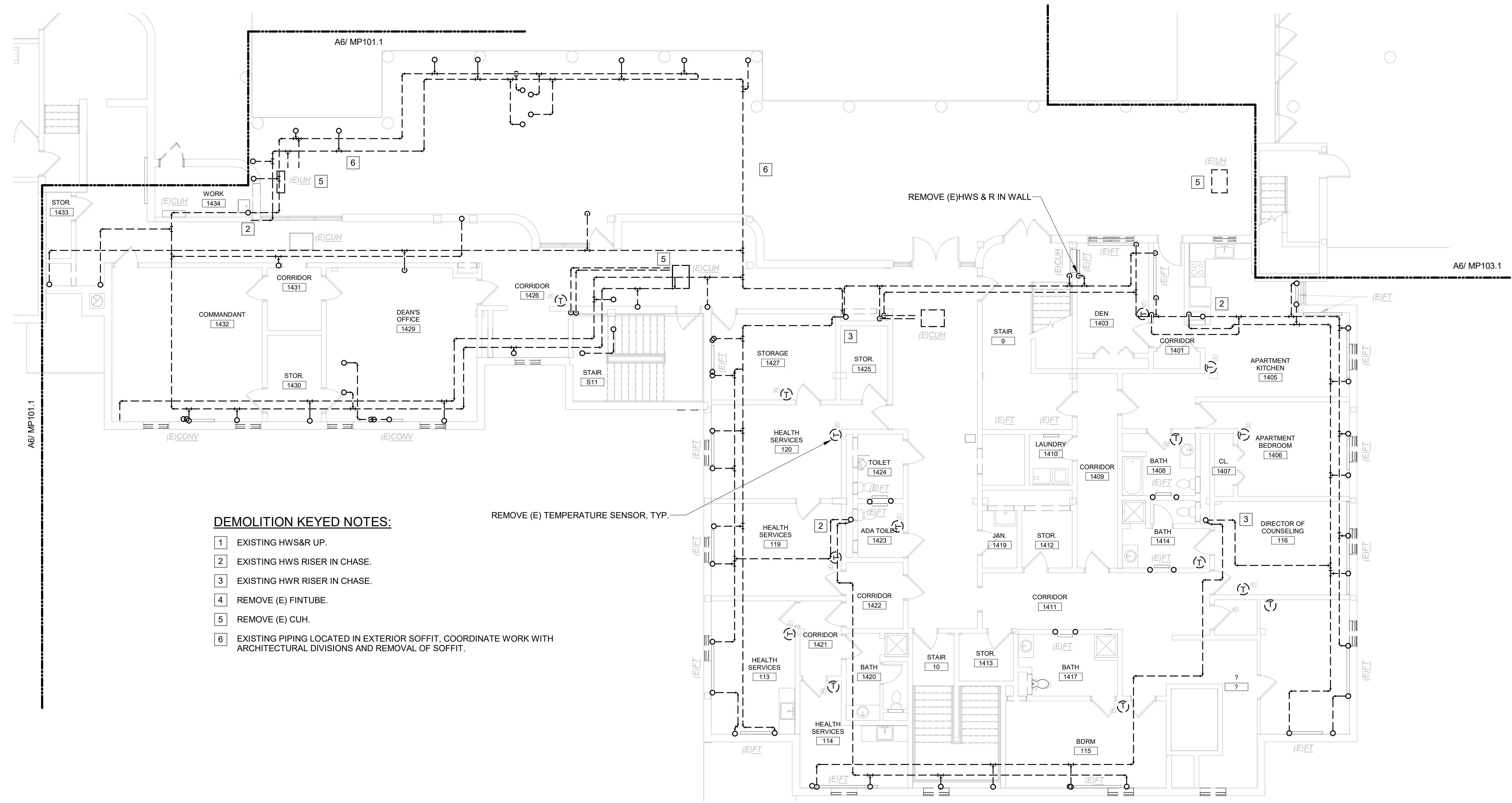
| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

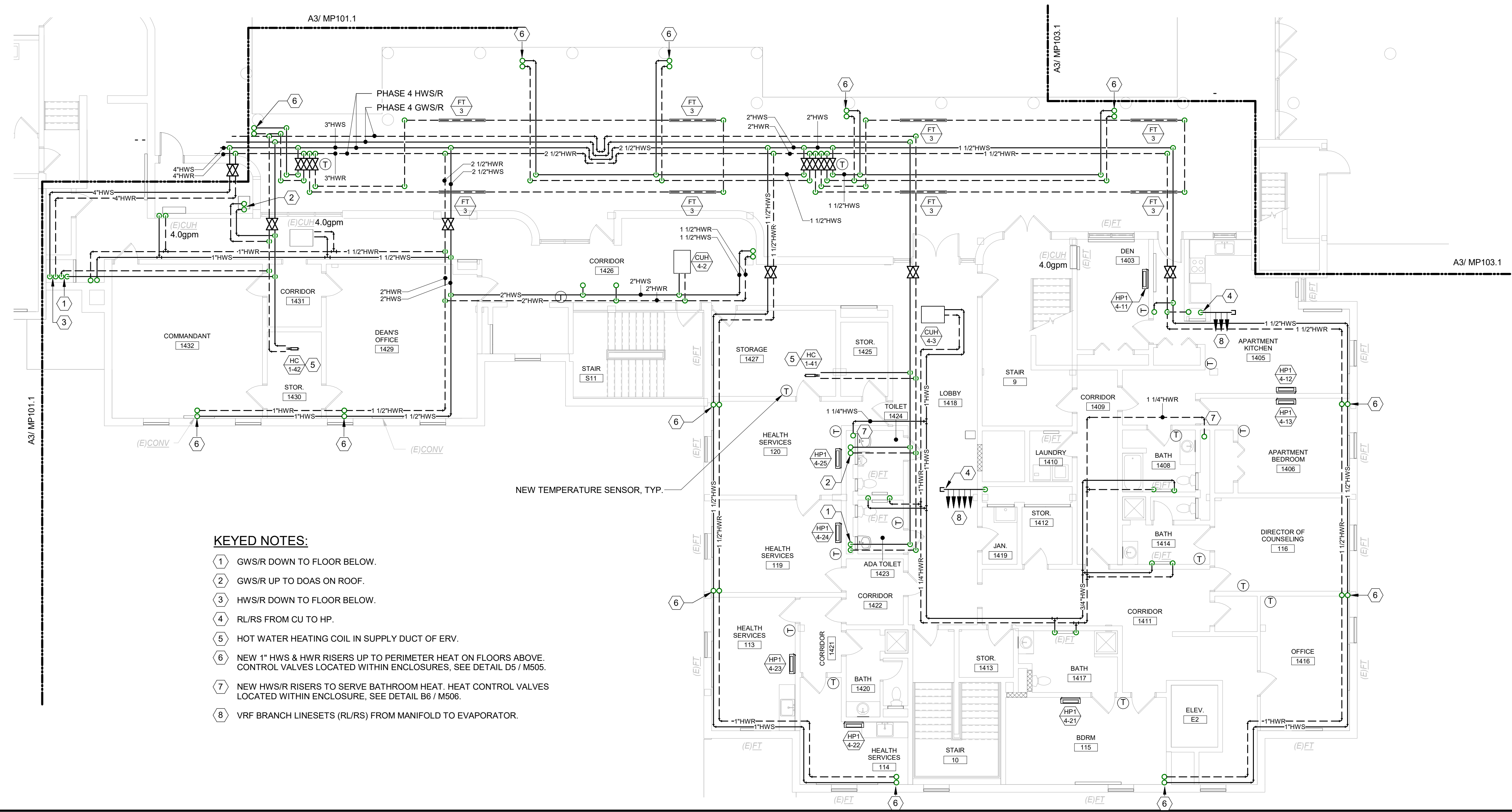
TITLE
PHASE 4 FIRST
FLOOR MECHANICAL
PIPING PLANS

SHEET
MP104.1



- DEMOLITION KEYED NOTES:**
- EXISTING HWS/R UP.
 - EXISTING HWS RISER IN CHASE.
 - EXISTING HWR RISER IN CHASE.
 - REMOVE (E) FIN/TUBE.
 - REMOVE (E) CUH.
 - EXISTING PIPING LOCATED IN EXTERIOR SOFFIT, COORDINATE WORK WITH ARCHITECTURAL DIVISIONS AND REMOVAL OF SOFFIT.

C6 FIRST FLOOR MECHANICAL PIPING DEMOLITION PLAN
1/8" = 1'-0"

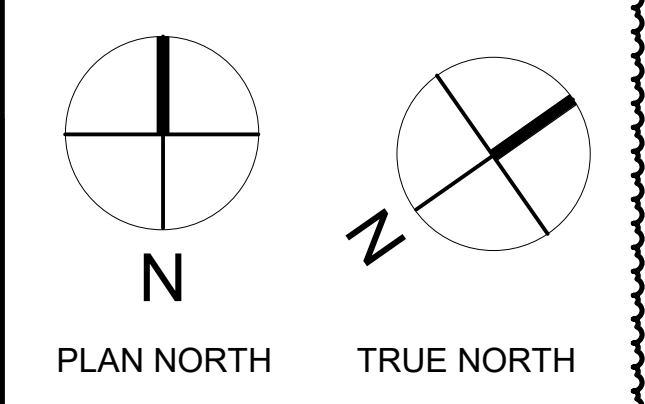


- KEYED NOTES:**
- GWS/R DOWN TO FLOOR BELOW.
 - GWS/R UP TO DOAS ON ROOF.
 - HWS/R DOWN TO FLOOR BELOW.
 - RLRS FROM CU TO HP.
 - HOT WATER HEATING COIL IN SUPPLY DUCT OF ERV.
 - NEW 1" HWS & HWR RISERS UP TO PERIMETER HEAT ON FLOORS ABOVE. CONTROL VALVES LOCATED WITHIN ENCLOSURES, SEE DETAIL D5 / M505.
 - NEW HWS/R RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE, SEE DETAIL B6 / M506.
 - VRF BRANCH LINESETS (RLRS) FROM MANIFOLD TO EVAPORATOR.

A6 FIRST FLOOR MECHANICAL PIPING PLAN
1/8" = 1'-0"

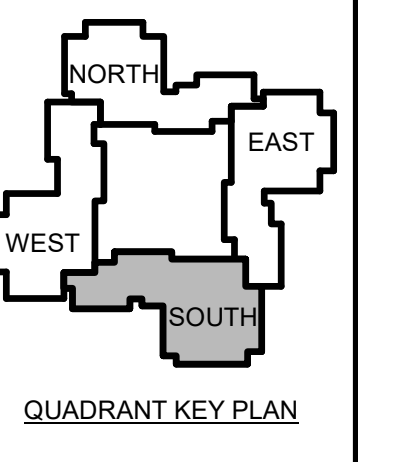
GENERAL MECHANICAL NOTE:
UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR REUSE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

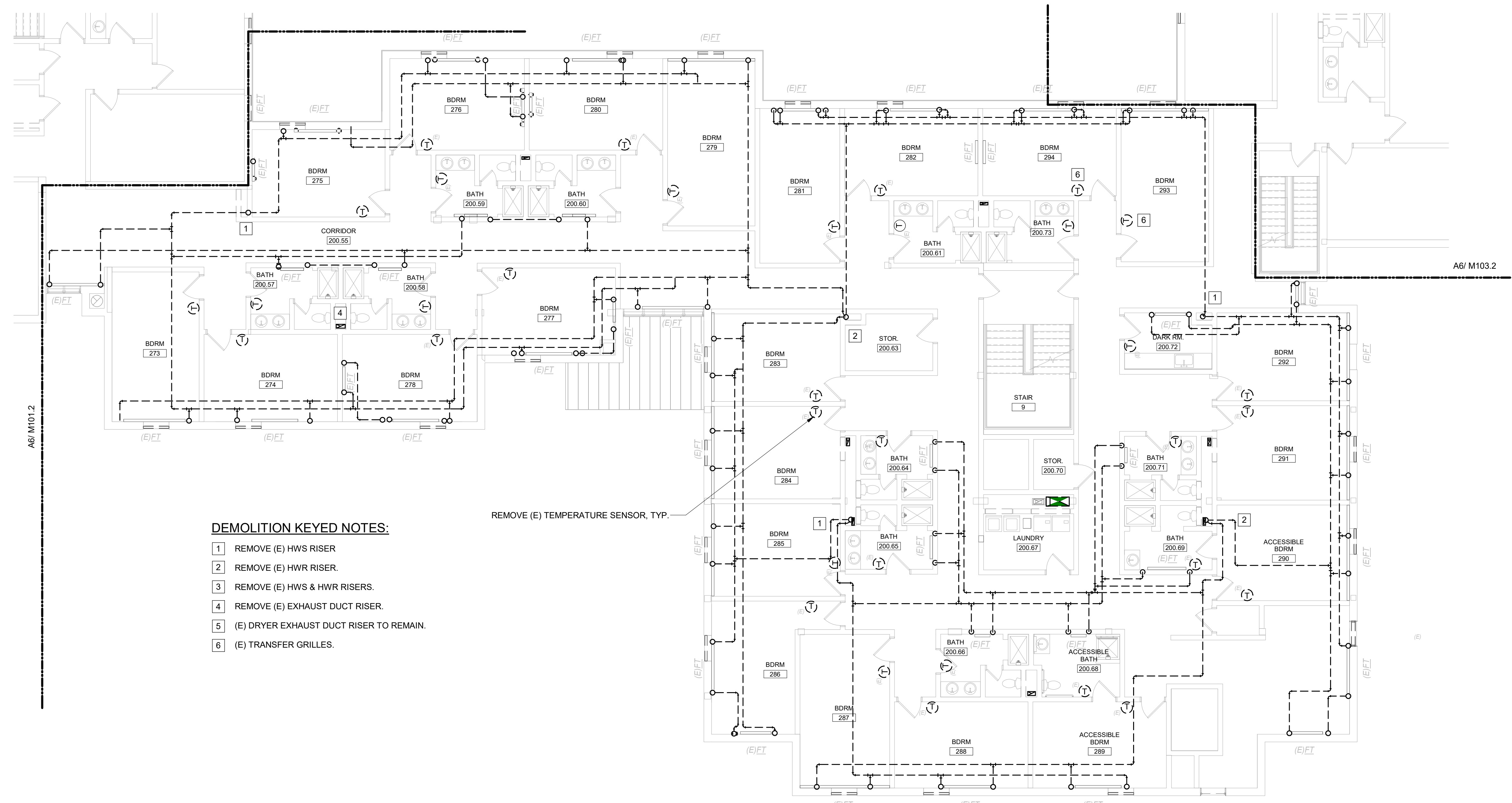
No. Date Description
 Revision Schedule

JOB NO.
076982

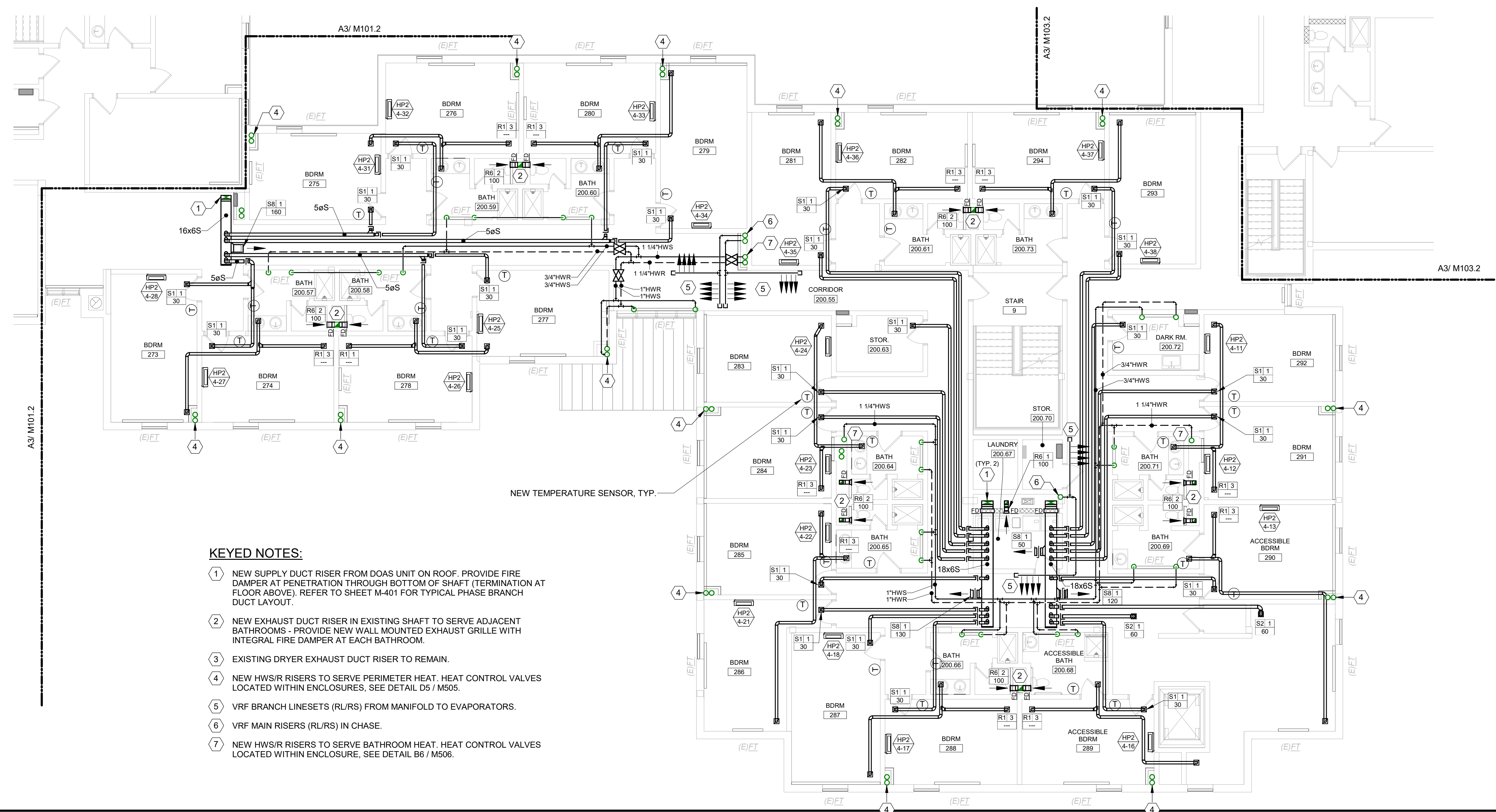
ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 4 SECOND
 FLOOR MECHANICAL
 PLANS

SHEET
M104.2



C6 PHASE 4 SECOND FLOOR MECHANICAL DEMOLITION PLAN
 1/8" = 1'-0"



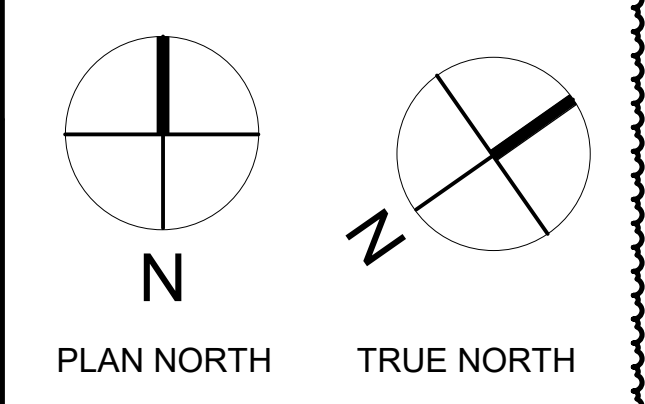
A6 PHASE 4 SECOND FLOOR MECHANICAL PLAN
 1/8" = 1'-0"

GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPR, LPS, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

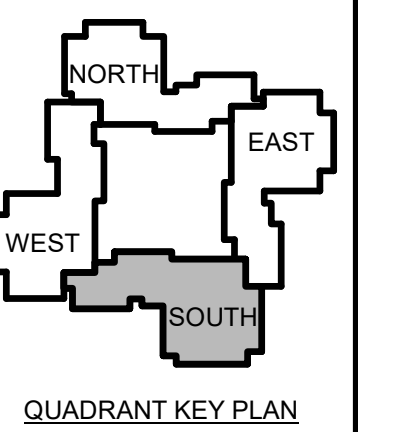
GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

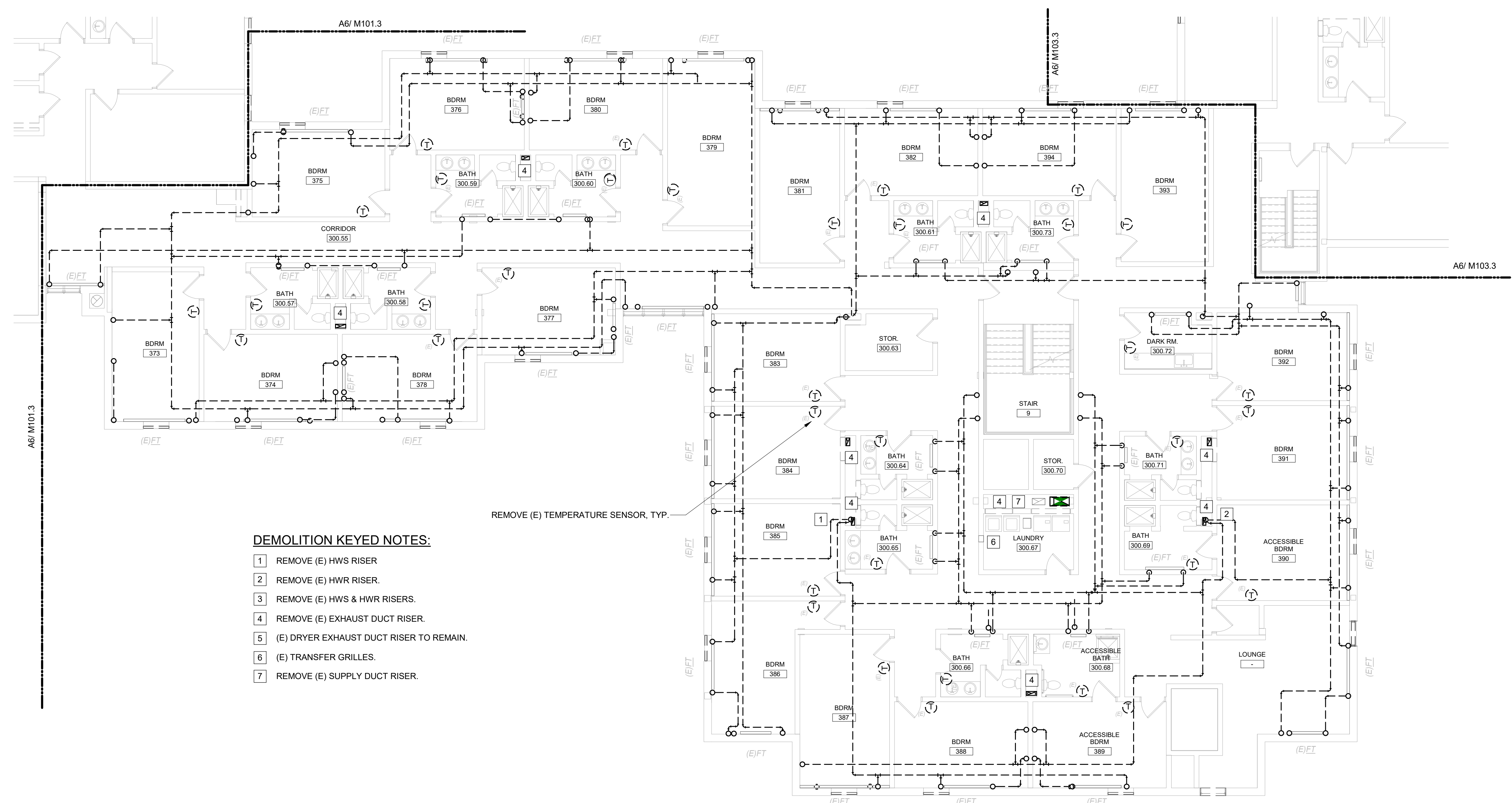
No. Date Description
 Revision Schedule

JOB NO.
076982

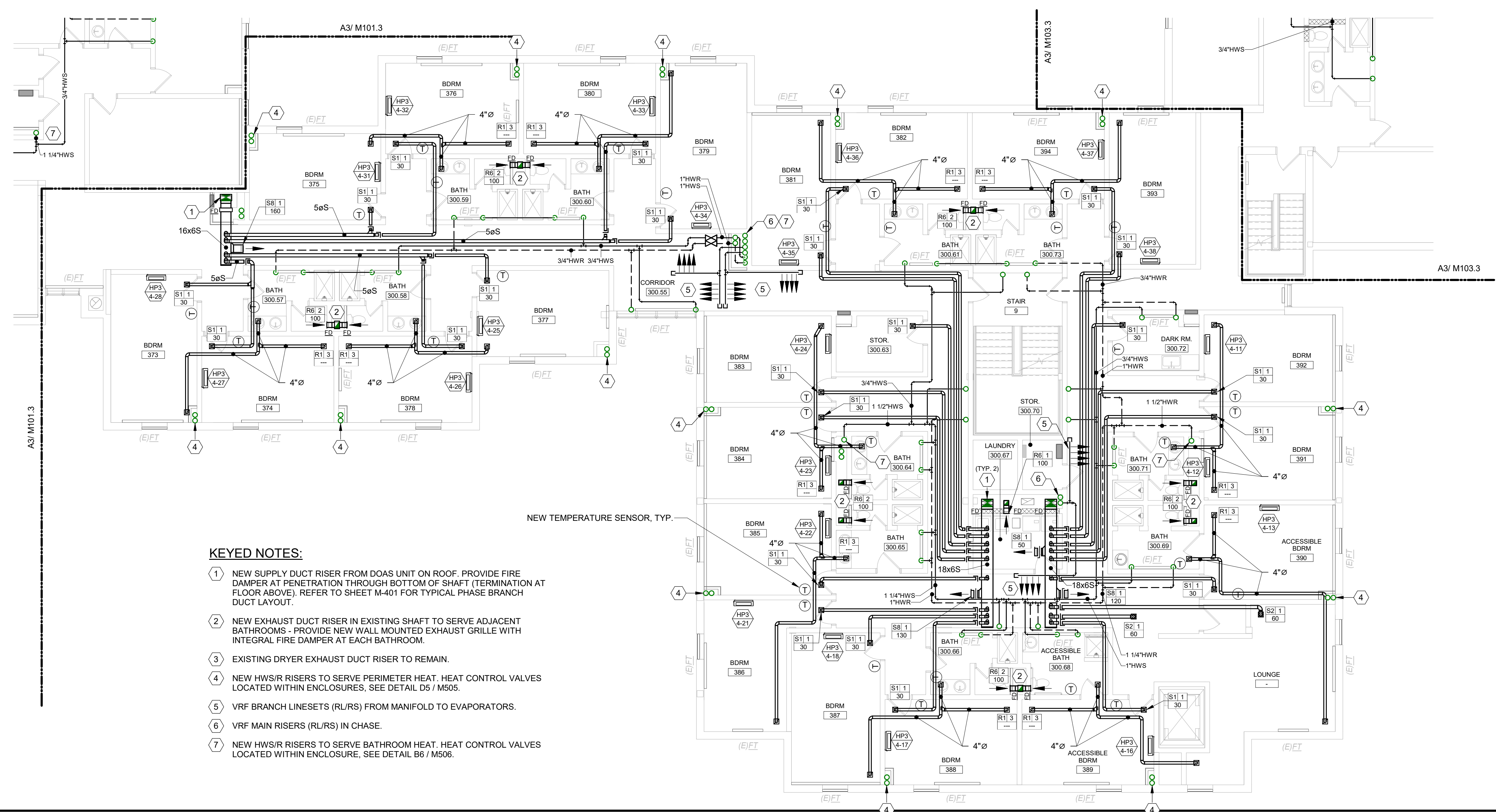
ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 4 THIRD
 FLOOR MECHANICAL
 PLANS

SHEET
M104.3



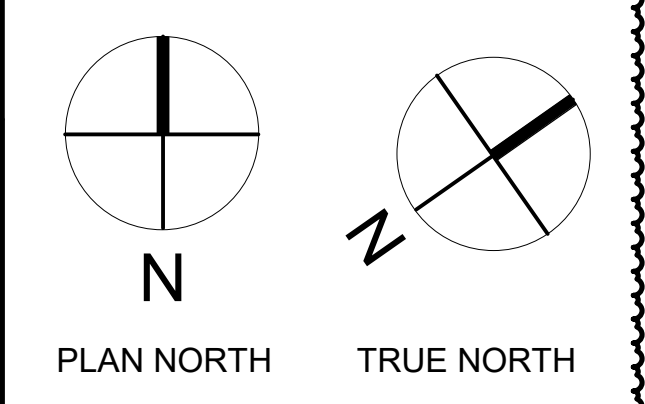
C6 PHASE 4 THIRD FLOOR MECHANICAL DEMOLITION PLAN
 1/8" = 1'-0"

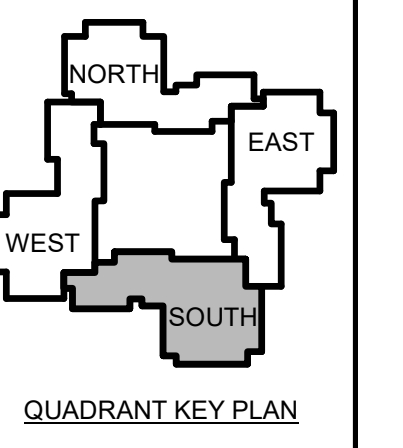


A6 PHASE 4 THIRD FLOOR MECHANICAL PLAN
 1/8" = 1'-0"

GENERAL MECHANICAL NOTE:
 UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

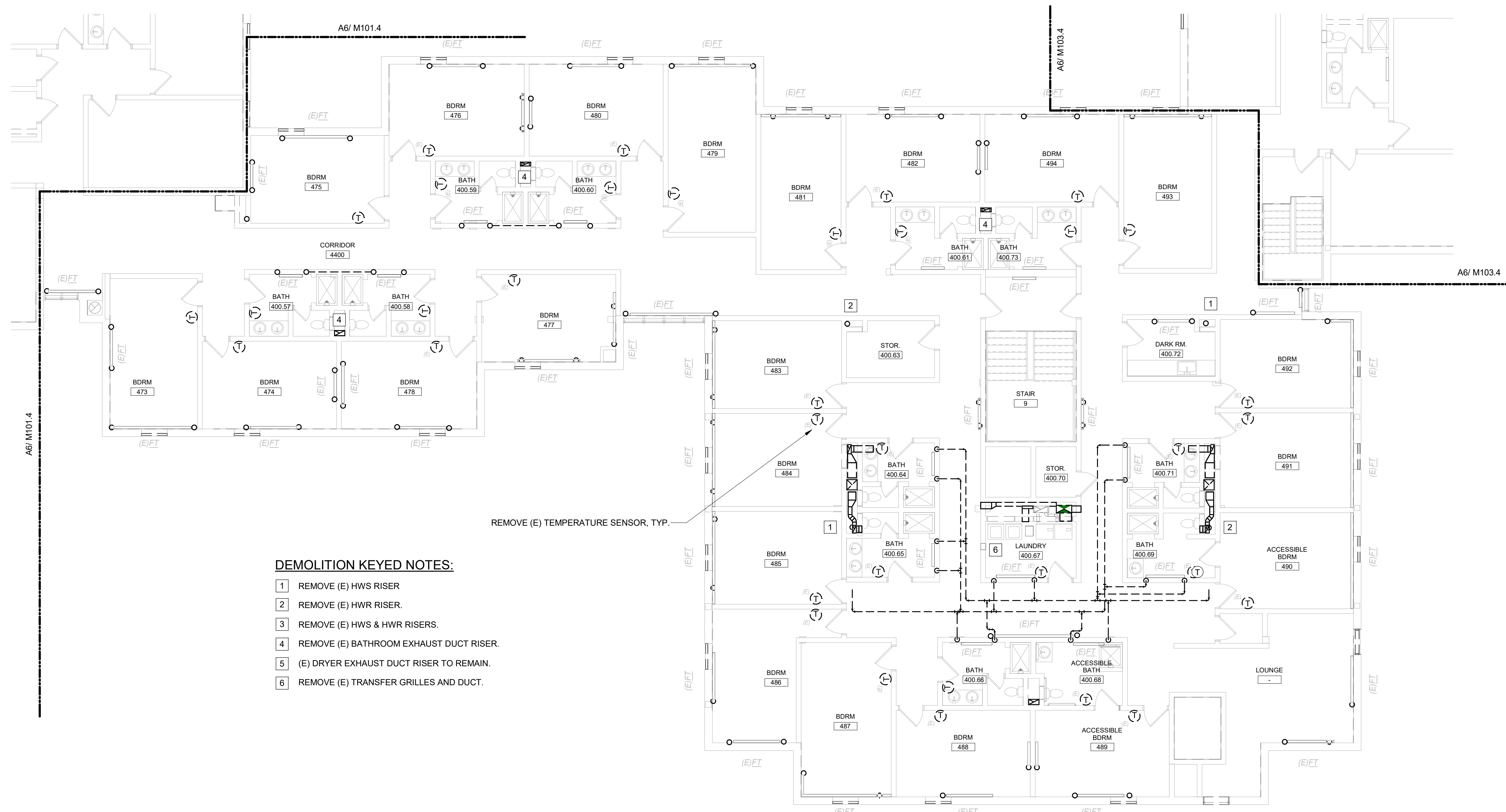
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 4 FOURTH FLOOR MECHANICAL PLANS

SHEET
M104.4



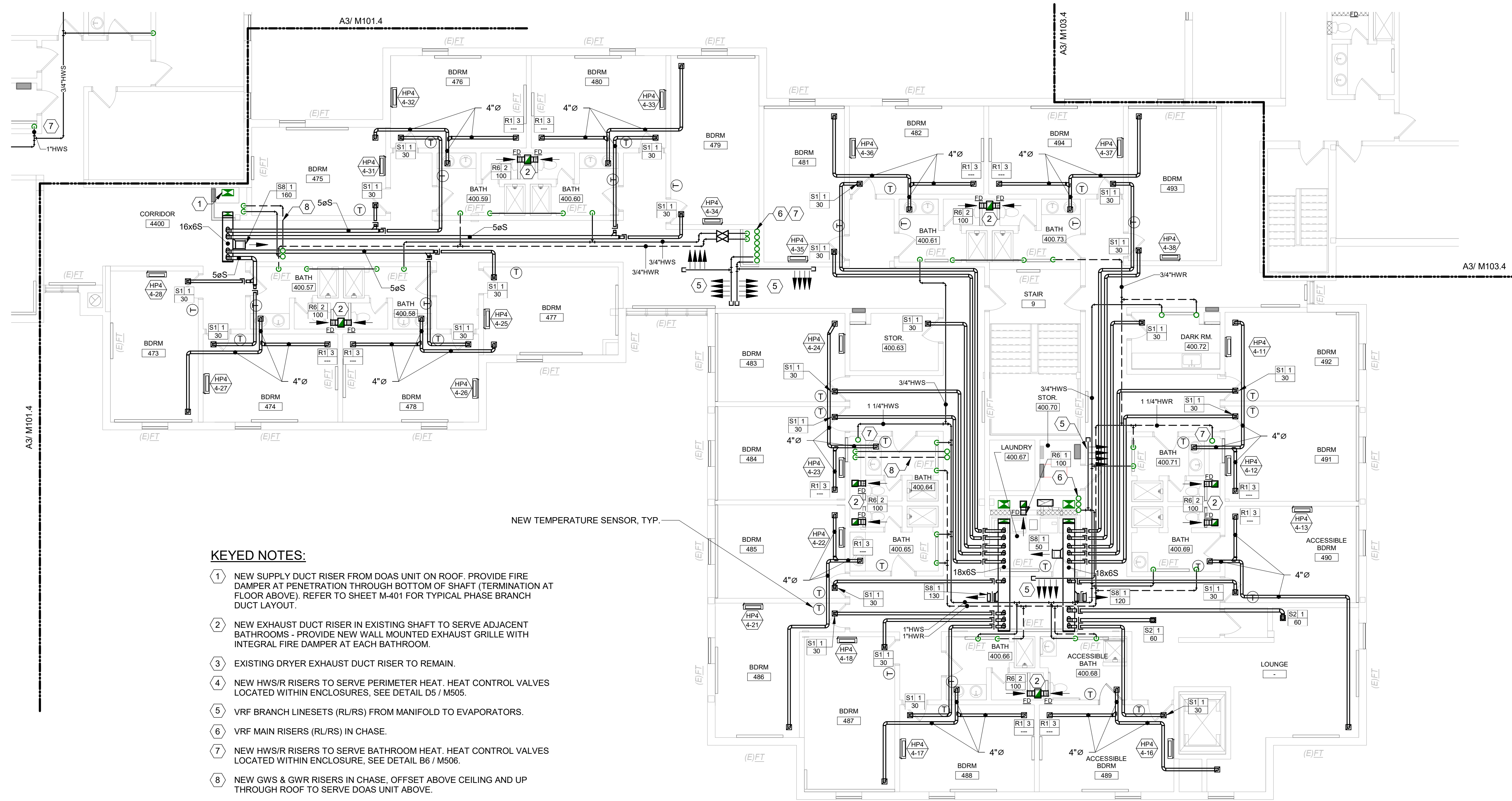
DEMOLITION KEYED NOTES:

- 1 REMOVE (E) HWS RISER
- 2 REMOVE (E) HWR RISER.
- 3 REMOVE (E) HWS & HWR RISERS.
- 4 REMOVE (E) BATHROOM EXHAUST DUCT RISER.
- 5 (E) DRYER EXHAUST DUCT RISER TO REMAIN.
- 6 REMOVE (E) TRANSFER GRILLES AND DUCT.

REMOVE (E) TEMPERATURE SENSOR, TYP.

C6 PHASE 4 FOURTH FLOOR MECHANICAL DEMOLITION PLAN

1/8" = 1'-0"



KEYED NOTES:

- 1 NEW SUPPLY DUCT RISER FROM DOAS UNIT ON ROOF. PROVIDE FIRE DAMPER AT PENETRATION THROUGH BOTTOM OF SHAFT (TERMINATION AT FLOOR ABOVE). REFER TO SHEET M-401 FOR TYPICAL PHASE BRANCH DUCT LAYOUT.
- 2 NEW EXHAUST DUCT RISER IN EXISTING SHAFT TO SERVE ADJACENT BATHROOMS - PROVIDE NEW WALL MOUNTED EXHAUST GRILLE WITH INTEGRAL FIRE DAMPER AT EACH BATHROOM.
- 3 EXISTING DRYER EXHAUST DUCT RISER TO REMAIN.
- 4 NEW HWS/R RISERS TO SERVE PERIMETER HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURES. SEE DETAIL D5 / M505.
- 5 VRF BRANCH LINESETS (RLRS) FROM MANIFOLD TO EVAPORATORS.
- 6 VRF MAIN RISERS (RLRS) IN CHASE.
- 7 NEW HWS/R RISERS TO SERVE BATHROOM HEAT. HEAT CONTROL VALVES LOCATED WITHIN ENCLOSURE. SEE DETAIL B6 / M506.
- 8 NEW GWS & GWR RISERS IN CHASE. OFFSET ABOVE CEILING AND UP THROUGH ROOF TO SERVE DOAS UNIT ABOVE.

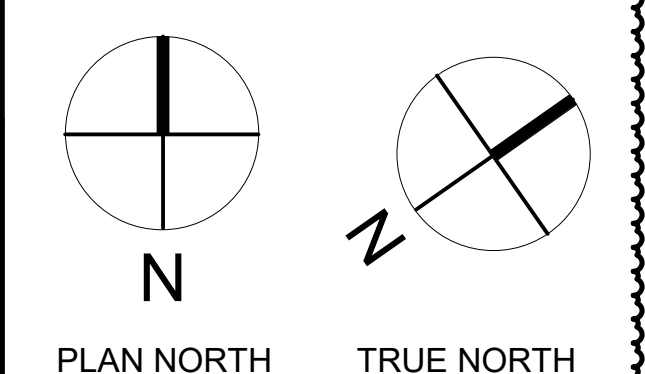
NEW TEMPERATURE SENSOR, TYP.

GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

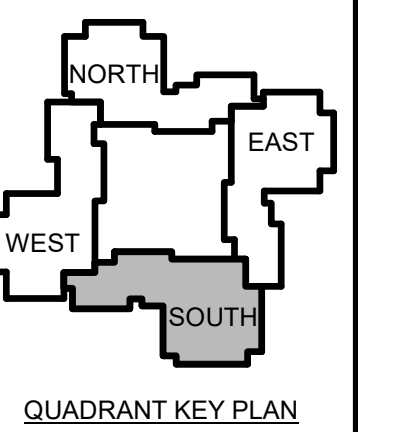
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



A6 PHASE 4 FOURTH FLOOR MECHANICAL PLAN

1/8" = 1'-0"

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

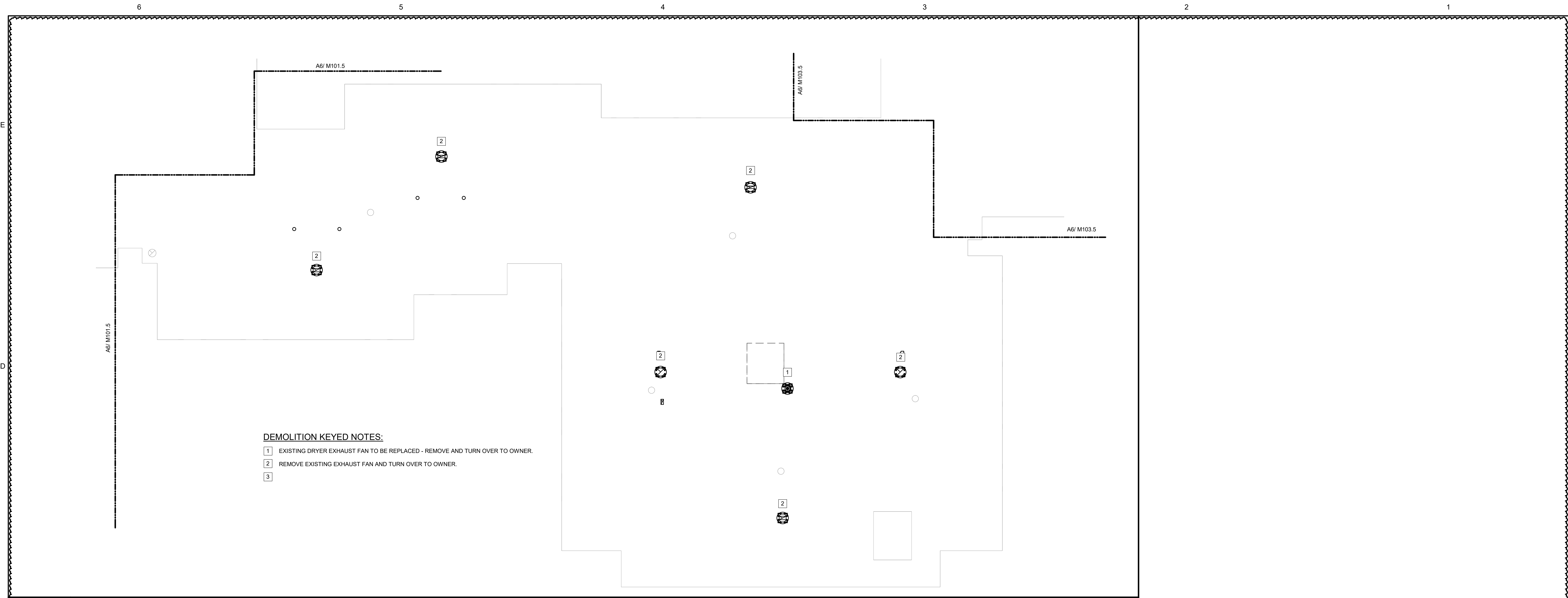
No. Date Description
 Revision Schedule

JOB NO.
076982

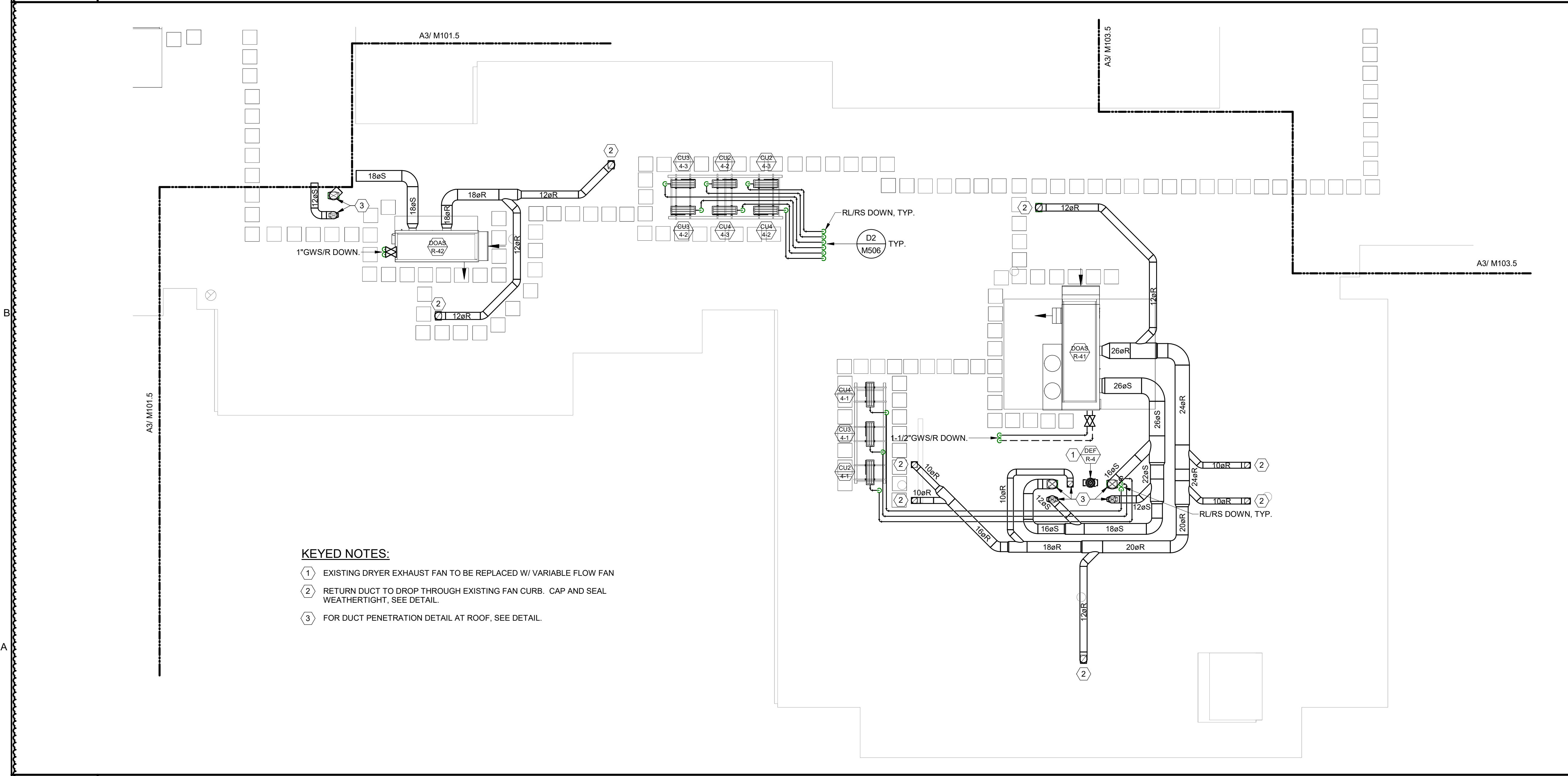
ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 4 ROOF
 LEVEL MECHANICAL
 PLANS

SHEET
M104.5



C6 PHASE 4 LEVEL ROOF MECHANICAL DEMOLITION PLAN
 1/8" = 1'-0"



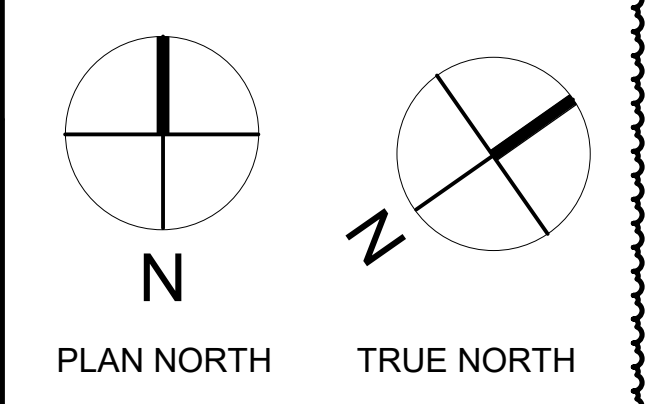
A6 PHASE 4 ROOF MECHANICAL PLAN
 1/8" = 1'-0"

GENERAL MECHANICAL NOTE:

UNLESS OTHERWISE NOTED, ALL EXISTING MECHANICAL PIPING WITHIN THE BUILDING INCLUDING HWS, HWR, LPS, LPR, MPS, & MPR IS TO BE REMOVED. HWS & HWR PIPING IS TO BE REPLACED WITH NEW. REFER TO DEMOLITION PLANS FOR APPROXIMATE PIPING LAYOUT. EXISTING HOT WATER EQUIPMENT SHALL REMAIN FOR RE-USE, EXCEPT WHERE NOTED FOR REPLACEMENT. PROVIDE NEW CONTROL VALVES AND CONNECT NEW PIPING TO EXISTING EQUIPMENT.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



AIR SEPARATION & EXPANSION TANK SCHEDULE

Table with columns: SYSTEM, MANUFACTURER, MODEL, TYPE, FLOW RATE, GPM, INLET/OUTLET, BLADDER-TYPE EXPANSION TANK, MANUFACTURER, MODEL, SYSTEM HEIGHT, FT, STATIC PRESSURE AT TANK, PSI, PSI REQD. AT HIGHEST SYS POINT, TANK PRE-CHARGE PRESSURE, TANK DIAMETER, TANK LENGTH, ACCEPTANCE VOLUME, WATERLOGGED WEIGHT (LBS.), ASME PRESSURE RATING.

R, G, & D ROUND DUCT RUNOUT SIZE...

Table with columns: DUCT SIZE (Ø IN.), CFM RANGE. Rows include sizes from 4" to 18" and their corresponding CFM ranges.

NOTE: ROUND DUCT RUNOUT SIZES, UNLESS NOTED OTHERWISE IN DOCUMENTS

HYDRONIC PIPE SIZE RUNOUT SCHEDULE

Table with columns: PIPE SIZE, MAX GPM. Rows include sizes from 1/2" to 6" and their corresponding maximum GPM values.

VARIABLE REFRIGERANT FLOW (VRF) - OUTDOOR UNIT PERFORMANCE SCHEDULE

Table with columns: CU SIZE, NOMINAL TONNAGE, NOMINAL BTUH COOLING HEATING, CORRECTED BTUH COOLING HEATING, MAXIMUM CONNECTED CAPACITY, COOLING EFF., HEATING EFF., ELECTRICAL REQUIREMENTS, DIMENSIONS, TRANE MODEL NUMBER, WEIGHT (LB).

- NOTES: 1. Nominal cooling capacities are based on indoor coil EAT of 80/67°F (DB/WB), outdoor of 95°F (DB)
2. Nominal heating capacities are based on indoor coil EAT of 70°F (DB), outdoor of 43°F (WB)
3. Efficiency values for EER, IEER, COP are based on AHRI 1230 test method for mixture of ducted & non-ducted indoor units.
4. Provide added field charge in addition to factory charge as needed based upon final as-built piping layout.
5. Outdoor design conditions: 86°F Summer, -11°F Winter.
6. CU size here are assigned to spaces on VRF Outdoor Unit Size Schedule.
7. All units shall be low-temp heating (H2) Hyper-Heat) units.
8. CU size C shall be a Multi-Zone unit w/ three individual refrigerant pipe circuits.

VARIABLE REFRIGERANT FLOW (VRF) - OUTDOOR UNIT SIZE SCHEDULE

Table with columns: TAG, UNIT LOCATION, AREAS SERVED, CU SIZE, QTY HP ON SYSTEM, NOMINAL CAPACITY COOLING HEATING, CORRECTED CAPACITY COOLING HEATING. Includes multiple rows for units CU0 1-1 through CU4 4-3.

- NOTES: 1. CU size assigned here, see VRF Outdoor Unit Performance Schedule for CU performances.

REGISTERS - GRILLES - DIFFUSERS (RGD) SCHEDULE

Table with columns: TAG, MFR, MODEL, TYPE, NECK SIZE, FACE SIZE, MAX CFM, MAX TOTAL P.D. (IN.W.C.), MAX NC LEVEL, BLOW, NOTES. Includes rows for various duct runouts and diffusers.

MAKE-UP AIR UNIT SCHEDULE (238219)

Table with columns: GENERAL, TAG, MUA-1-21. Includes sections for FILTER SECTION, SUPPLY AIR FAN, OVERALL DIMENSIONS, HEATING COIL, and ELECTRICAL DATA.

- NOTES: 1. PROVIDE DISCONNECT SWITCH.



CHA Architecture, P.C.
49 Dartmouth Street
Portland, Maine 04101
207.775.1050 www.chacompanies.com



Copyright CHA Architecture
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421

1 12-5 Addendum #1 -23

No. | Date | Description
Revision Schedule

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE MECHANICAL SCHEDULES

SHEET

M603

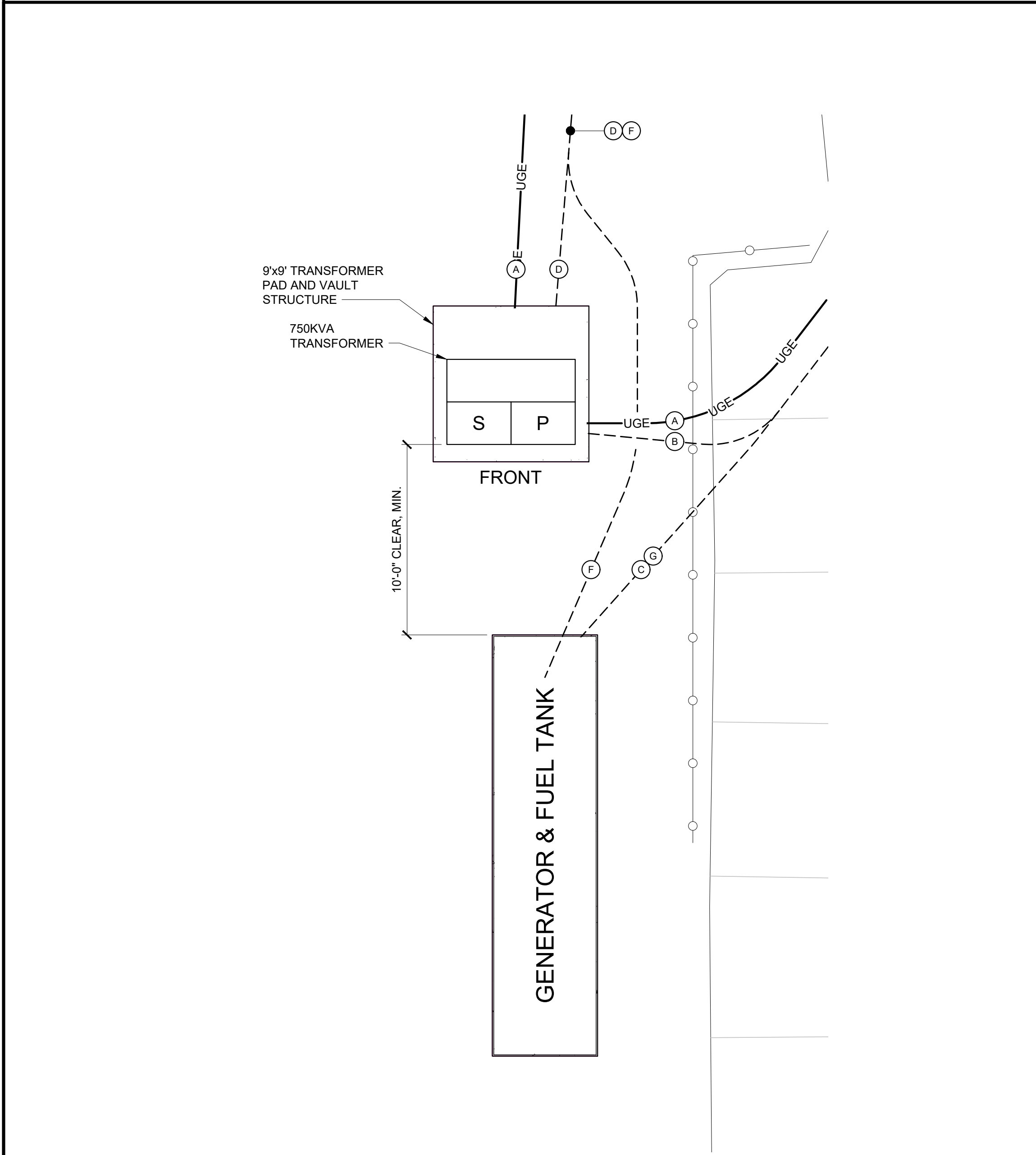
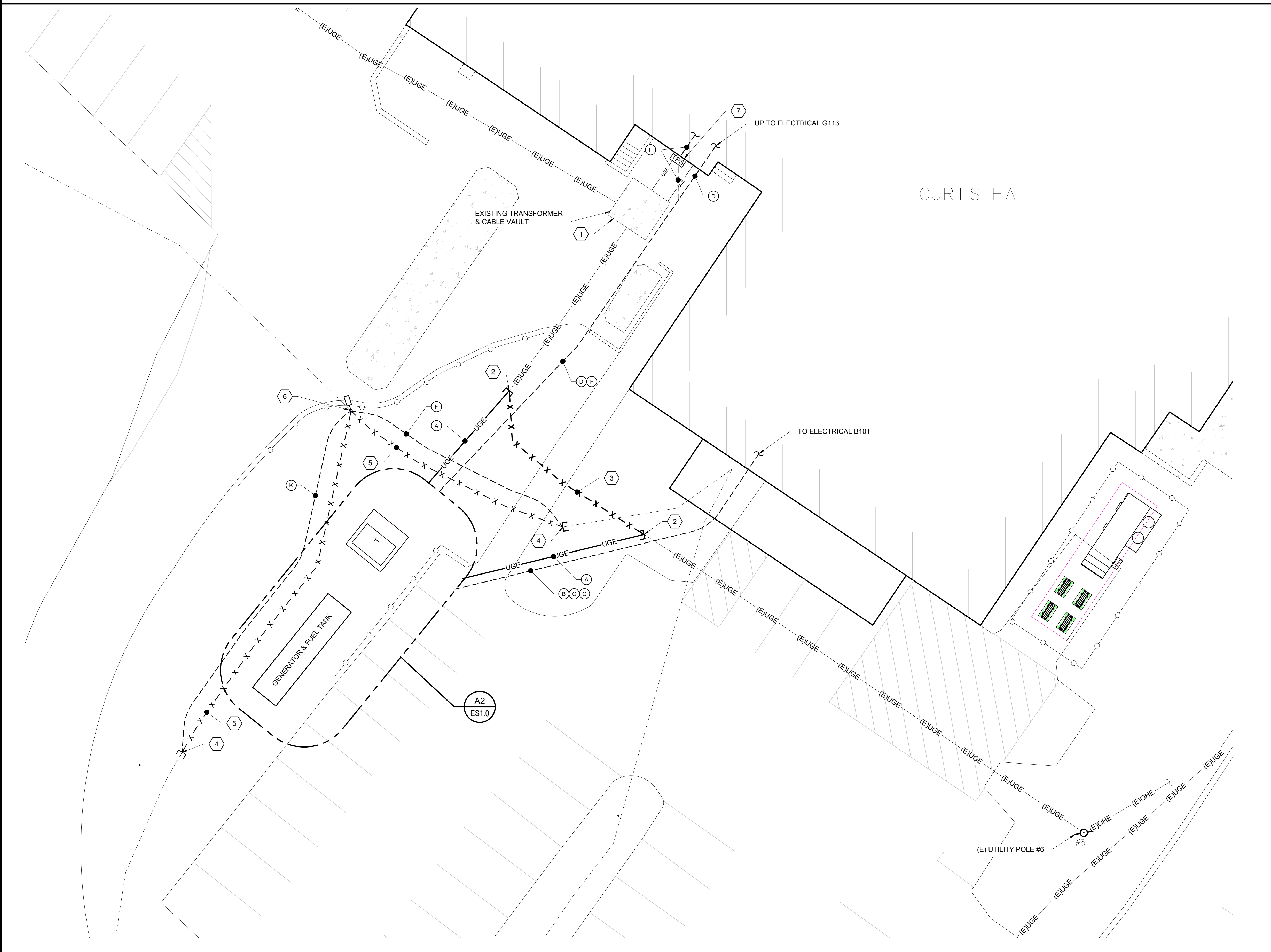
- 1 REMOVE EXISTING PAD-MOUNTED TRANSFORMER AND SECONDARY CONDUCTORS INTO BUILDING. TRANSFORMER VAULT SHALL REMAIN AND BECOME USED AS A CABLE VAULT.
- 2 INTERCEPT EXISTING PRIMARY DUCT BANK AND EXTEND AND RE-ROUTE TO NEW PAD-MOUNTED TRANSFORMER. MATCH EXISTING CONDUIT SIZE, ARRANGEMENT, AND CABLE TYPE.
- 3 REMOVE PORTION OF EXISTING UNDERGROUND PRIMARY DUCT BANK.
- 4 INTERCEPT EXISTING BRANCH CIRCUIT WIRING SERVING SITE LIGHTING POLES AND RE-ROUTE AS NECESSARY TO ACCOMMODATE NEW SITE GRADING. MATCH EXISTING CONDUIT SIZE, ARRANGEMENT, AND CABLE TYPE.
- 5 REMOVE PORTION OF EXISTING SITE LIGHTING BRANCH CIRCUIT.
- 6 PROVIDE NEW LIGHT POLE BASE IN SAME LOCATION AS EXISTING LIGHT POLE BASE BEING REMOVED TO ACCOMMODATE NEW SITE GRADING. RE-MOUNT AND RE-WIRE EXISTING LIGHT POLE TO NEW BASE.
- 7 TRIPLE SWITCH- WALL MOUNT 30" AFG. MINIMUM AND COORDINATE EXACT LOCATION TO FACILITATE CONNECTION OF TEMPORARY GENERATOR CABLES.

- A PRIMARY ELECTRIC
- MATCH EXISTING CONDUIT SIZES AND ARRANGEMENT AND CABLE TYPE
- B BUILDING NORMAL POWER SERVICE ENTRANCE
- SEE RISER DIAGRAM
- C BUILDING STANDBY POWER FEEDER
- SEE RISER DIAGRAM
- D FIRE PUMP NORMAL POWER FEEDER
- SEE RISER DIAGRAM
- F FIRE PUMP STANDBY POWER FEEDER
- SEE RISER DIAGRAM
- G GENERATOR SUPPORT CONDUITS
 - (1) 1" FOR GENERATOR JACKET WATER HEATER AND STRIP HEATER - WIRE AND CONNECT TO (1) NEW 2P-30A CB IN EXISTING PANEL EB1
 - (1) 1" FOR GENERATOR BATTERY CHARGER - WIRE AND CONNECT TO (1) NEW 1P-20A CB IN EXISTING PANEL EB1
 - (1) 1" FOR GENERATOR START CIRCUIT - WIRE AND CONNECT TO (1) NEW 1P-20A CB IN EXISTING PANEL EB1
 - (1) 1" FOR GENERATOR REMOTE ANNUNCIATOR
 - (1) 1" FOR GENERATOR REMOTE EMERGENCY STOP
 - COORDINATE FINAL WIRING SIZE AND QUANTITY WITH APPROVED SUBMITTAL, MANUFACTURER'S INSTALLATION REQUIREMENTS FOR EACH ACCESSORY ITEM OR UNIT COMPONENT
- K SITE LIGHTING CONDUIT
- MATCH EXISTING CONDUIT AND WIRE SIZE

| | |
|----|----------|
| E2 | KEYNOTES |
| | |

| | |
|----|------------------|
| E1 | CONDUIT KEYNOTES |
| | |

E
D
C
B
A



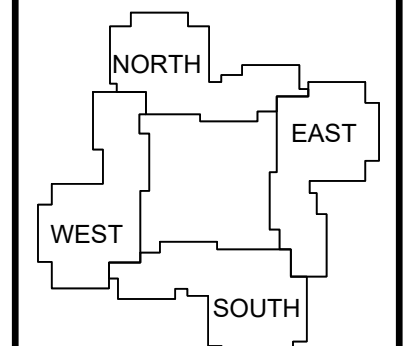
| | |
|------------------|----------------------|
| A6 | ELECTRICAL SITE PLAN |
| SCALE: 1"=10'-0" | |

| | |
|-----------------|-------------|
| A2 | DETAIL AREA |
| SCALE: 1"=5'-0" | |



COPYRIGHT
CIA Architecture
Reuse or reproduction of the contents of this document is not permitted without written permission of CIA Architecture.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12.5 | Addendum #1 |
| | | |

| No. | Date | Description |
|-----|------|-------------|
| | | |

NOT FOR CONSTRUCTION

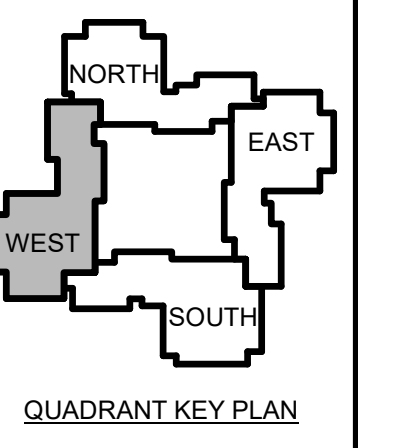
JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
ELECTRICAL SITE PLAN

SHEET
ES1.0

N:\Projects\2023\20231201 - MMA Curtis Hall Renovations\4 - DRAWINGS - Revit Version 2023\20231201_LE.dwg Date: 05/20/2023 12:31pm
 11/22/2023 12:31pm
 11/22/2023 12:31pm



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

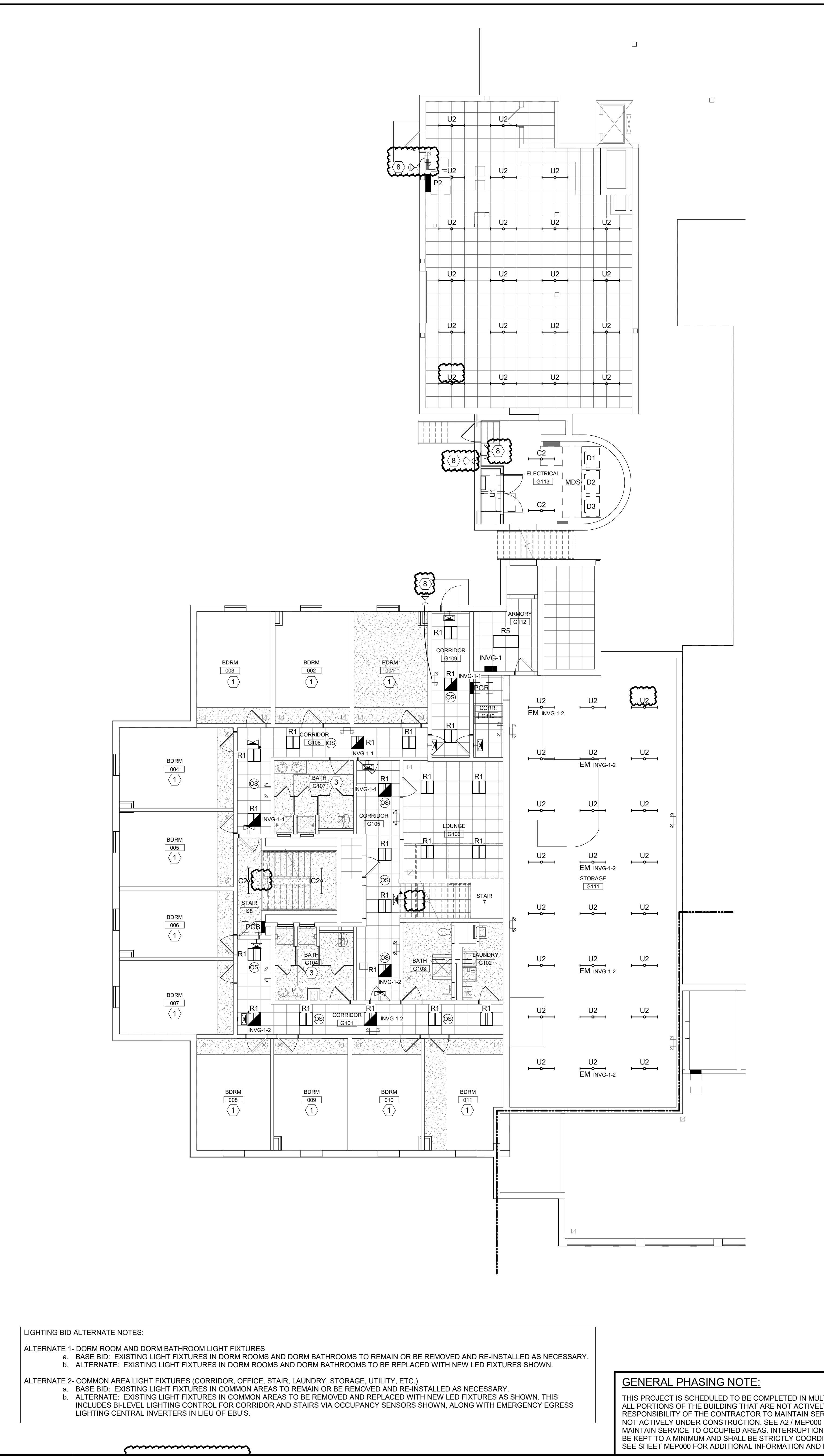
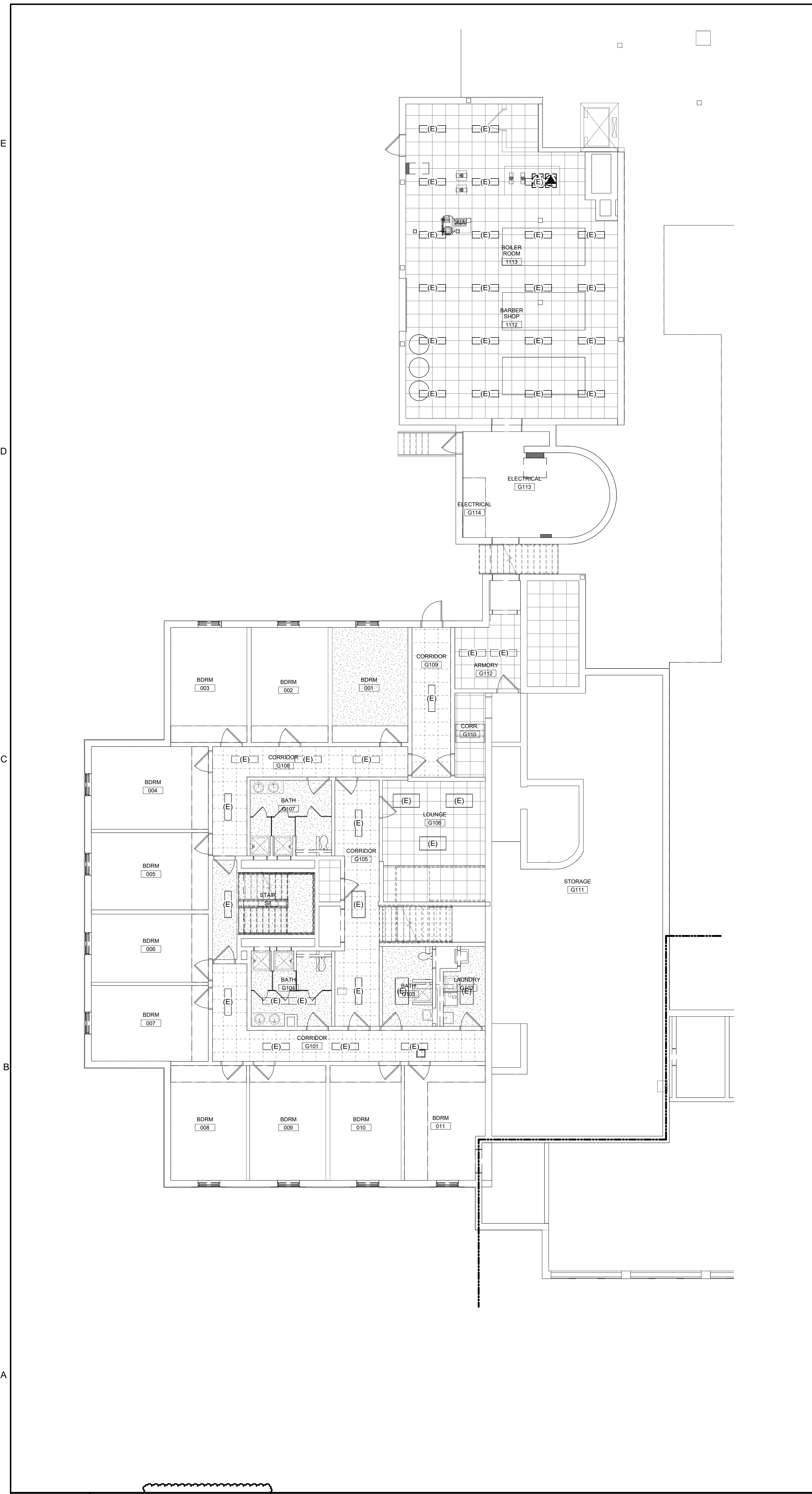
No. | Date | Description
Revision Schedule

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

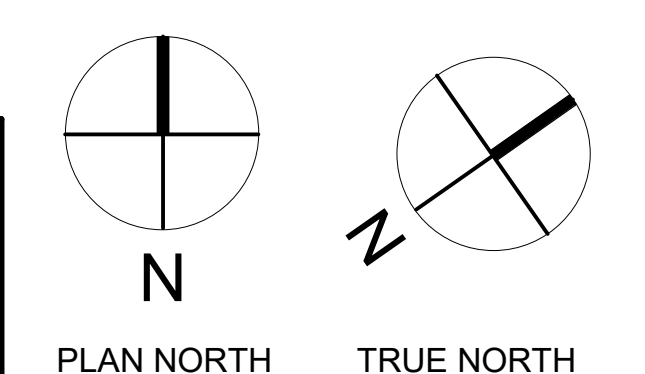
TITLE
PHASE 1
INTERMEDIATE
FLOOR LIGHTING
REMOVALS & NEW
PLANS

SHEET
EL101.0



LIGHTING BID ALTERNATE NOTES:
ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE AS / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

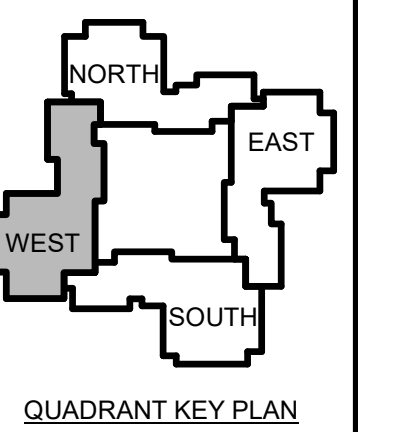


D1 KEYNOTES- LIGHTING REMOVALS

- LIGHTING CONTROL GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 - IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 - IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

A1 KEYNOTES- NEW LIGHTING

- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

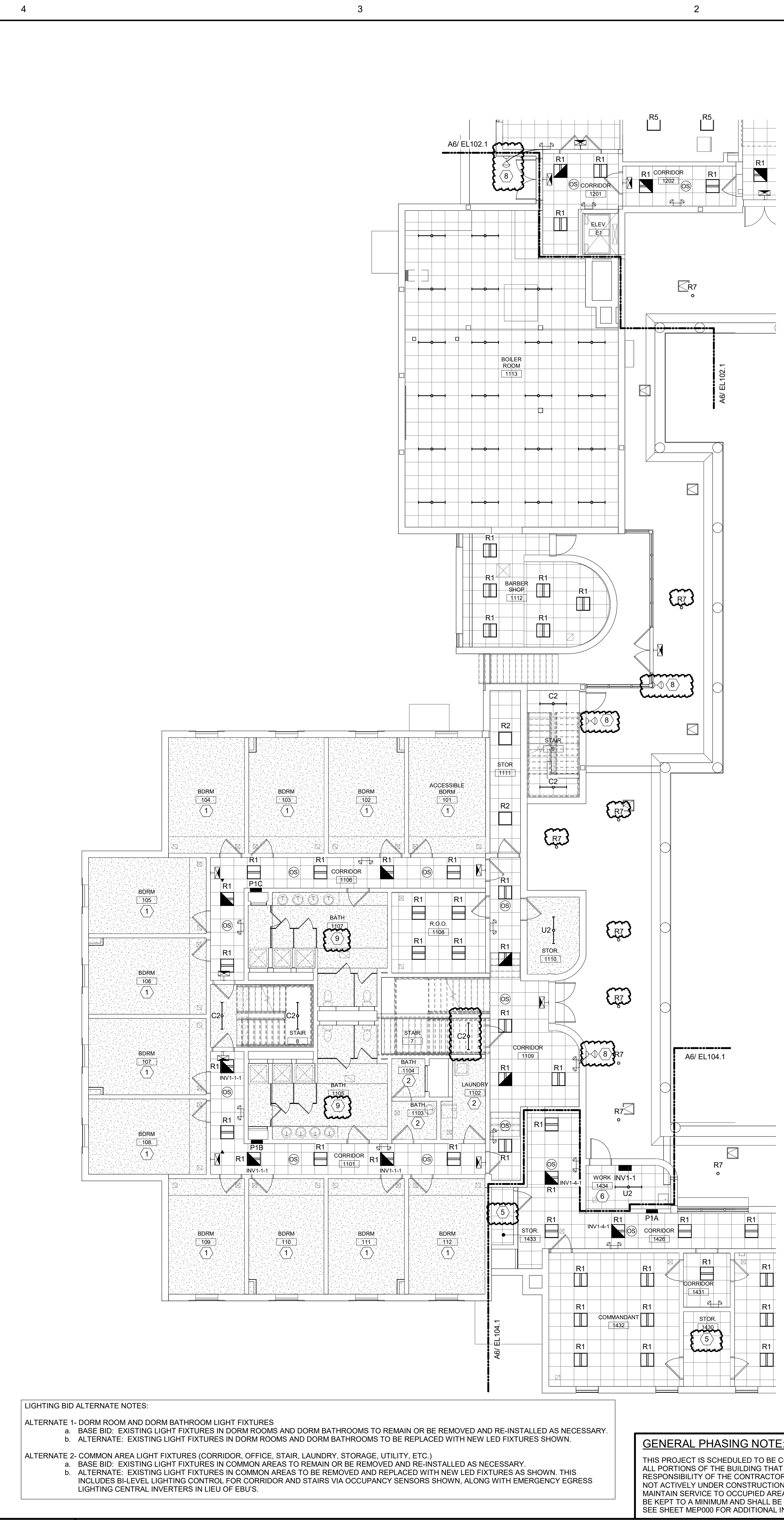
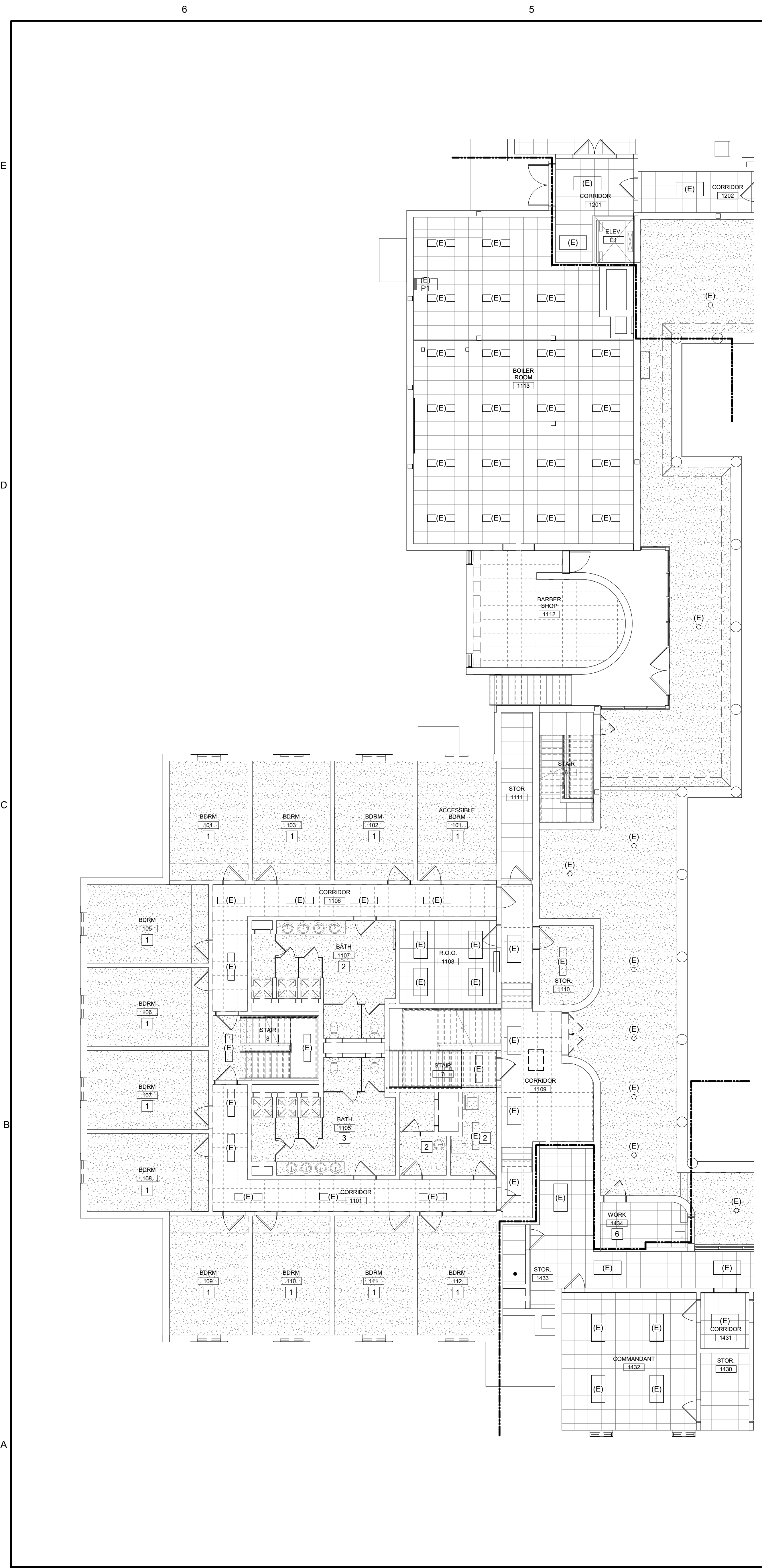
| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

| | |
|---------|--|
| JOB NO. | 076982 |
| ISSUE | 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING |
| DATE | 11/22/2023 |

TITLE
PHASE 1 FIRST FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL101.1



LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES

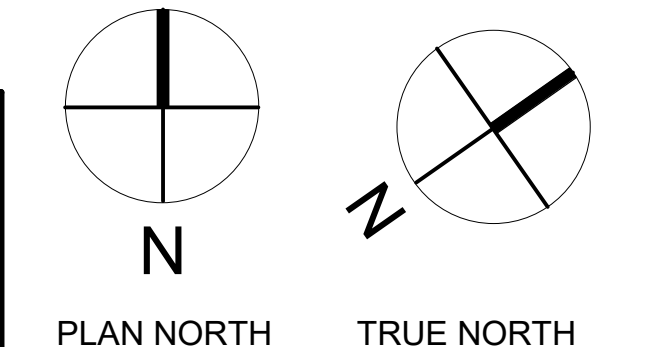
a. BASE BID- EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)

a. BASE BID- EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES B-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBU'S.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



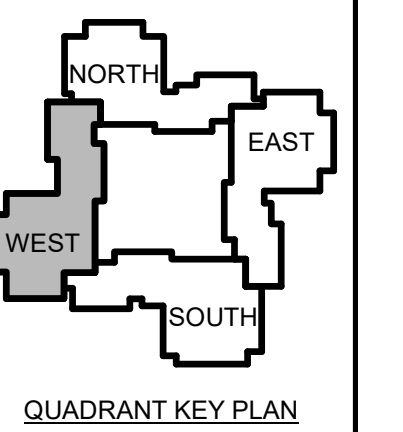
| | |
|----|-----------------------------|
| D1 | KEYNOTES- LIGHTING REMOVALS |
|----|-----------------------------|

- LIGHTING CONTROL GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 - IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 - IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

| | |
|----|------------------------|
| A1 | KEYNOTES- NEW LIGHTING |
|----|------------------------|

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| | |
|----------------------|----------------------|
| 1 | 12-5 Addendum #1 -23 |
| No. Date Description | Revision Schedule |

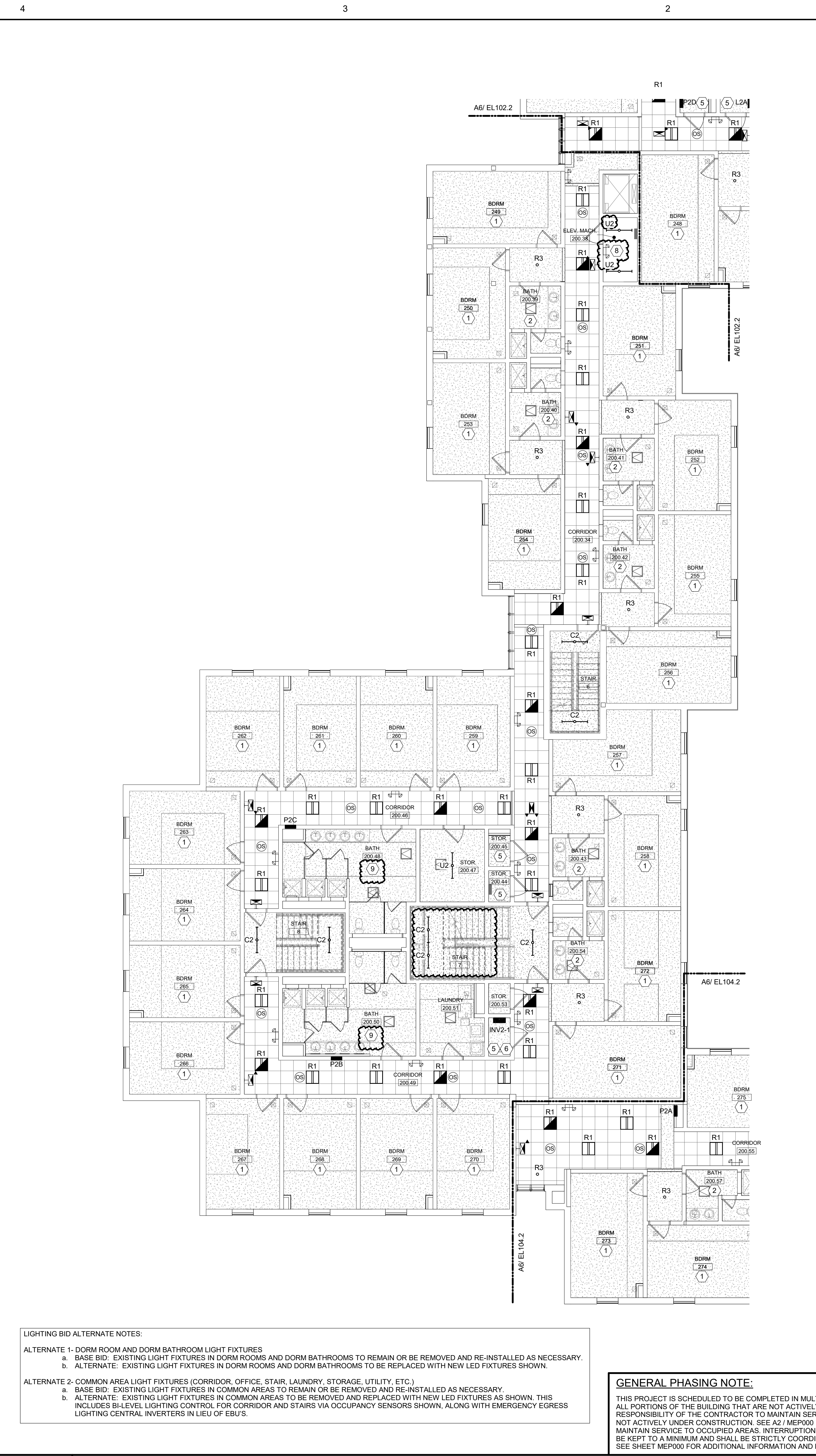
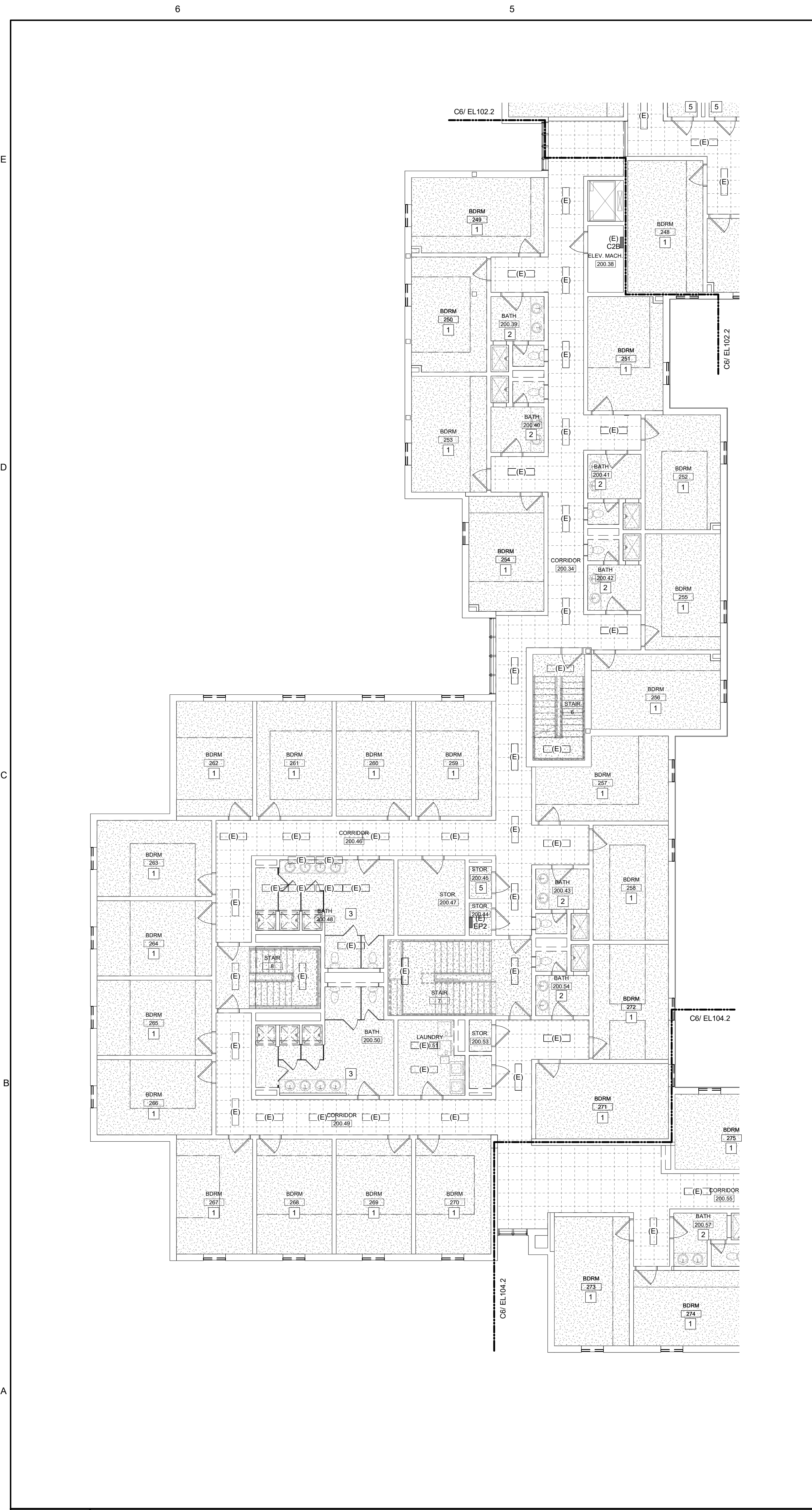
NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 SECOND FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL101.2

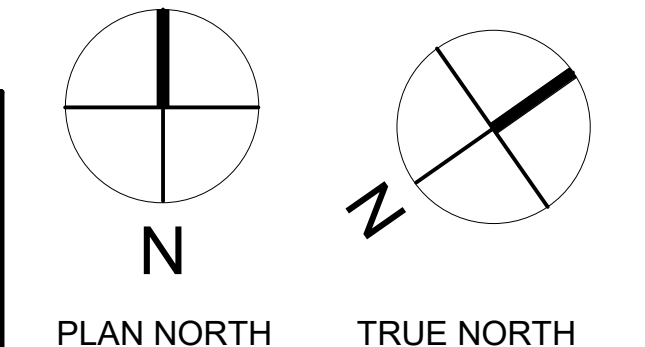


LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



D1 KEYNOTES- LIGHTING REMOVALS

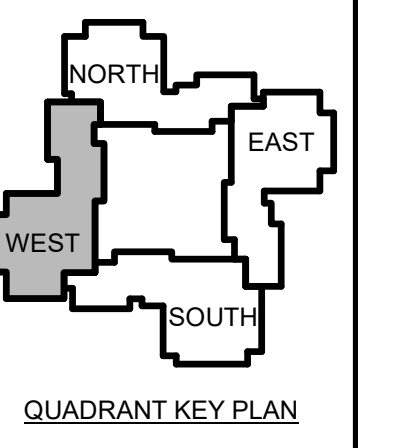
- LIGHTING CONTROL GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 - IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 - IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

A1 KEYNOTES- NEW LIGHTING

- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|----------------------|-------------------|-----|
| 1 | 12-5 Addendum #1 | -23 |
| No. Date Description | Revision Schedule | |

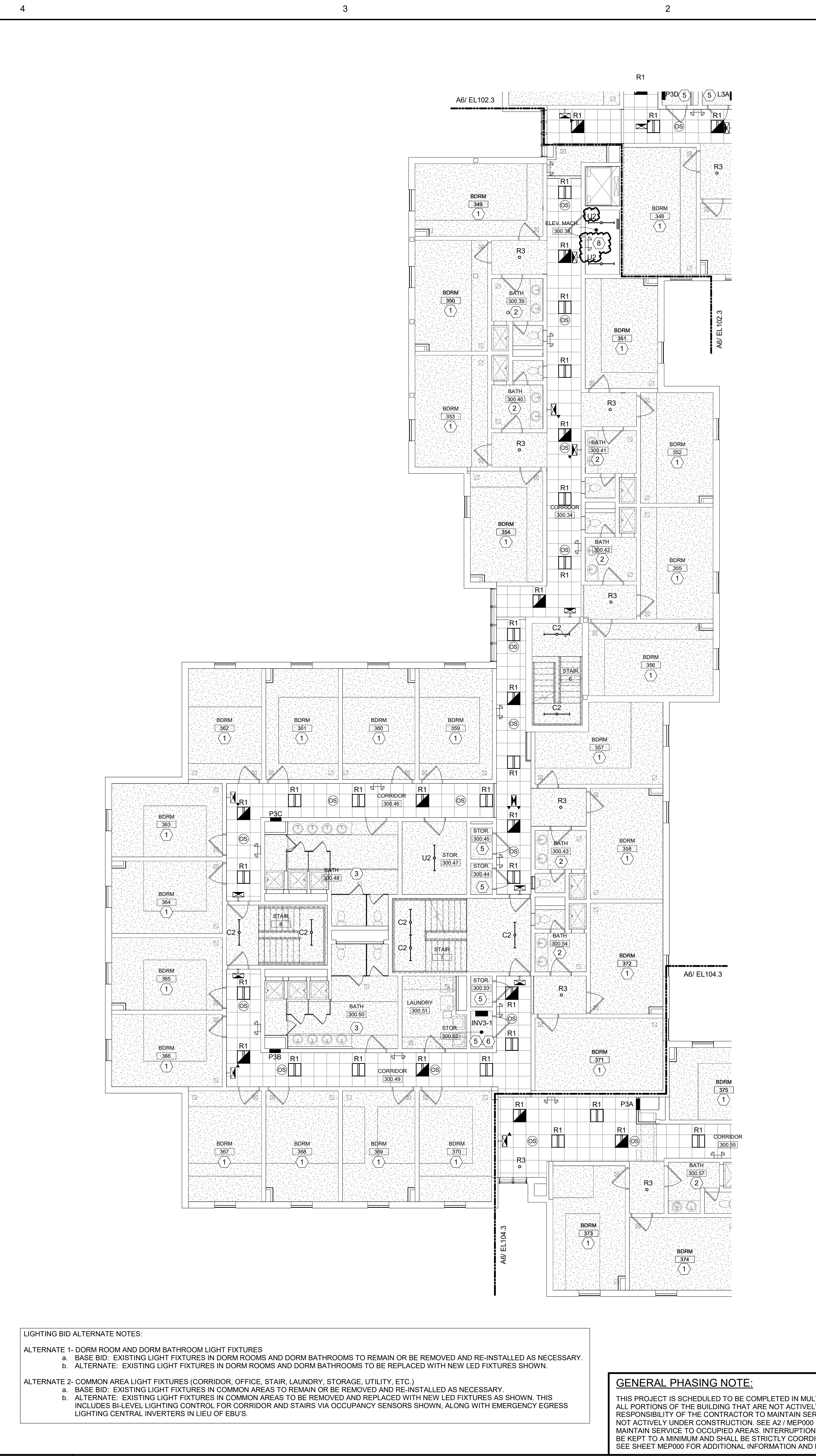
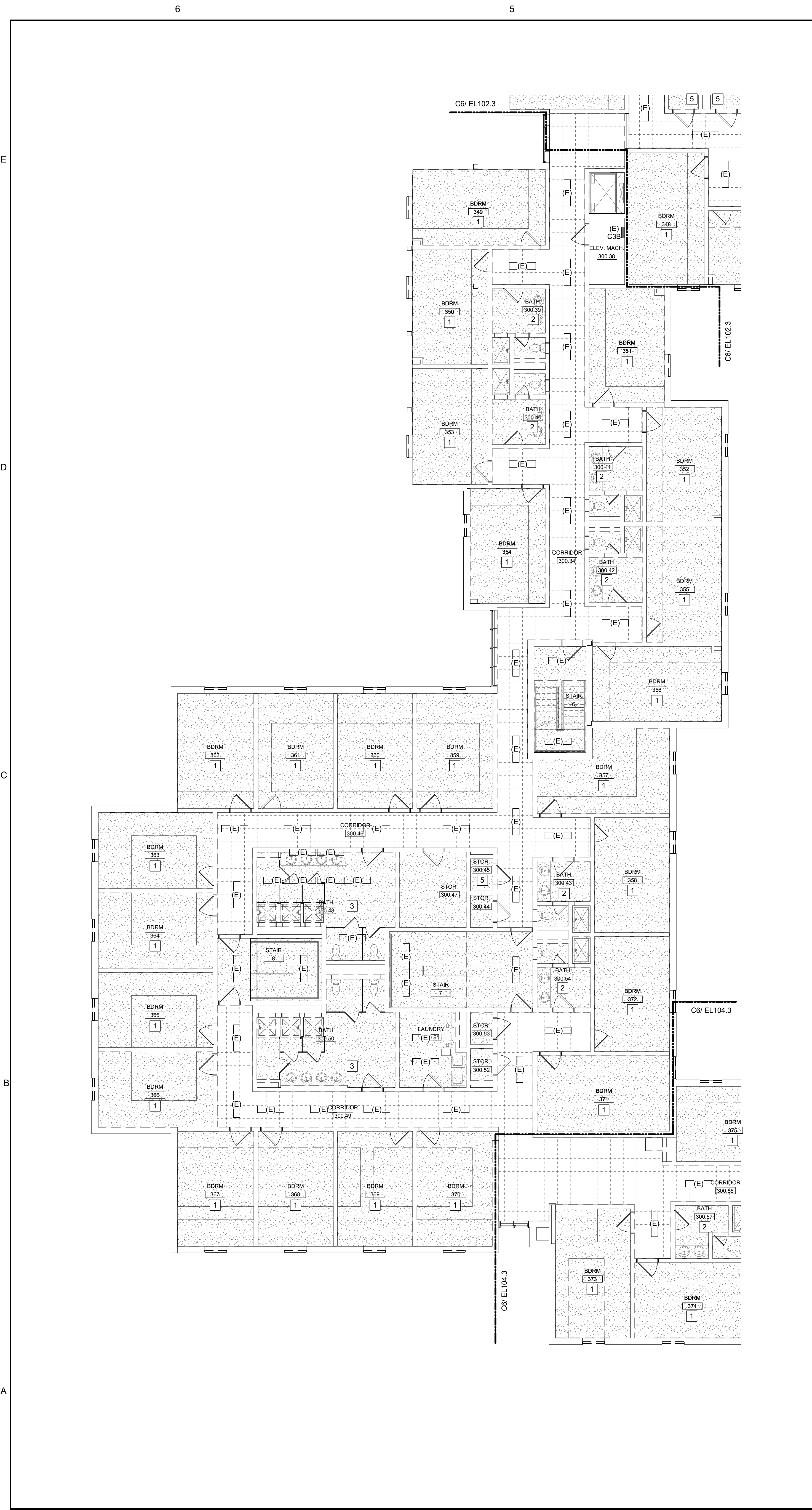
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 THIRD FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL101.3

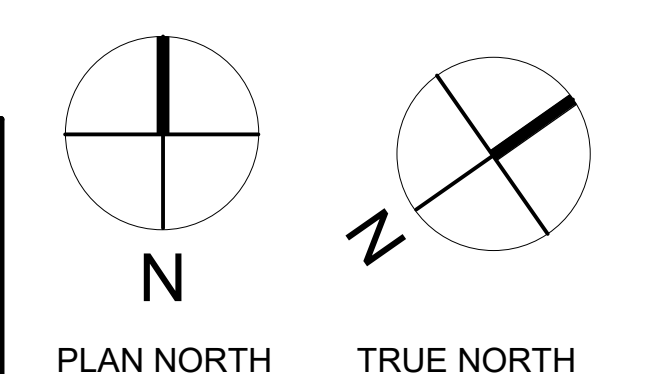


LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



D1 KEYNOTES- LIGHTING REMOVALS

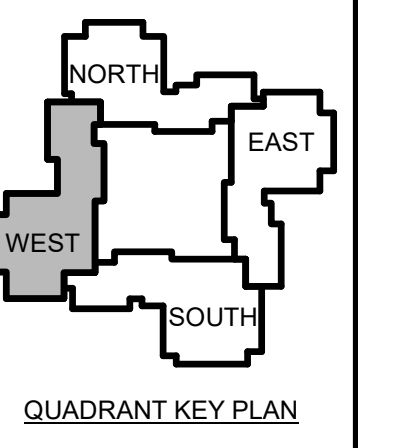
- LIGHTING CONTROL GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 - IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 - IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

A1 KEYNOTES- NEW LIGHTING

- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|-------------------|------|-------------|
| 1 | 12-5 | Addendum #1 |
| -23 | | |
| No. | Date | Description |
| Revision Schedule | | |

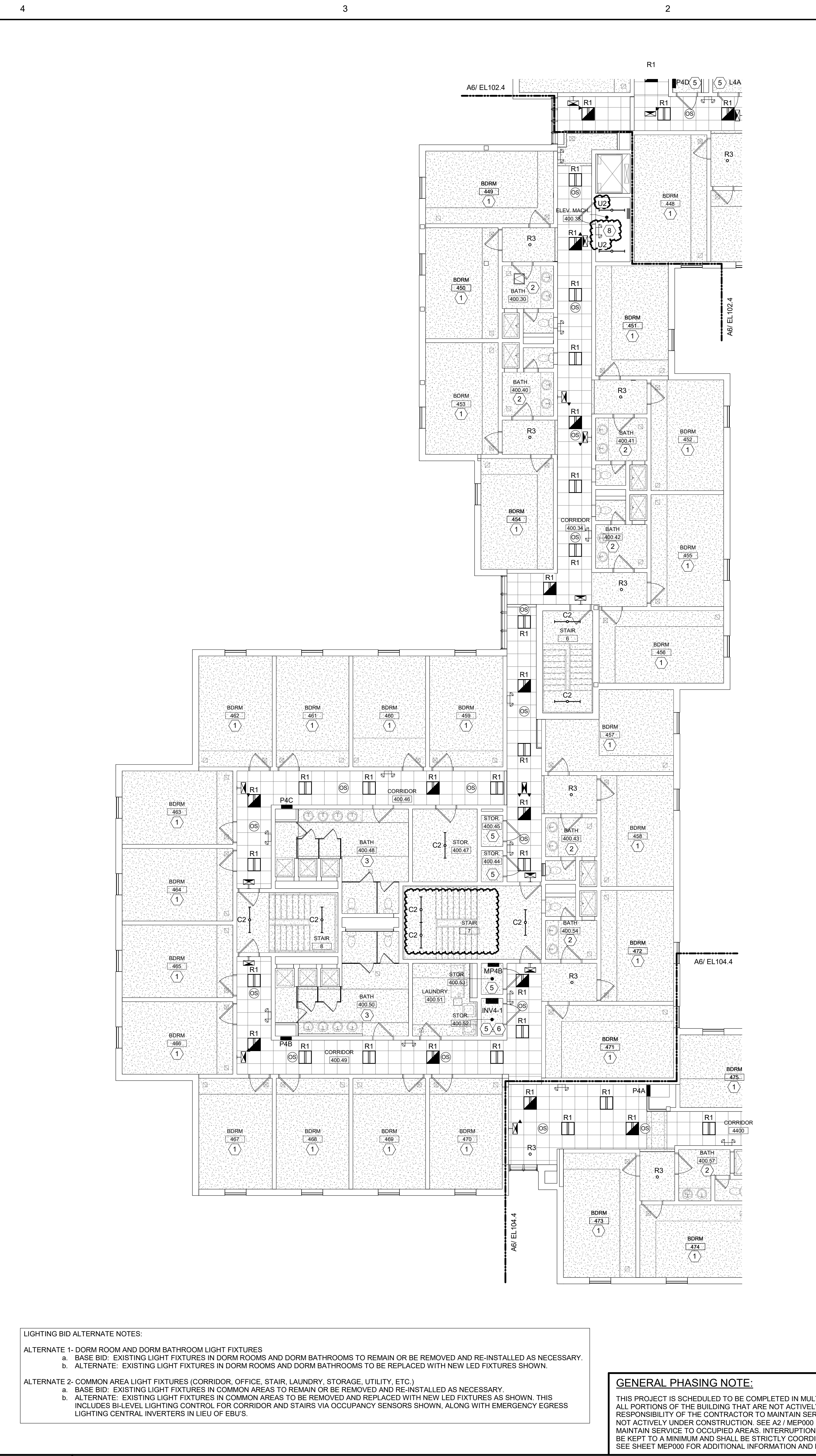
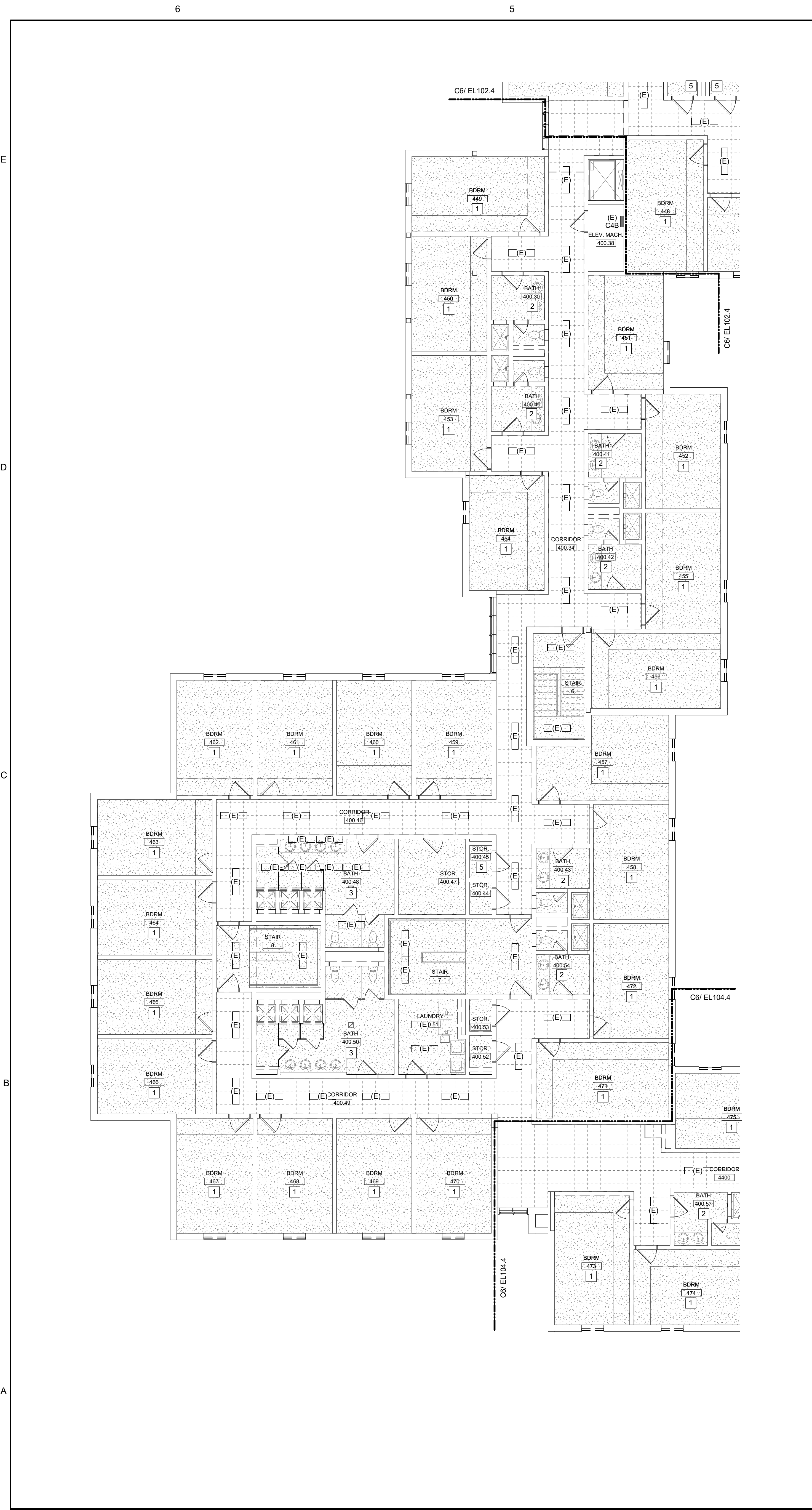
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
PHASE 1 FOURTH
FLOOR LIGHTING
REMOVALS & NEW
PLANS

SHEET
EL101.4

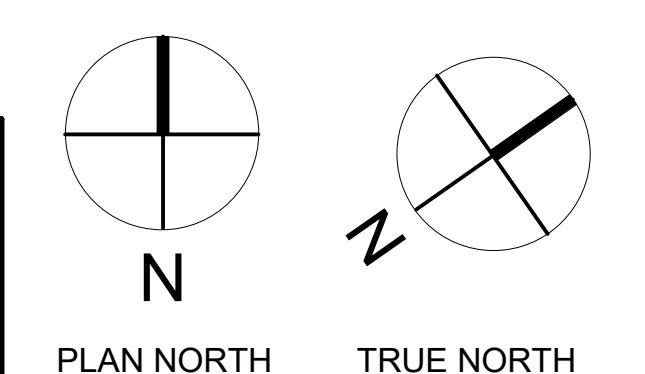


LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID- EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE- EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID- EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE- EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

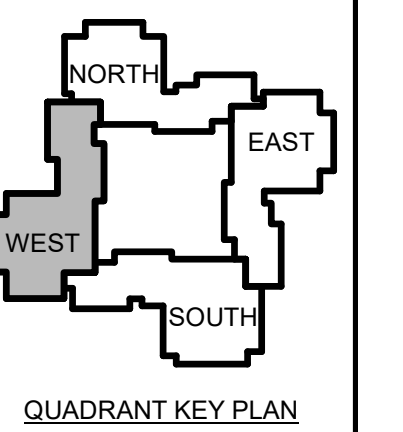


D1 KEYNOTES- LIGHTING REMOVALS

- LIGHTING CONTROL GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 - IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 - IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

A1 KEYNOTES- NEW LIGHTING

- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
PHASE 1 GROUND
FLOOR LIGHTING
REMOVALS & NEW
PLANS

SHEET
EL101.G

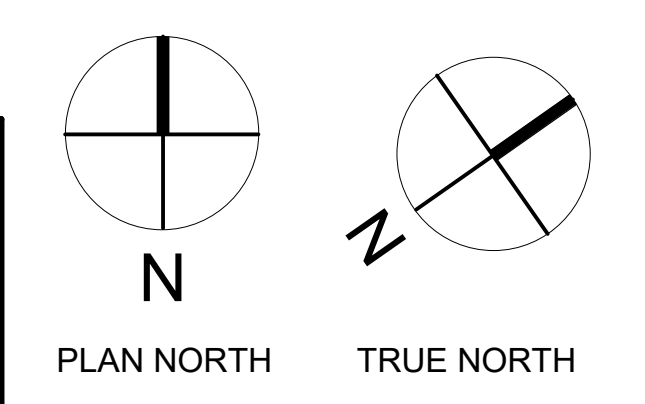
D1 KEYNOTES- LIGHTING REMOVALS

- LIGHTING CONTROL GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 - IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 - IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

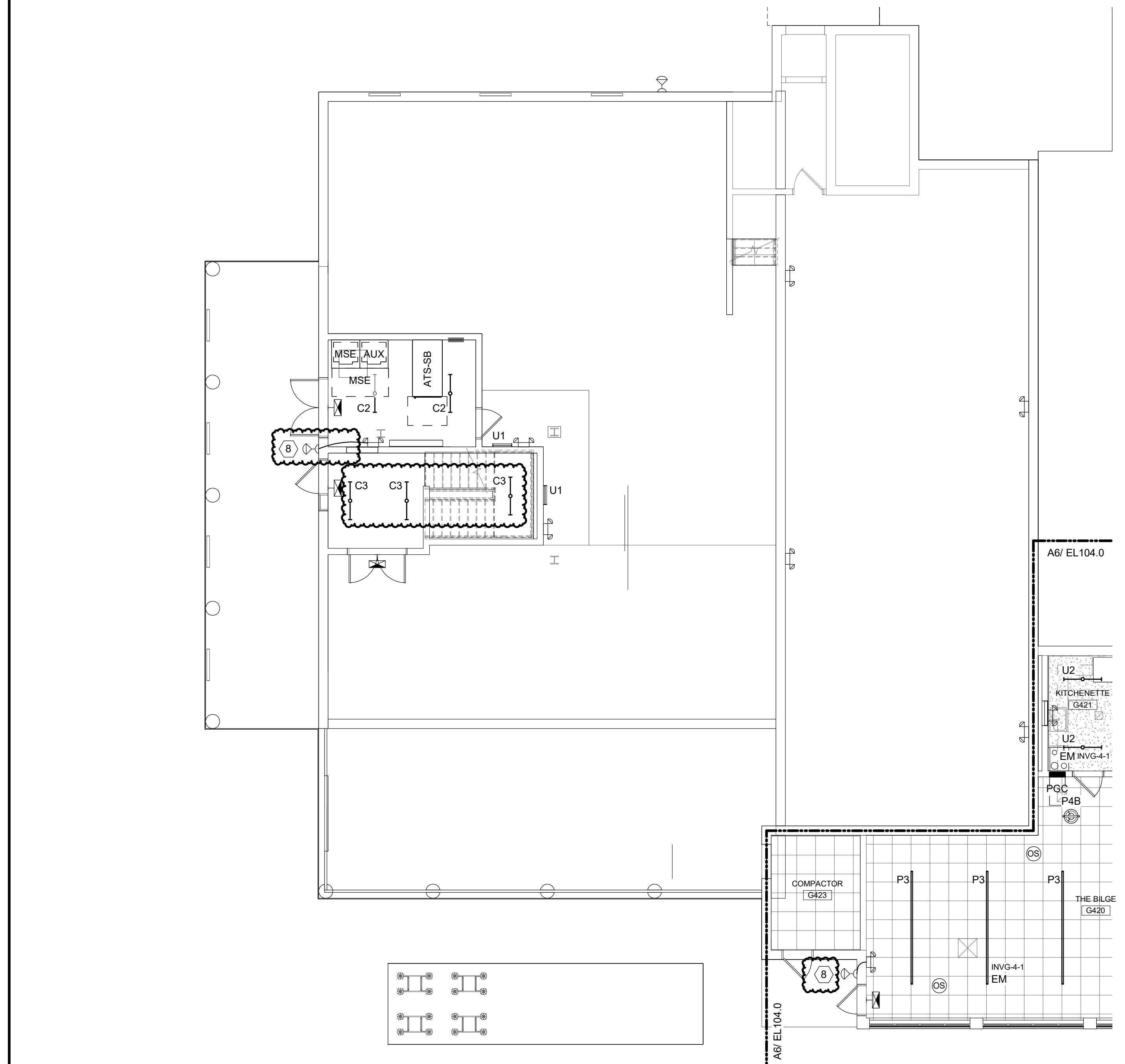
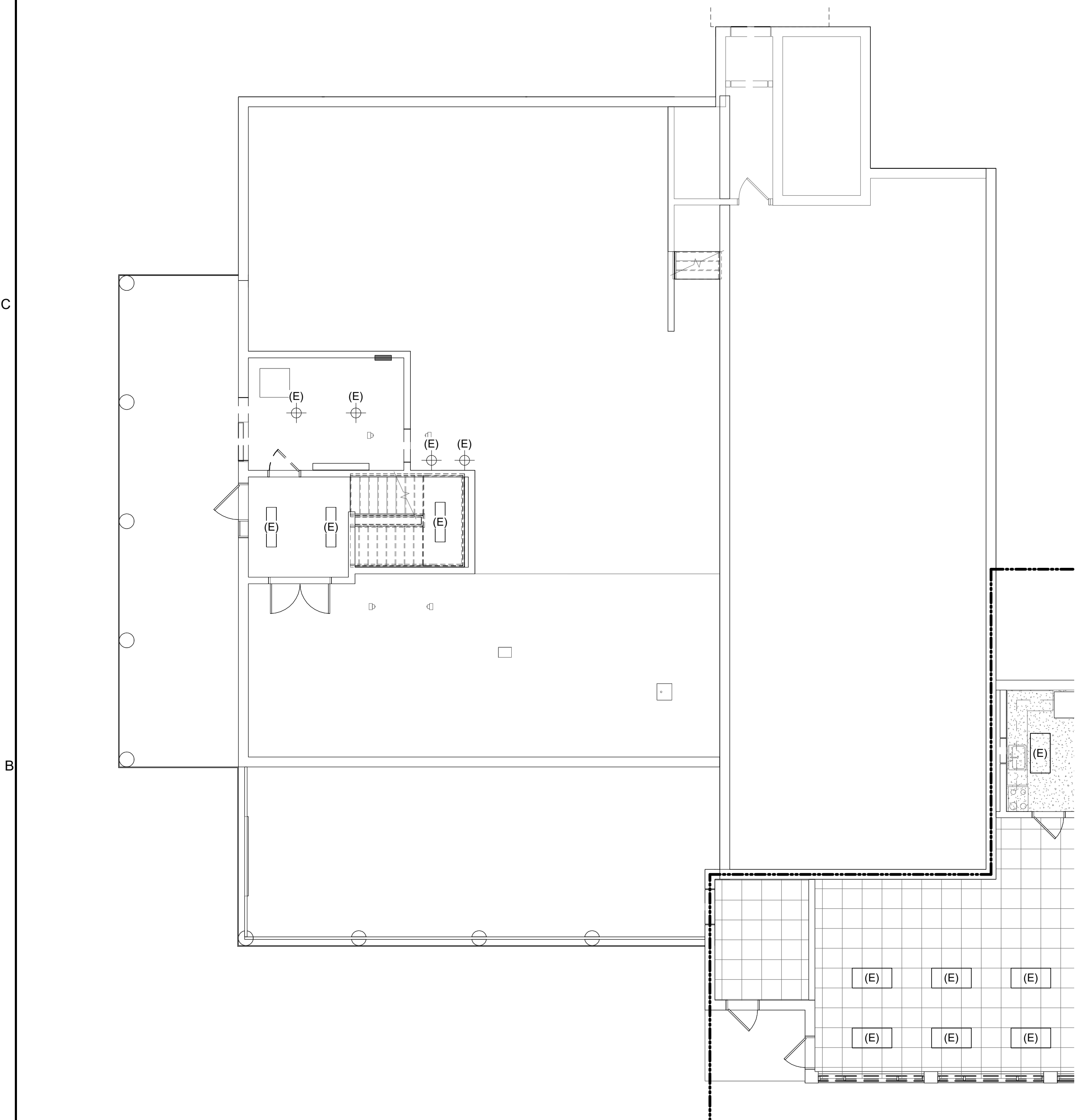
- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

A1 KEYNOTES- NEW LIGHTING

GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

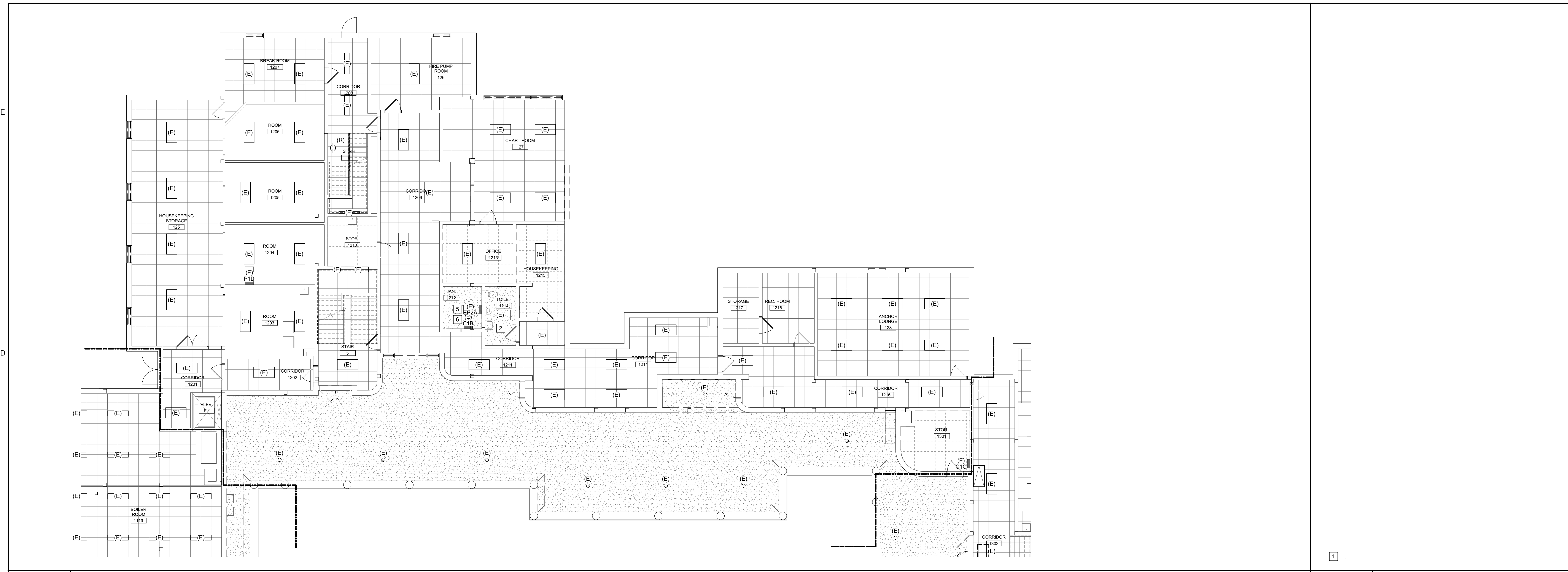


- LIGHTING BID ALTERNATE NOTES:**
- ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES**
- BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 - ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
- ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)**
- BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 - ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.



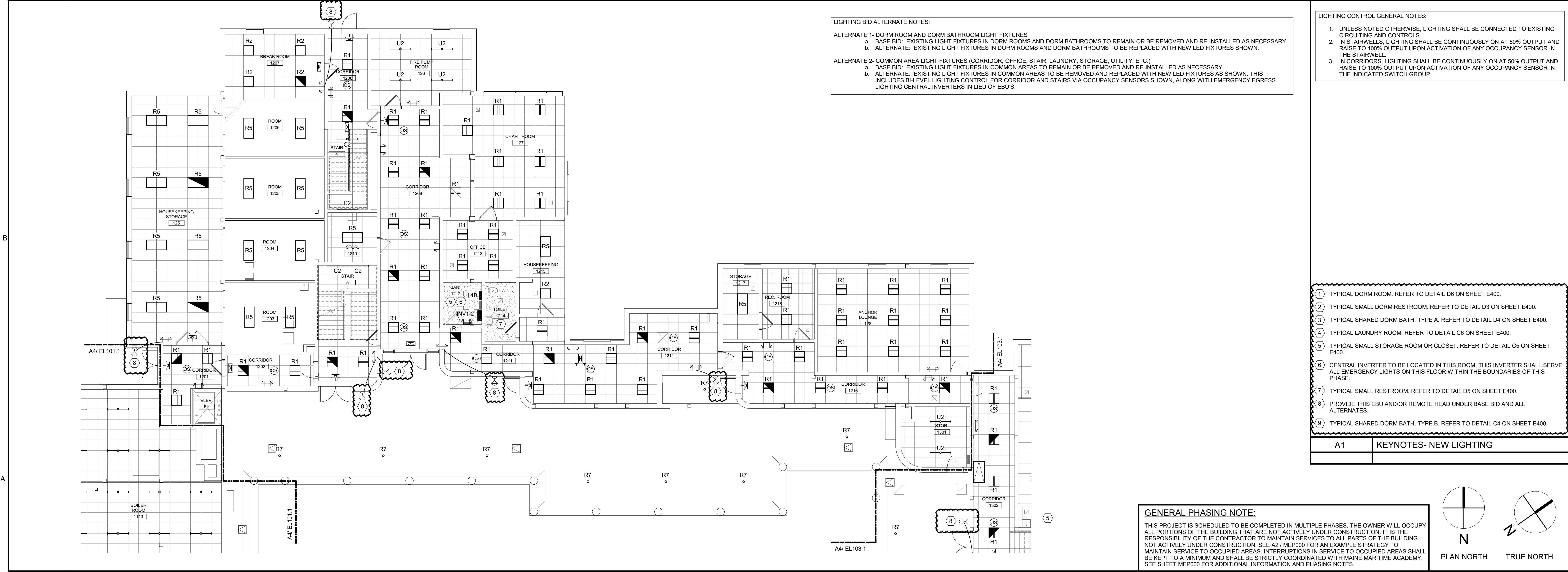
COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



C6 PHASE 2 FIRST FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

D1 KEYNOTES- LIGHTING REMOVALS

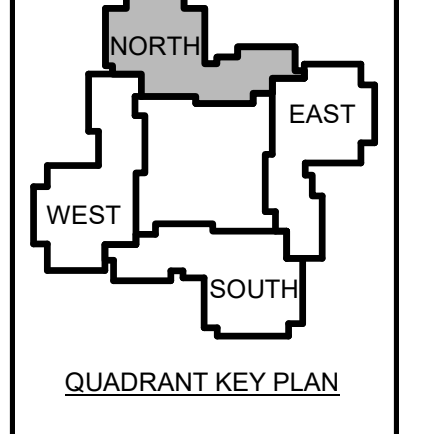


A6 PHASE 2 FIRST FLOOR LIGHTING RCP
 1/8" = 1'-0"

KEYNOTES- LIGHTING REMOVALS

LIGHTING BID ALTERNATE NOTES:
 ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
 ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

LIGHTING CONTROL GENERAL NOTES:
 1. UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 2. IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 3. IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

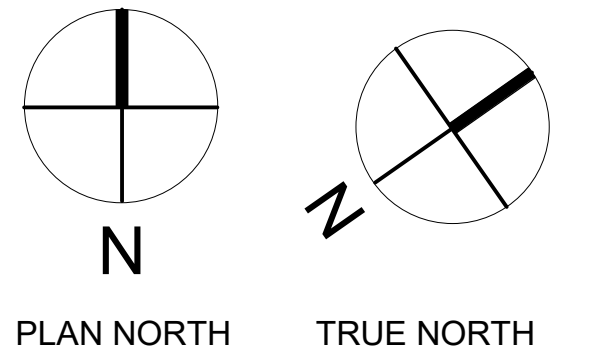
NOT FOR CONSTRUCTION

| | | |
|-----|------|-------------------|
| No. | Date | Description |
| | | Revision Schedule |

- 1) TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- 2) TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- 3) TYPICAL SHARED DORM BATH. TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4) TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5) TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- 6) CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- 7) TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- 8) PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- 9) TYPICAL SHARED DORM BATH. TYPE B. REFER TO DETAIL C4 ON SHEET E400.

A1 KEYNOTES- NEW LIGHTING

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

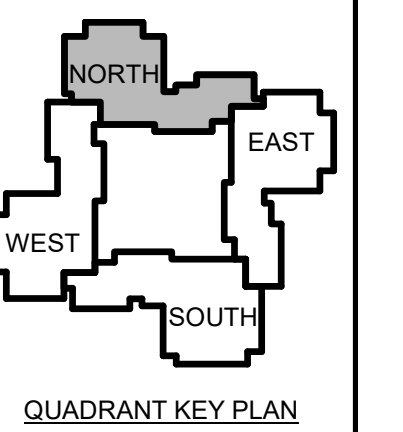


TITLE
 PHASE 2 FIRST FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL102.1

COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

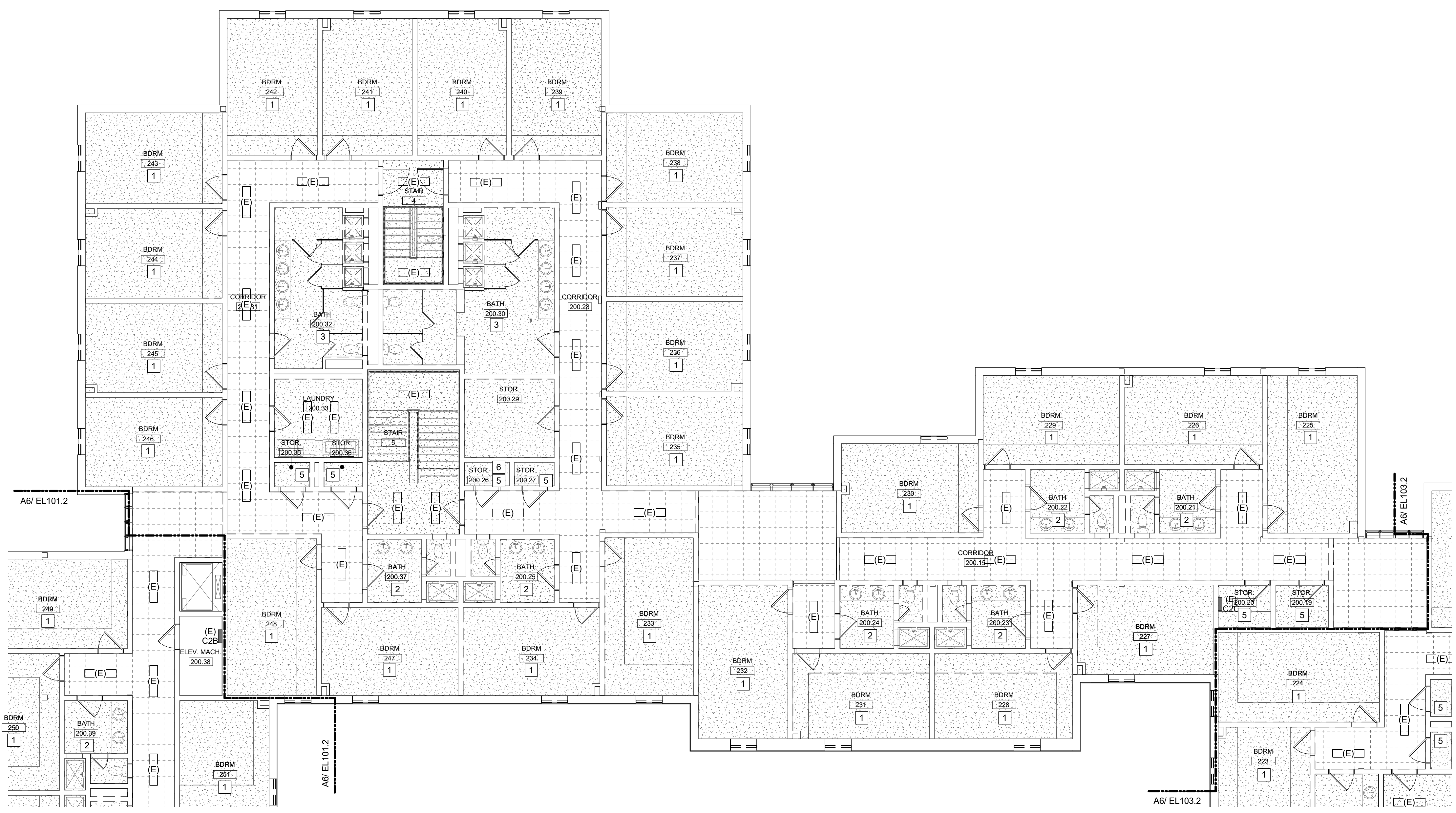
No. Date Description
 Revision Schedule

JOB NO.
076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 2 SECOND
 FLOOR LIGHTING
 REMOVALS & NEW
 PLANS

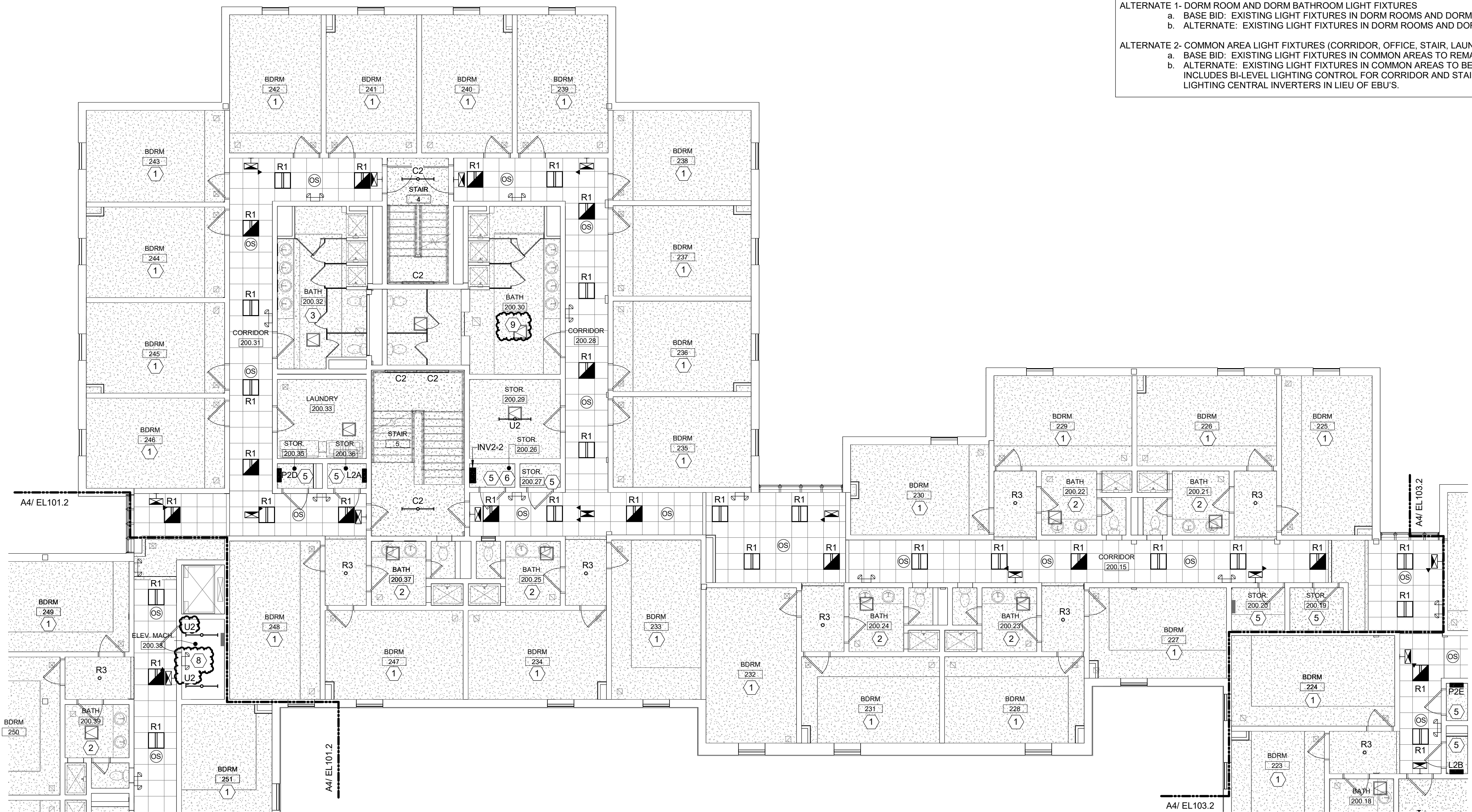
SHEET
EL102.2



D1 KEYNOTES- LIGHTING REMOVALS

- LIGHTING CONTROL GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 - IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 - IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

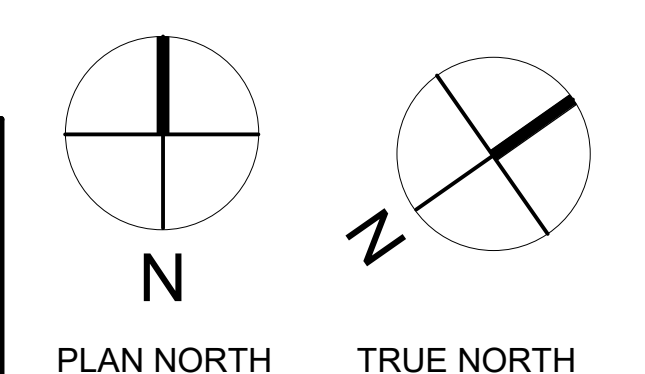
- LIGHTING BID ALTERNATE NOTES:**
- ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
- BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 - ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
- ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
- BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 - ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.



- KEYNOTES- NEW LIGHTING**
- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
 - TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
 - TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
 - TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
 - TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
 - CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
 - TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
 - PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
 - TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

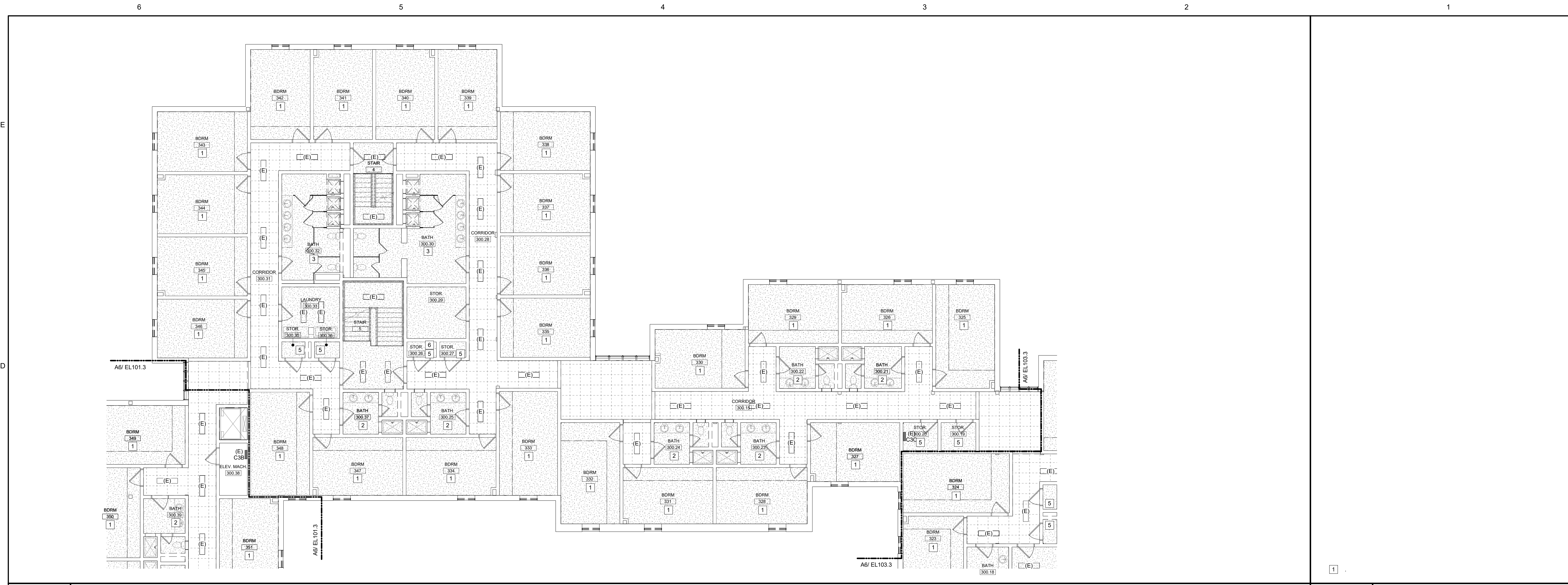
A1 KEYNOTES- NEW LIGHTING

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



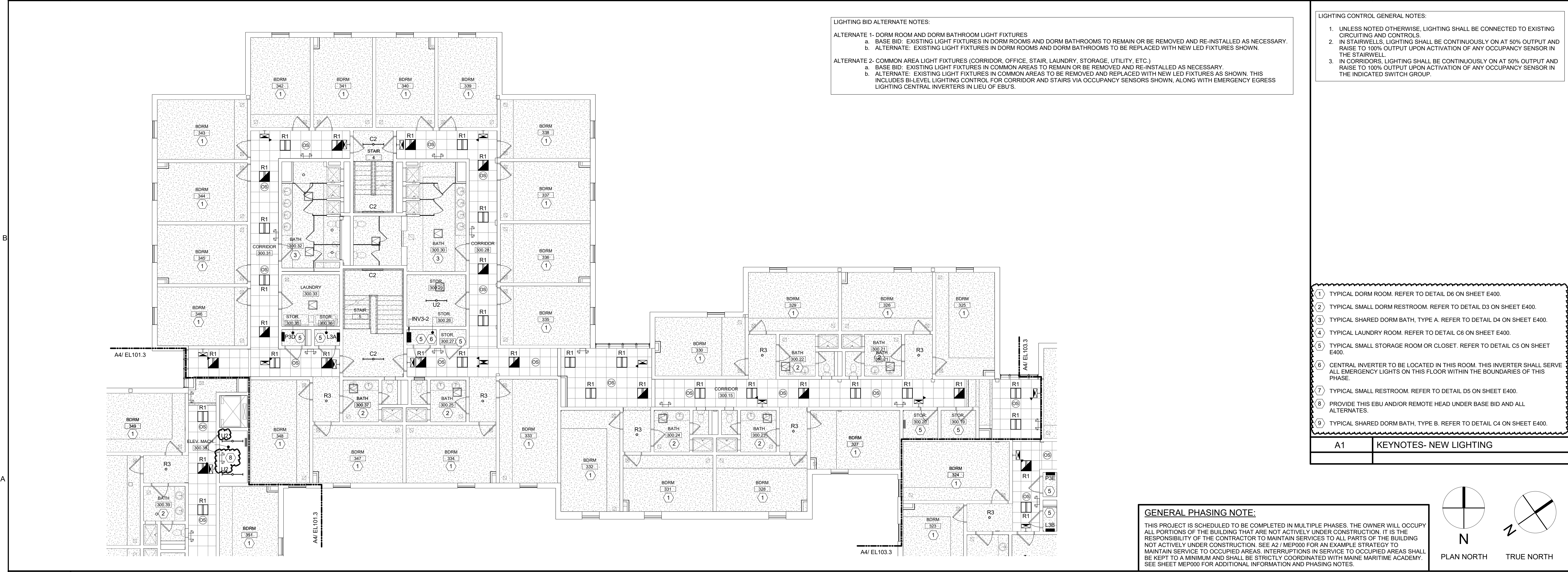
C6 PHASE 2 SECOND FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

A6 PHASE 2 SECOND FLOOR LIGHTING RCP
 1/8" = 1'-0"



C6 PHASE 2 THIRD FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

D1 KEYNOTES- LIGHTING REMOVALS

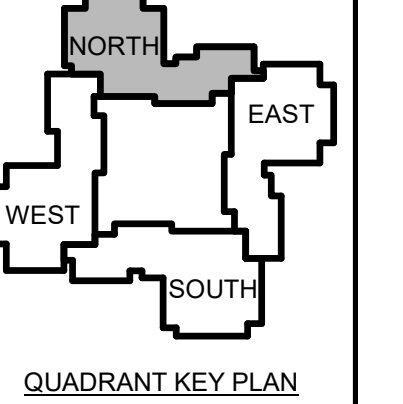


A6 PHASE 2 THIRD FLOOR LIGHTING RCP
 1/8" = 1'-0"

D1 KEYNOTES- LIGHTING REMOVALS

LIGHTING BID ALTERNATE NOTES:
 ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
 ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

LIGHTING CONTROL GENERAL NOTES:
 1. UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 2. IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 3. IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.



12-5 Addendum #1-23

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

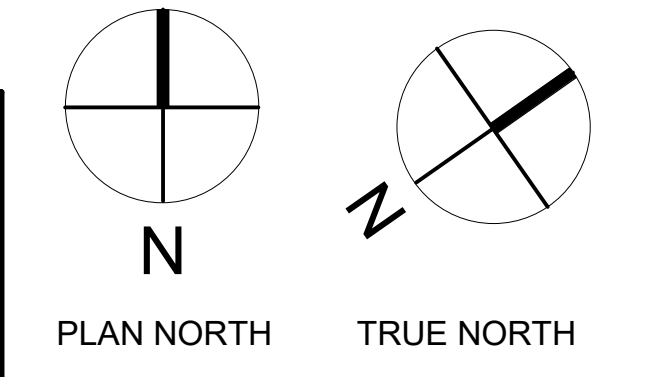
JOB NO. 076982

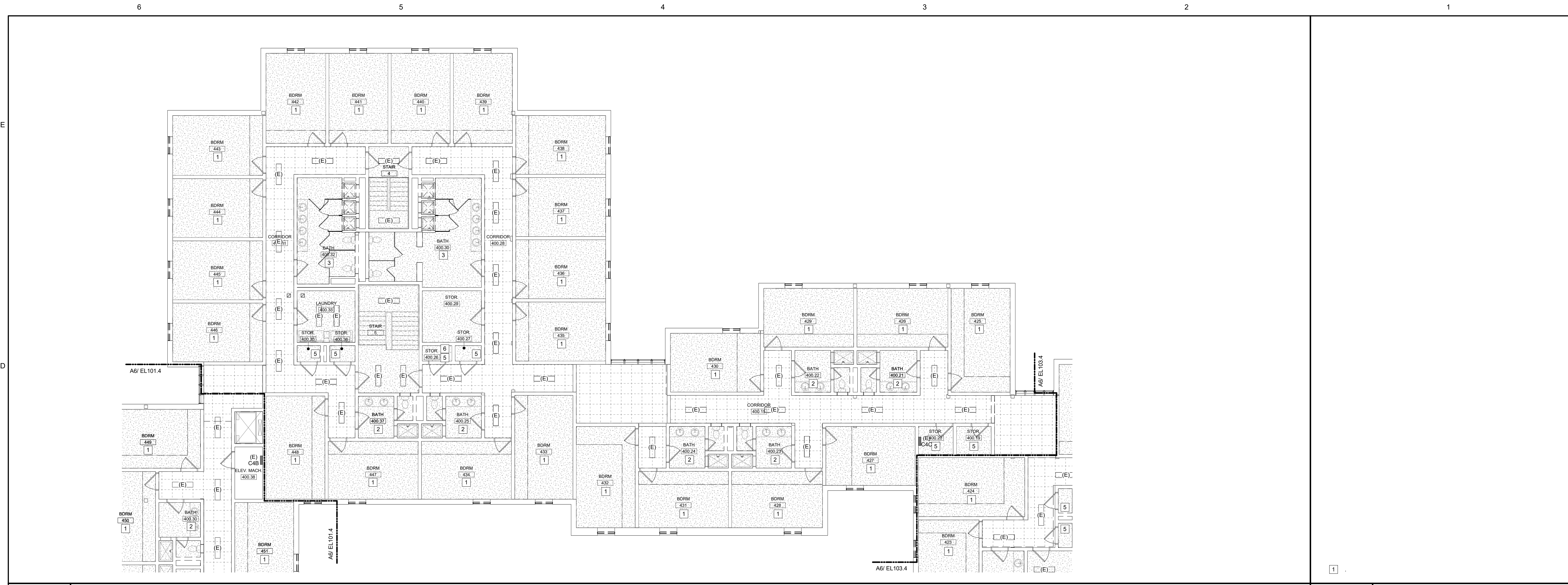
ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

- 1) TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- 2) TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- 3) TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4) TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5) TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- 6) CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- 7) TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- 8) PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- 9) TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

A1 KEYNOTES- NEW LIGHTING

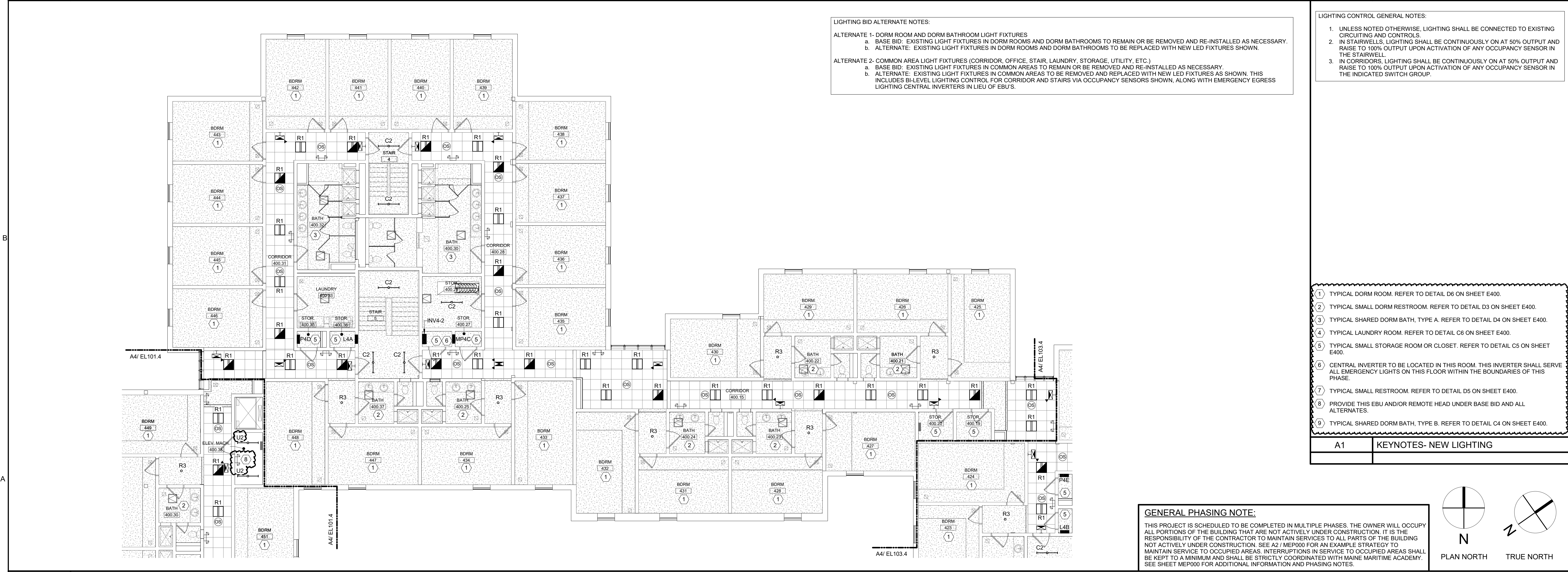
GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





C6 PHASE 2 FOURTH FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

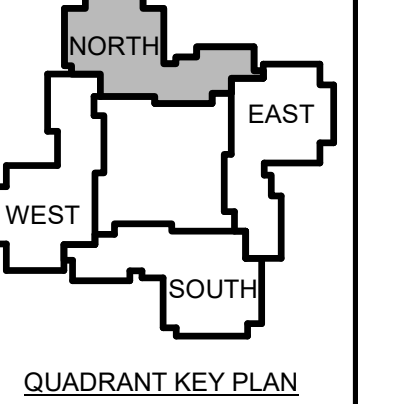
D1 KEYNOTES- LIGHTING REMOVALS



A6 PHASE 2 FOURTH FLOOR LIGHTING RCP
 1/8" = 1'-0"

LIGHTING BID ALTERNATE NOTES:
 ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
 ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

LIGHTING CONTROL GENERAL NOTES:
 1. UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 2. IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 3. IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.



QUADRANT KEY PLAN

| No. | Date | Description |
|-----|---------|-------------|
| 1 | 12-5-23 | Addendum #1 |

NOT FOR CONSTRUCTION

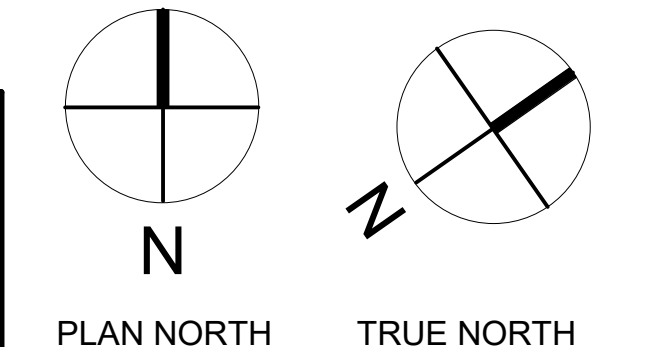
JOB NO. 076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

- 1) TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- 2) TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- 3) TYPICAL SHARED DORM BATH. TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4) TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5) TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- 6) CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- 7) TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- 8) PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- 9) TYPICAL SHARED DORM BATH. TYPE B. REFER TO DETAIL C4 ON SHEET E400.

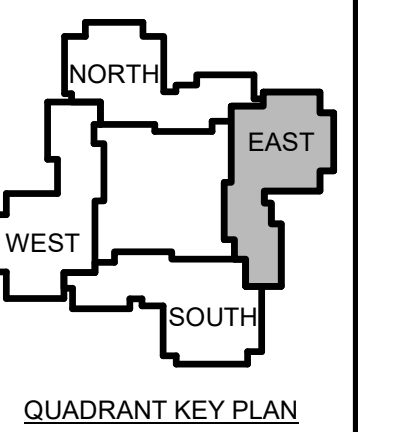
A1 KEYNOTES- NEW LIGHTING

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



TITLE
 PHASE 2 FOURTH FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL102.4



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

No. Date Description
 Revision Schedule

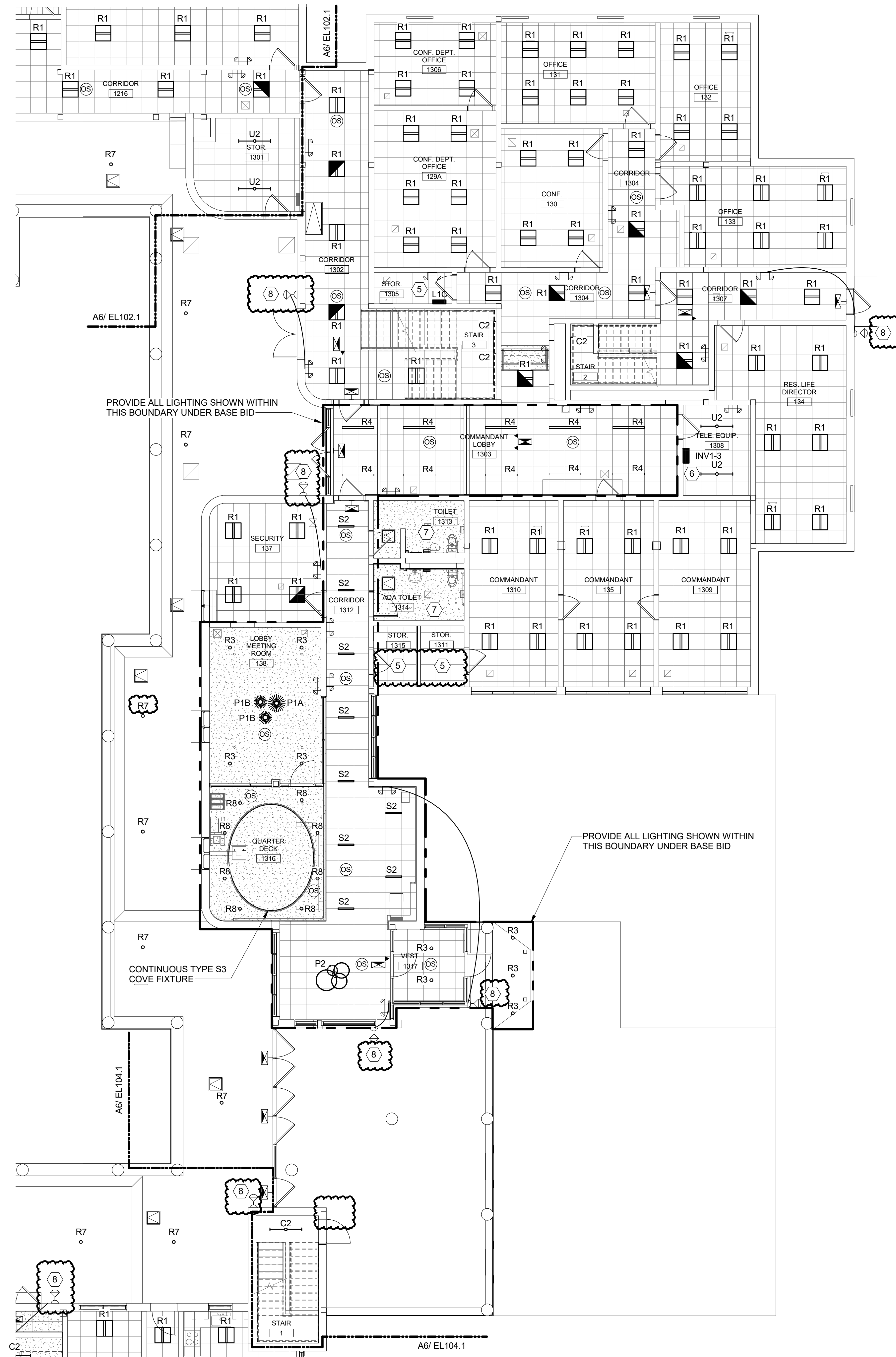
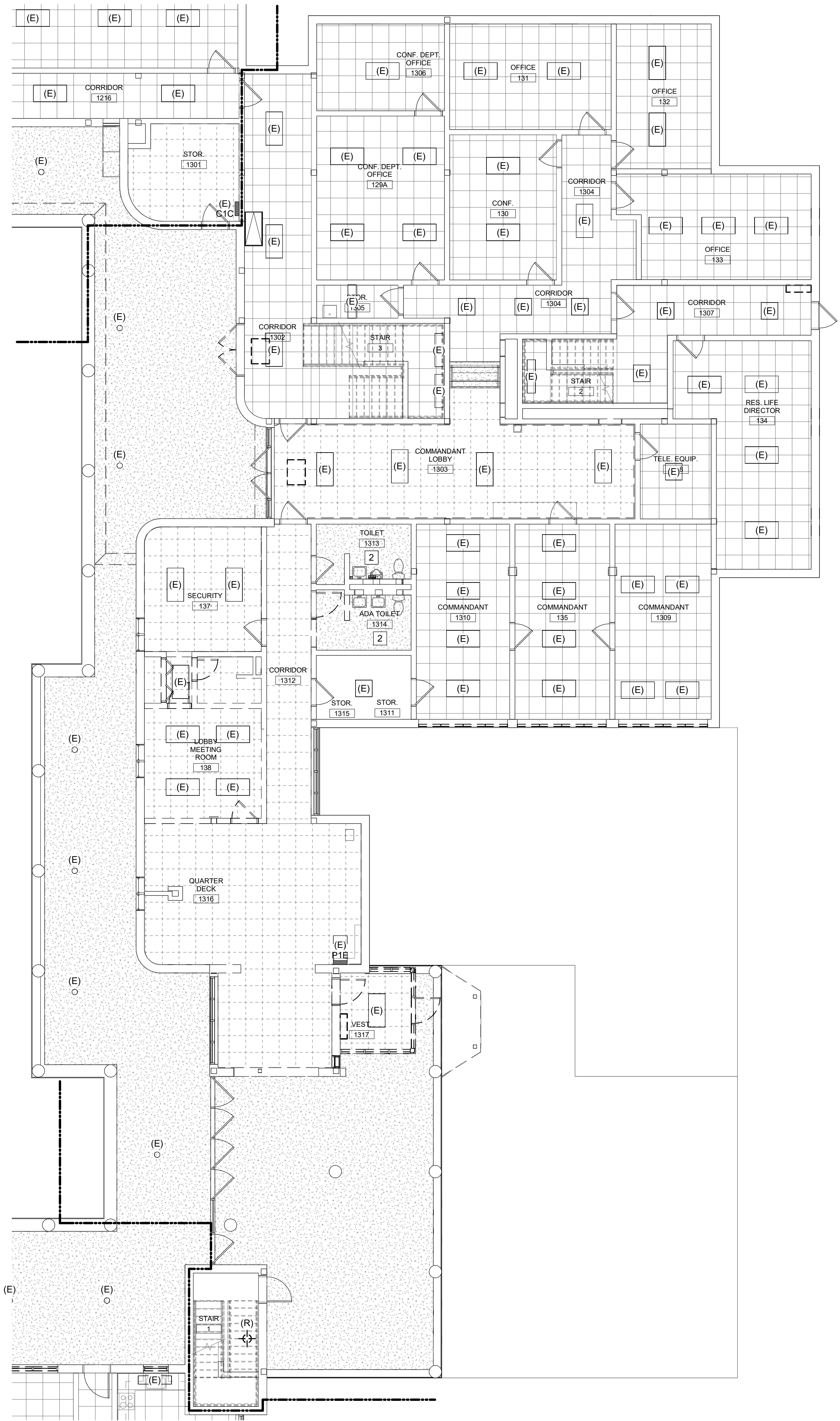
JOB NO.
076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 3 FIRST
 FLOOR LIGHTING
 REMOVALS & NEW
 PLANS

SHEET
EL103.1

LIGHTING BID ALTERNATE NOTES:
 ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
 ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BILEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.



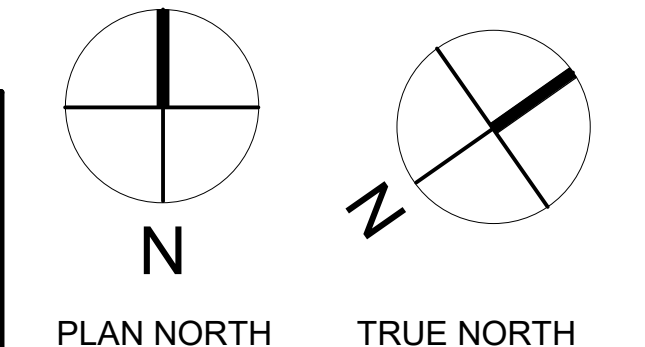
D1 KEYNOTES- LIGHTING REMOVALS

- LIGHTING CONTROL GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 - IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 - IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

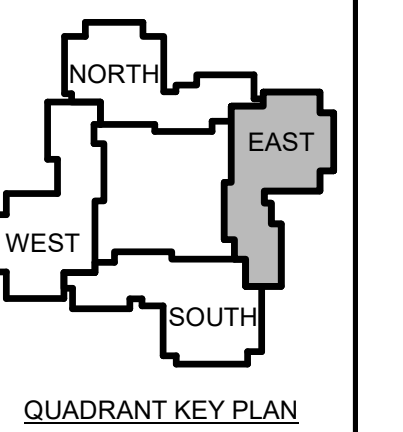
- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

A1 KEYNOTES- NEW LIGHTING

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE AS / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

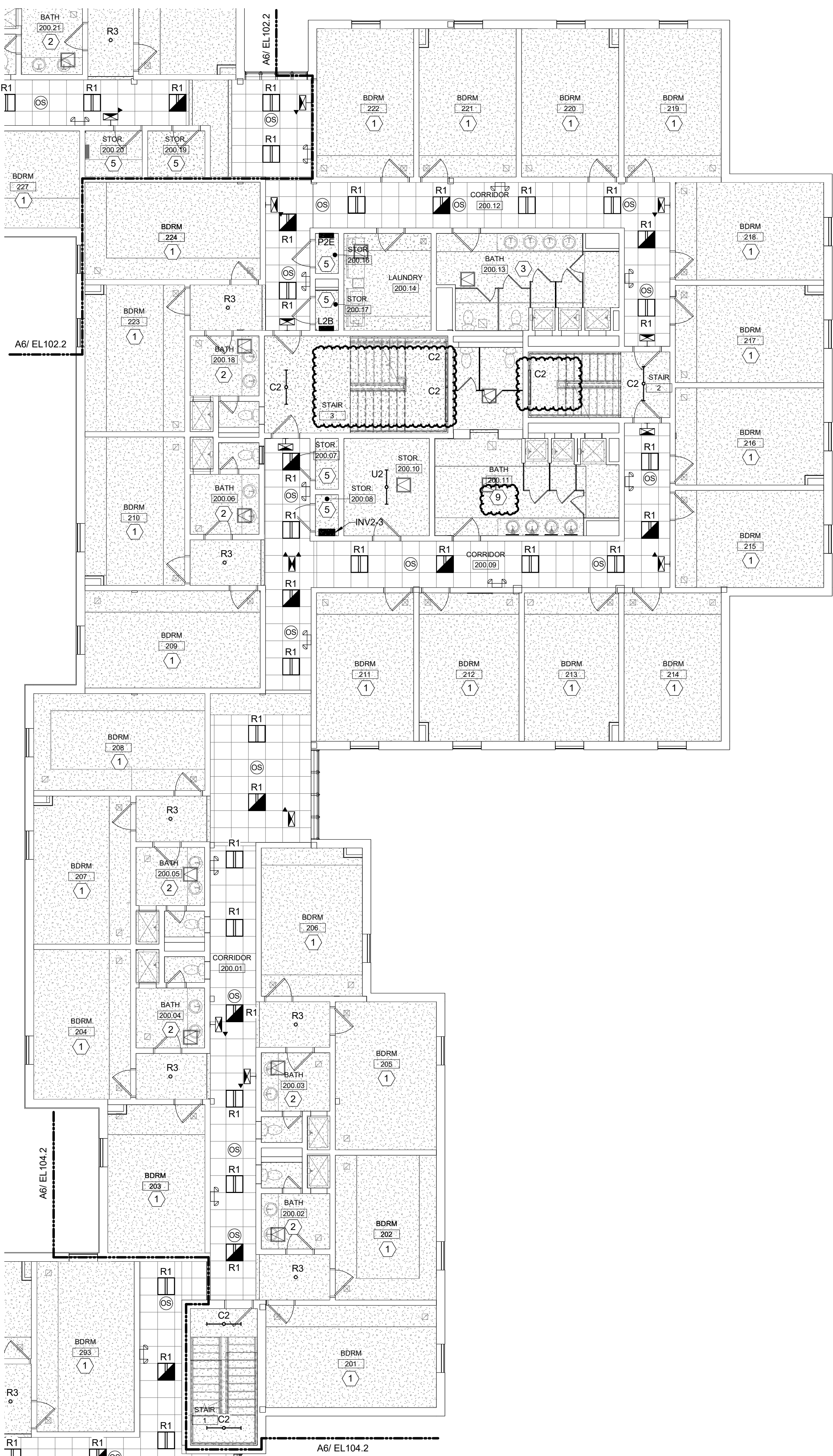
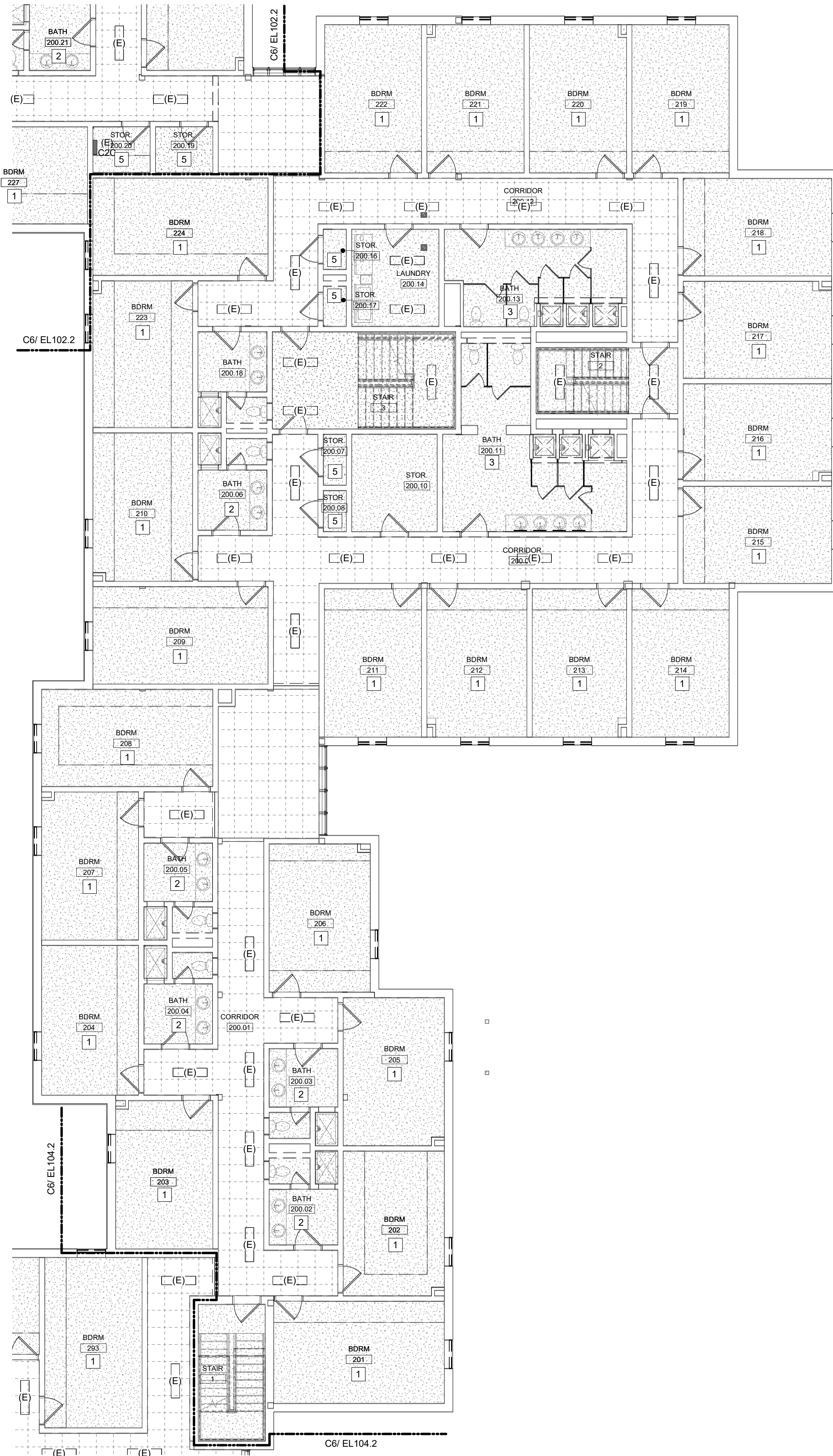
JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

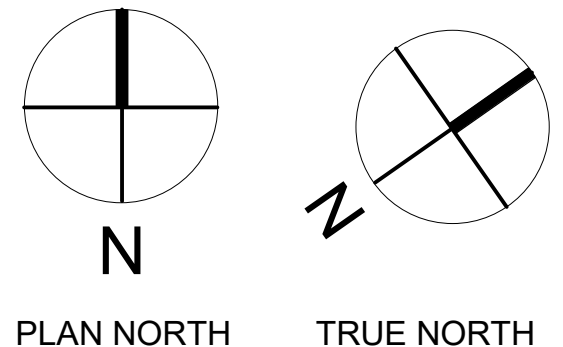
TITLE
PHASE 3 SECOND
FLOOR LIGHTING
REMOVALS & NEW
PLANS

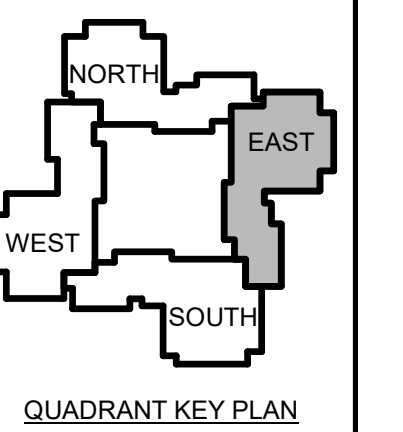
SHEET
EL103.2

LIGHTING BID ALTERNATE NOTES:
ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.



GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

No. Date Description
 Revision Schedule

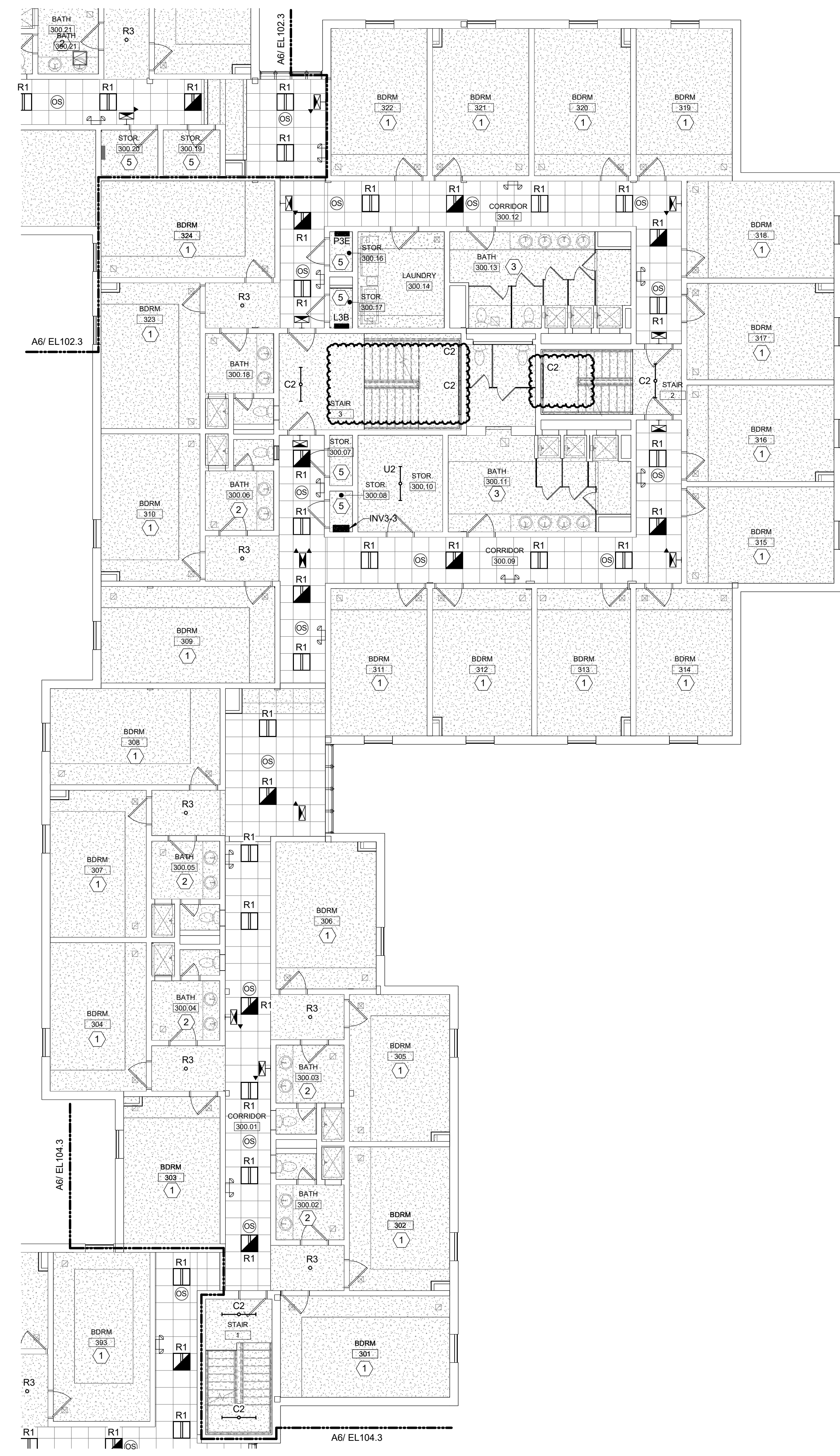
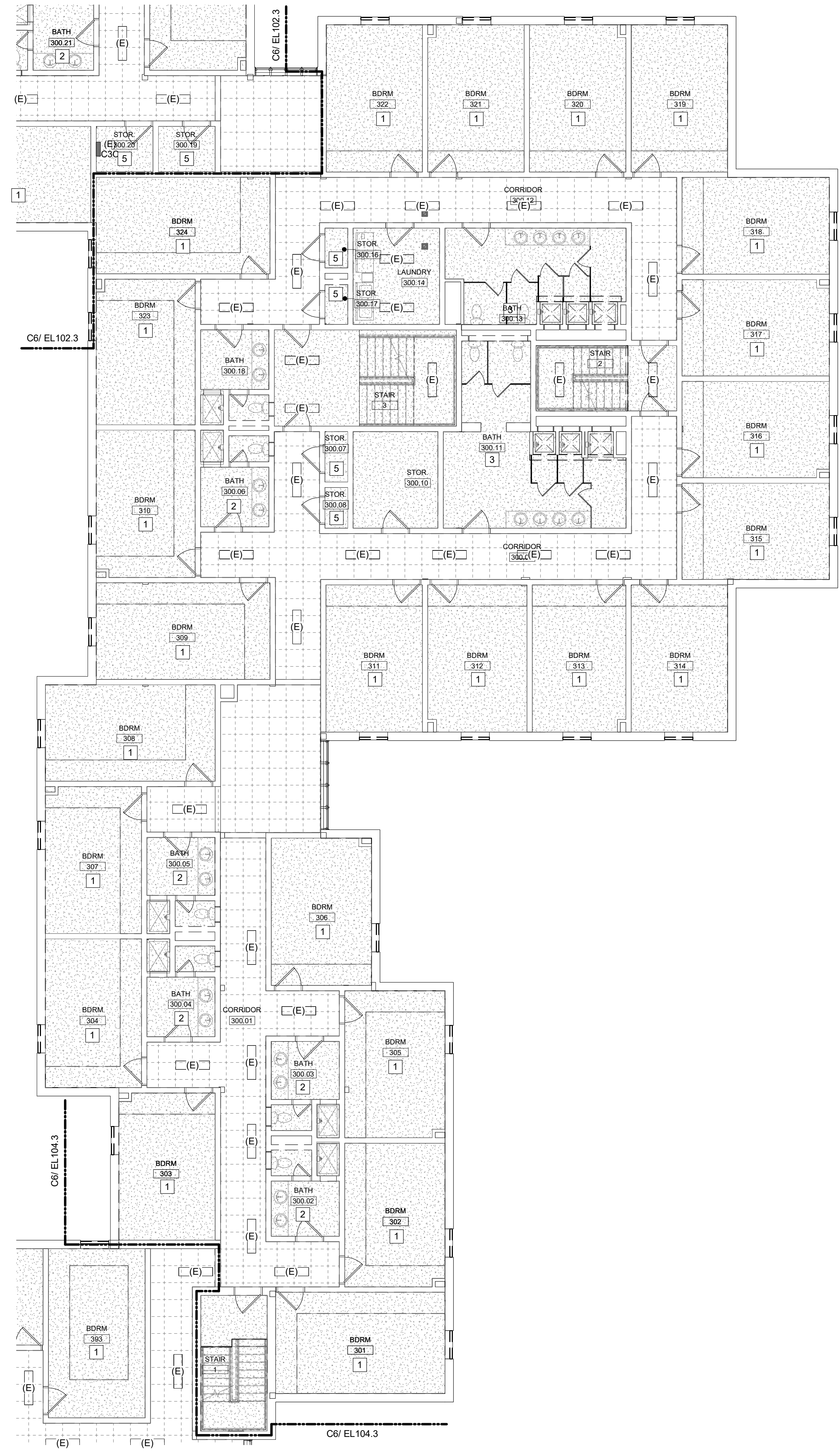
JOB NO.
076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 3 THIRD
 FLOOR LIGHTING
 REMOVALS & NEW
 PLANS

SHEET
EL103.3

LIGHTING BID ALTERNATE NOTES:
 ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
 ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BILEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.



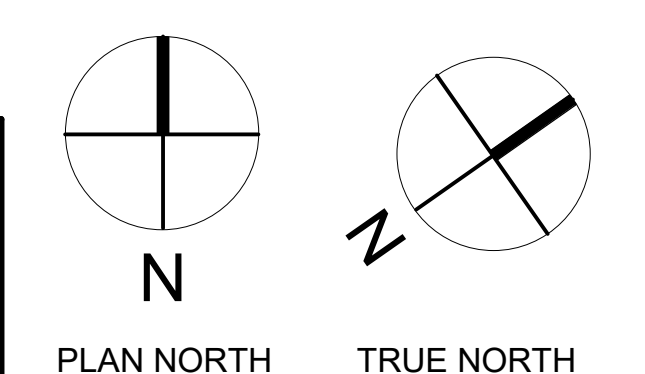
| | |
|----|-----------------------------|
| D1 | KEYNOTES- LIGHTING REMOVALS |
|----|-----------------------------|

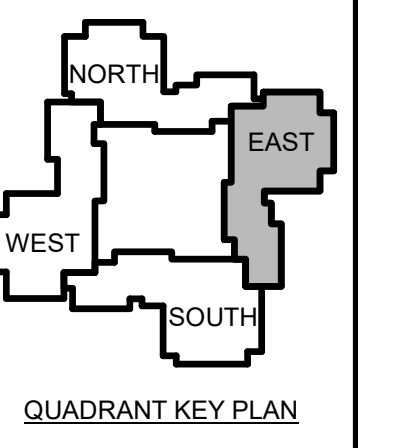
LIGHTING CONTROL GENERAL NOTES:
 1. UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 2. IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 3. IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

- 1) TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- 2) TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- 3) TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4) TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5) TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- 6) CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- 7) TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- 8) PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- 9) TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

| | |
|----|------------------------|
| A1 | KEYNOTES- NEW LIGHTING |
|----|------------------------|

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

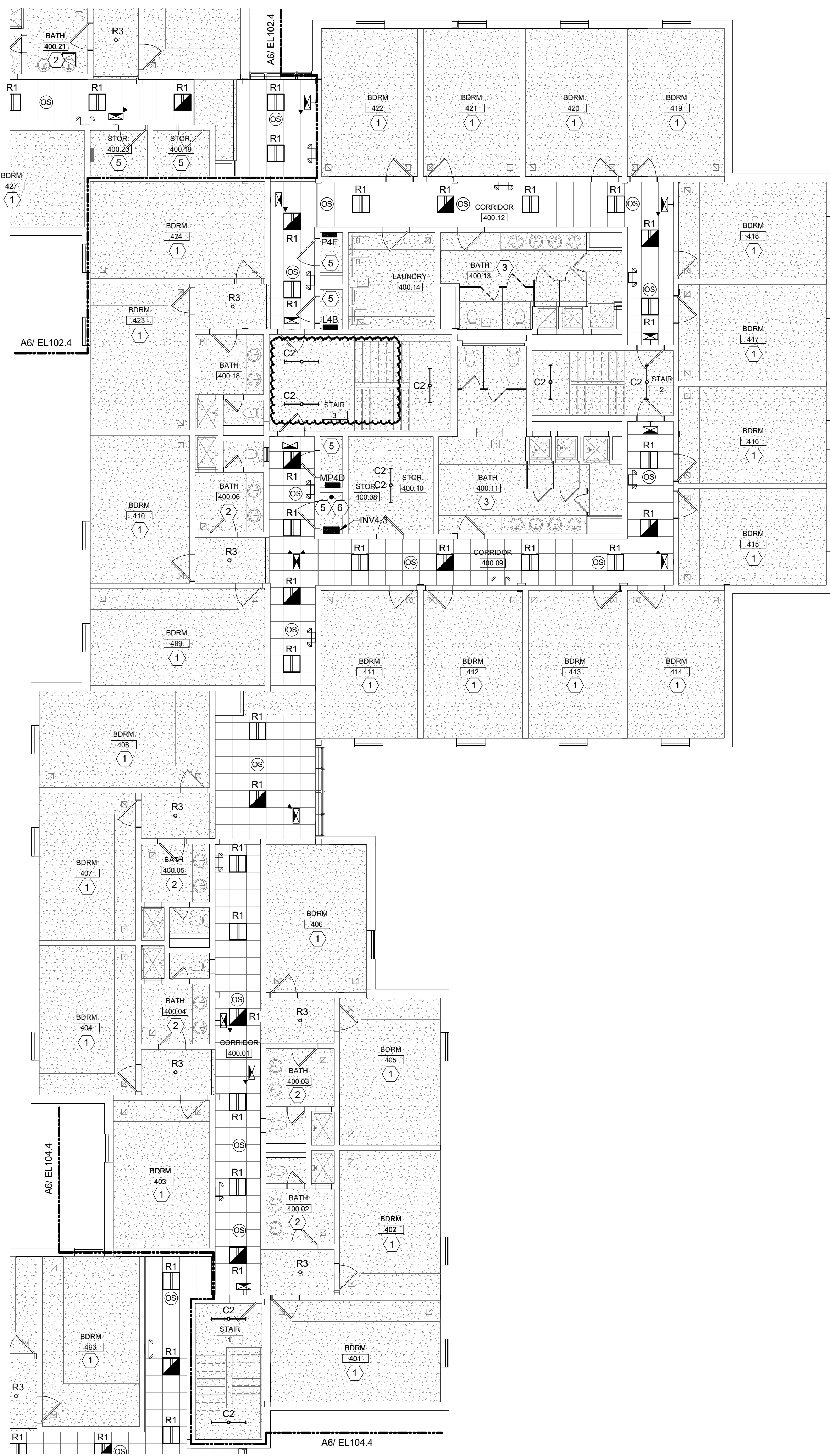
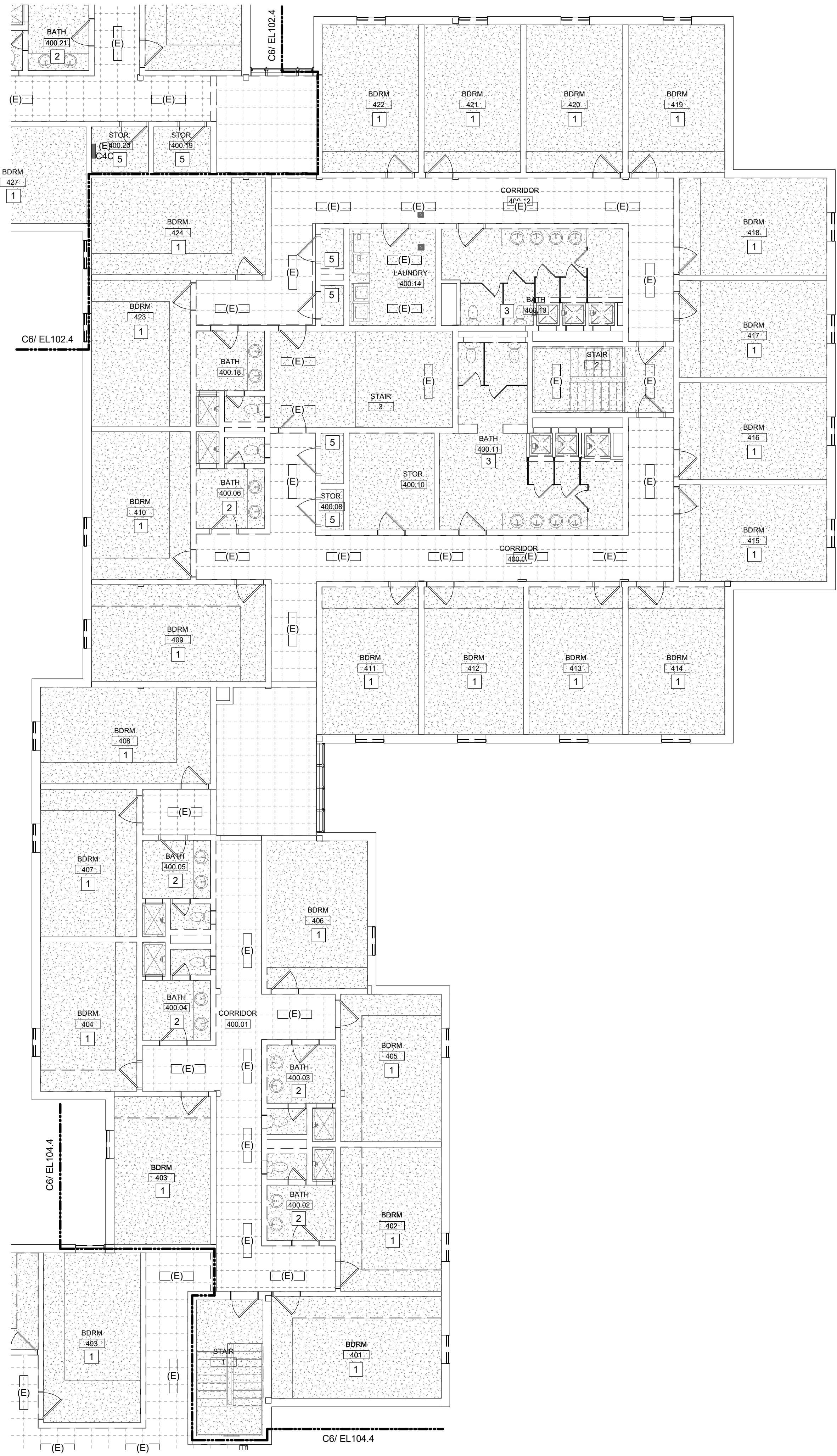
TITLE
PHASE 3 FOURTH
FLOOR LIGHTING
REMOVALS & NEW
PLANS

SHEET
EL103.4

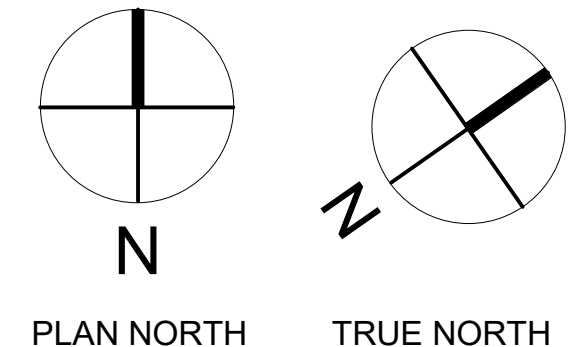
LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BI-LEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.



GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



| | |
|----|-----------------------------|
| D1 | KEYNOTES- LIGHTING REMOVALS |
|----|-----------------------------|

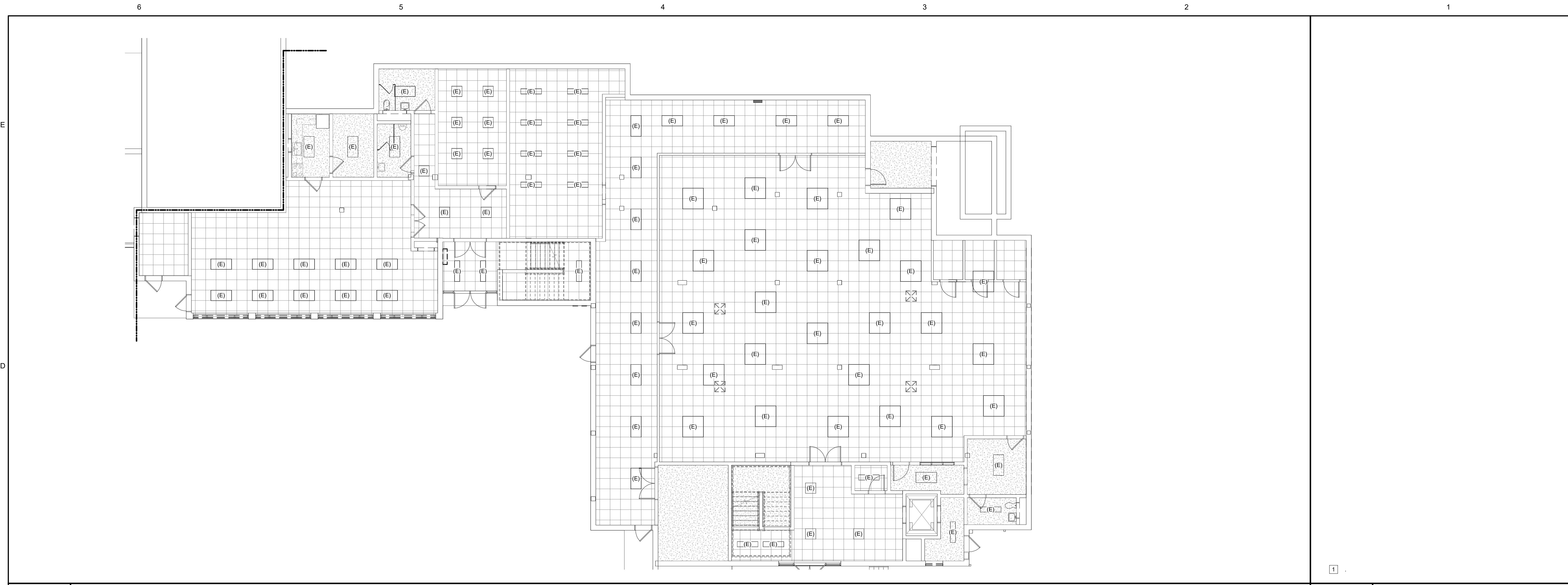
- LIGHTING CONTROL GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 - IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 - IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH. TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH. TYPE B. REFER TO DETAIL C4 ON SHEET E400.

| | |
|----|------------------------|
| A1 | KEYNOTES- NEW LIGHTING |
|----|------------------------|

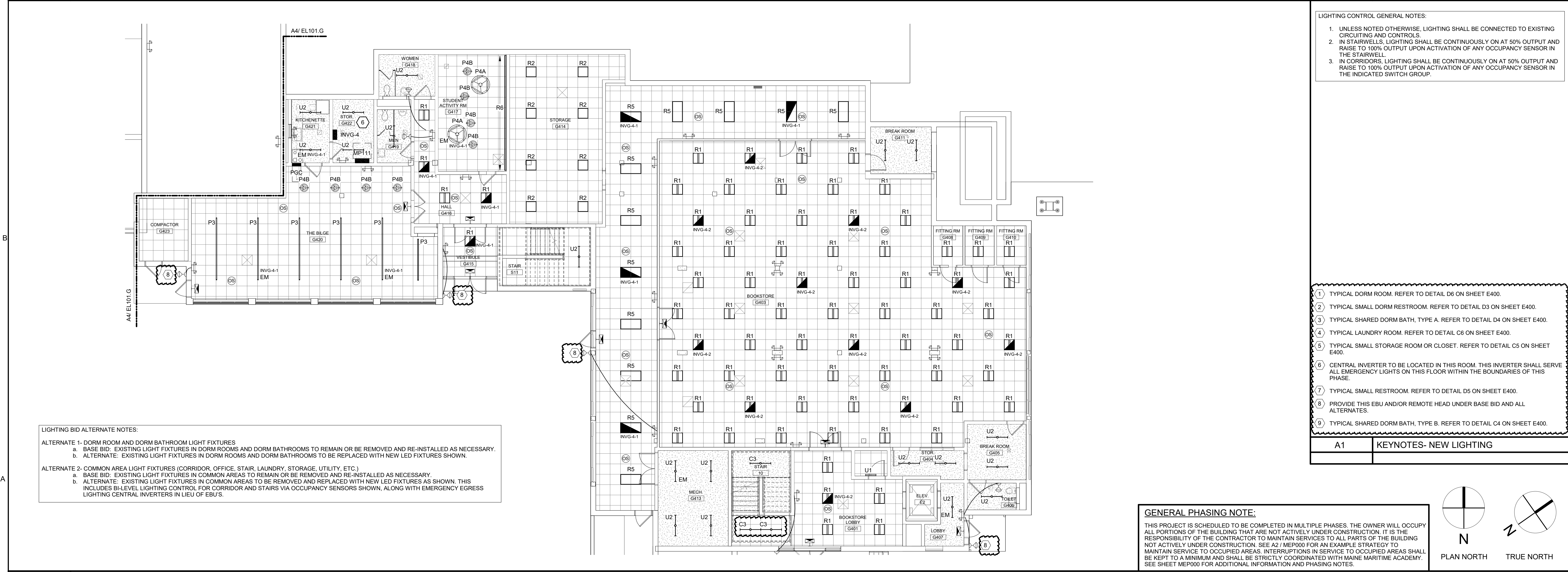
COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



C6 PHASE 4 GROUND FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

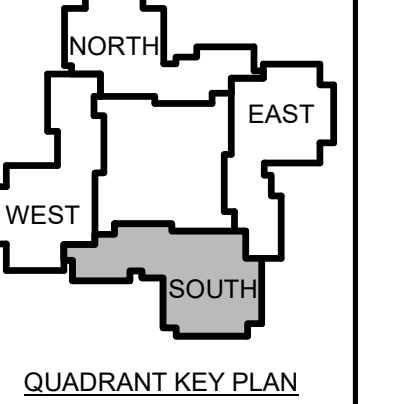
D1 KEYNOTES- LIGHTING REMOVALS



A6 PHASE 4 GROUND FLOOR LIGHTING RCP
 1/8" = 1'-0"

LIGHTING CONTROL GENERAL NOTES:

- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
- IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
- IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.



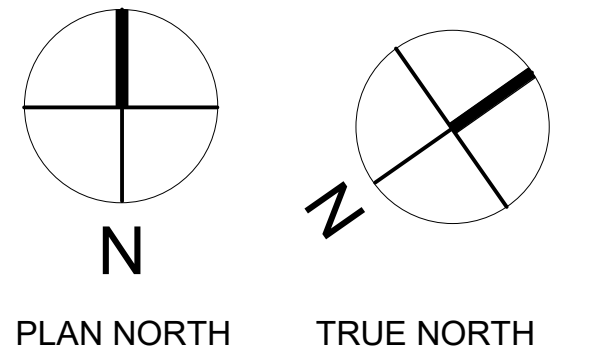
| No. | Date | Description |
|--|------|-------------|
| 1 | 12-5 | Addendum #1 |
| Revision Schedule | | |
| NOT FOR CONSTRUCTION | | |
| JOB NO. 076982 | | |
| ISSUE | | |
| 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING | | |
| 11/22/2023 | | |

A1 KEYNOTES- NEW LIGHTING

TITLE
 PHASE 4 GROUND FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
 EL104.0

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



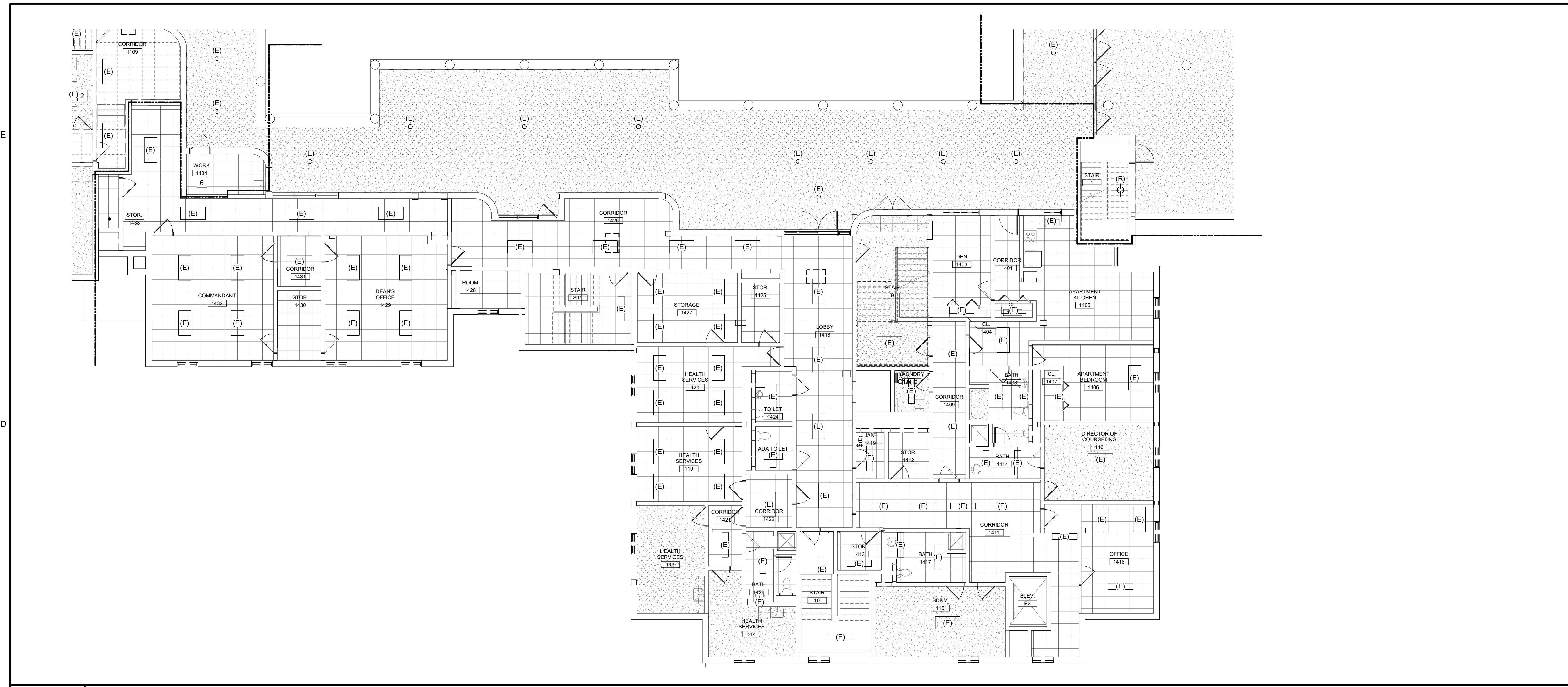
LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BILEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

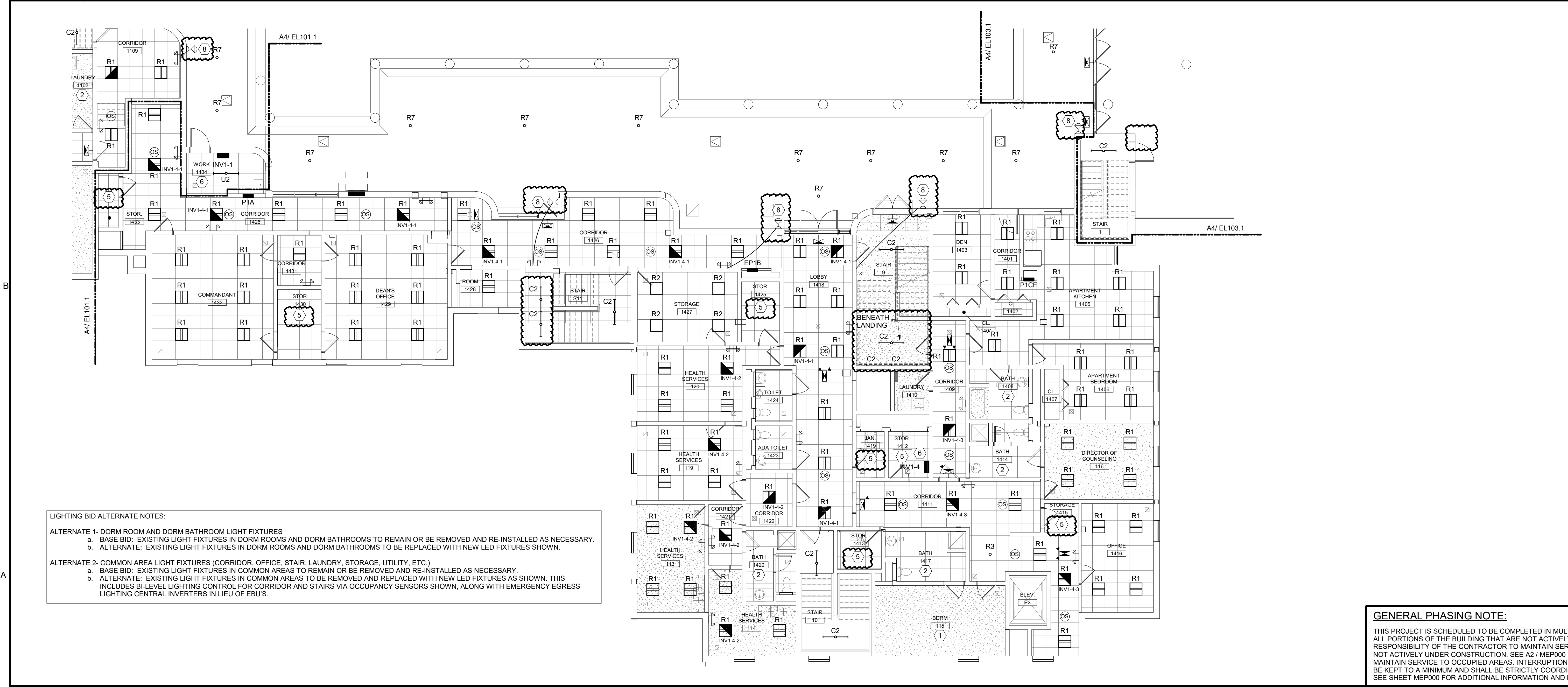
COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



C6 PHASE 4 FIRST FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

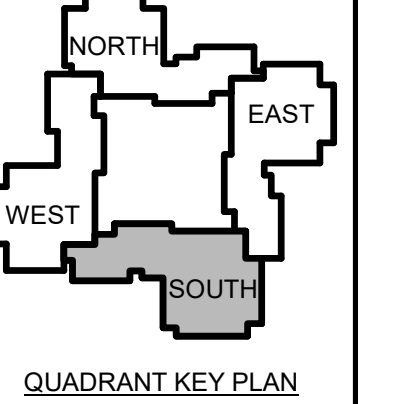
D1 KEYNOTES- LIGHTING REMOVALS



A6 PHASE 4 FIRST FLOOR LIGHTING RCP
 1/8" = 1'-0"

LIGHTING CONTROL GENERAL NOTES:

- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
- IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
- IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.



1 12-5 Addendum #1 -23

| No. | Date | Description |
|-----|------|-------------------|
| | | Revision Schedule |

NOT FOR CONSTRUCTION

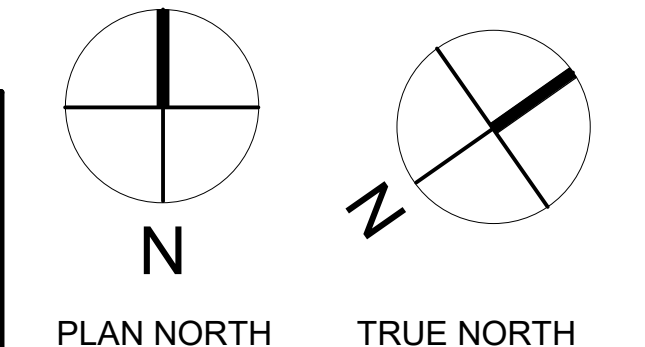
JOB NO. 076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SMALL SHARED DORM BATH. TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH. TYPE B. REFER TO DETAIL C4 ON SHEET E400.

A1 KEYNOTES- NEW LIGHTING

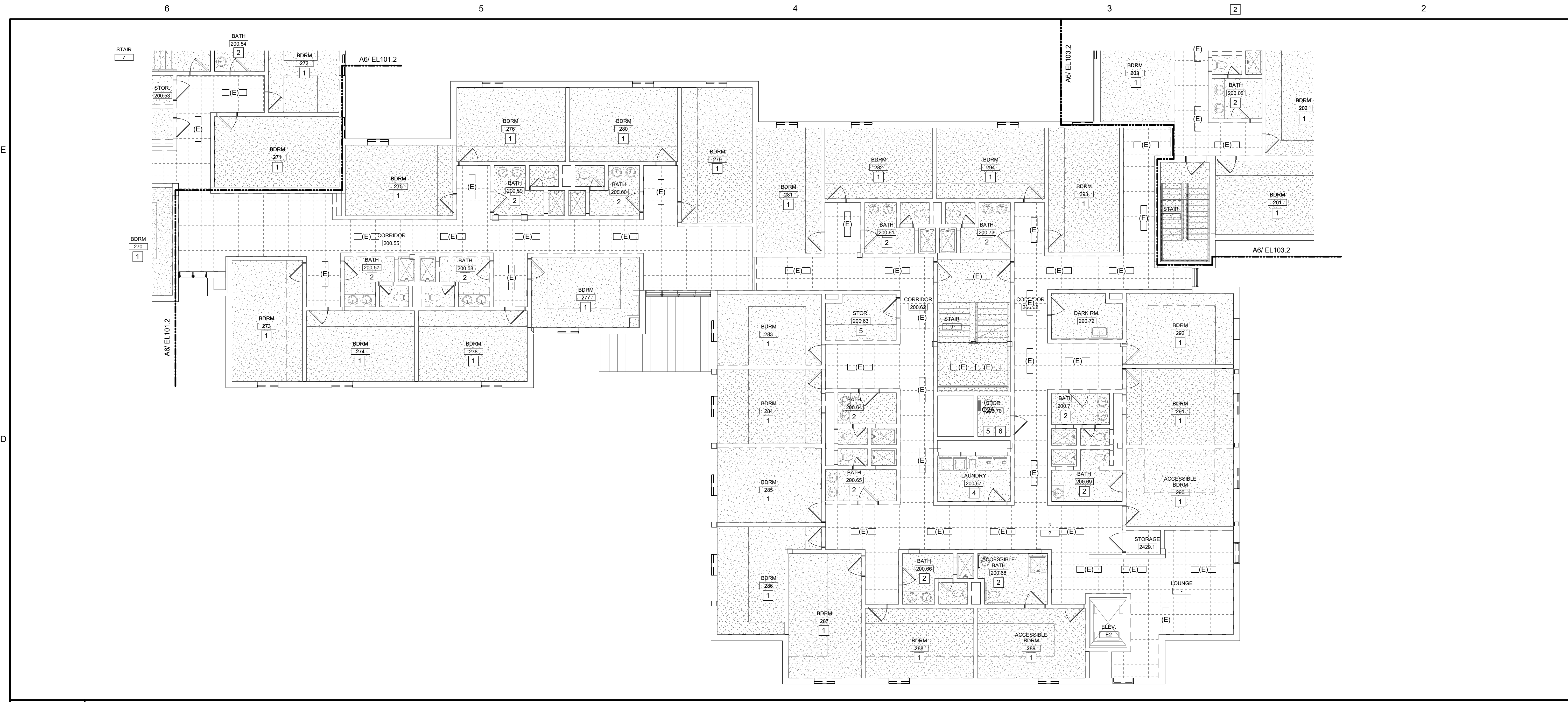
GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



TITLE
 PHASE 4 FIRST FLOOR LIGHTING REMOVALS & NEW PLANS

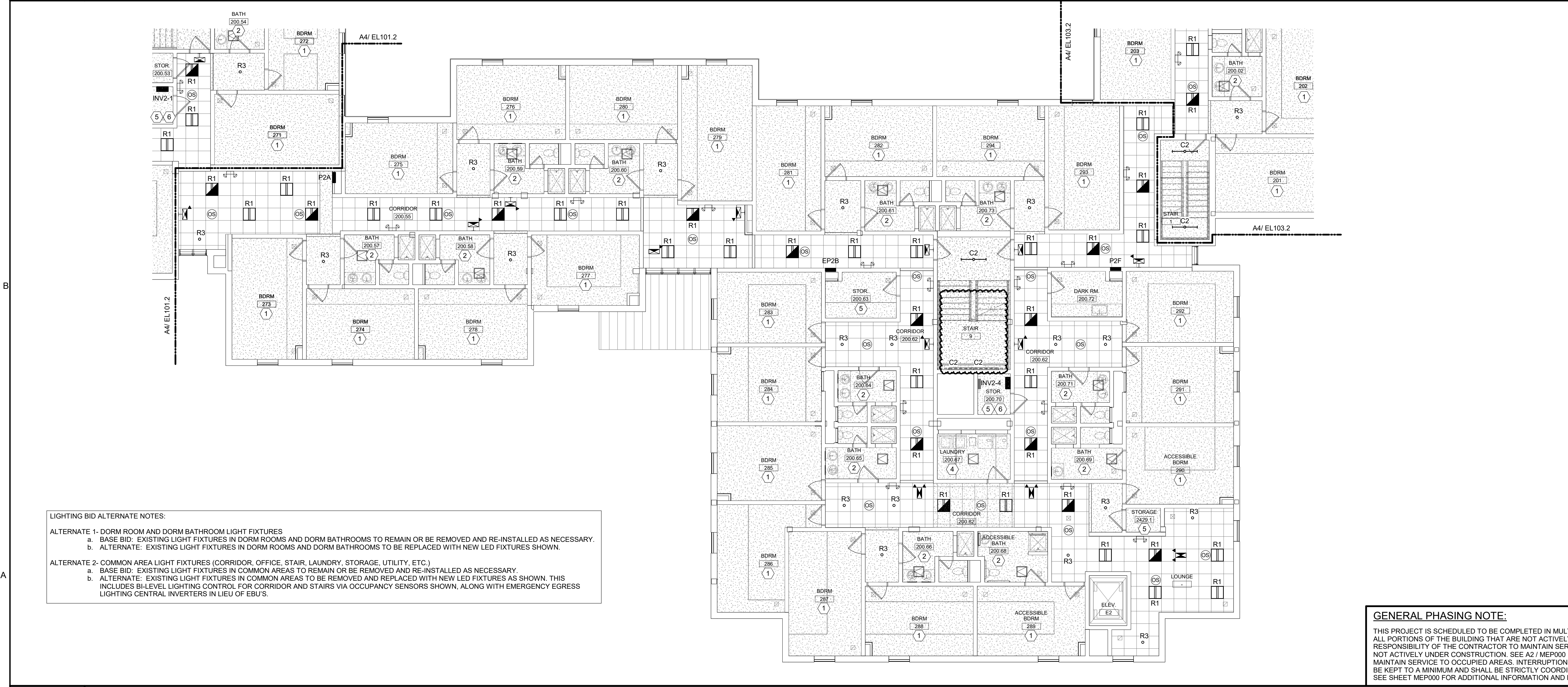
SHEET
EL104.1

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



C6 PHASE 4 SECOND FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

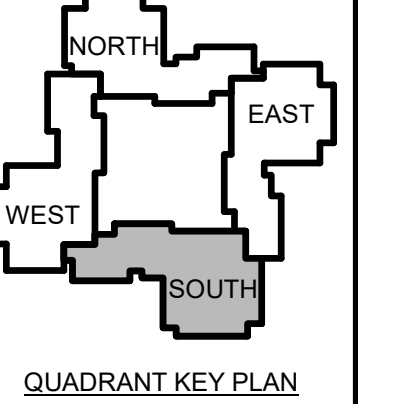
D1 KEYNOTES- LIGHTING REMOVALS



A6 PHASE 4 SECOND FLOOR LIGHTING RCP
 1/8" = 1'-0"

LIGHTING CONTROL GENERAL NOTES:

- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
- IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
- IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.



| No. | Date | Description |
|-----|------|-------------|
| 1 | 12-5 | Addendum #1 |
| 23 | | |

Revision Schedule

- 1) TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- 2) TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- 3) TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4) TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5) TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- 6) CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- 7) TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- 8) PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- 9) TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

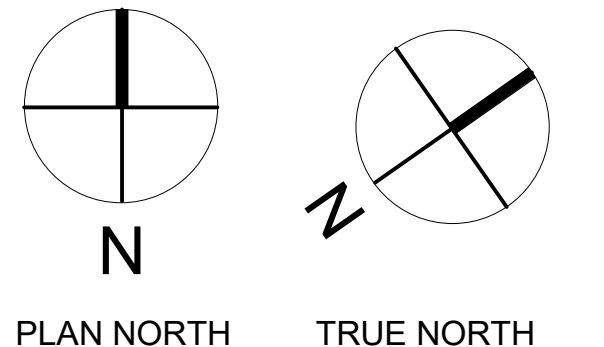
A1 KEYNOTES- NEW LIGHTING

LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BILEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



NOT FOR CONSTRUCTION

JOB NO.
076982

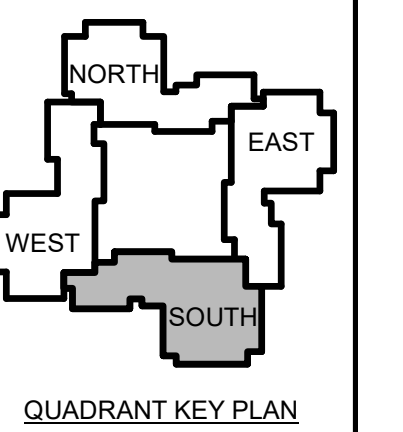
ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 4 SECOND FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL104.2

COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| No. | Date | Description |
|-----|------|-------------|
| | | |

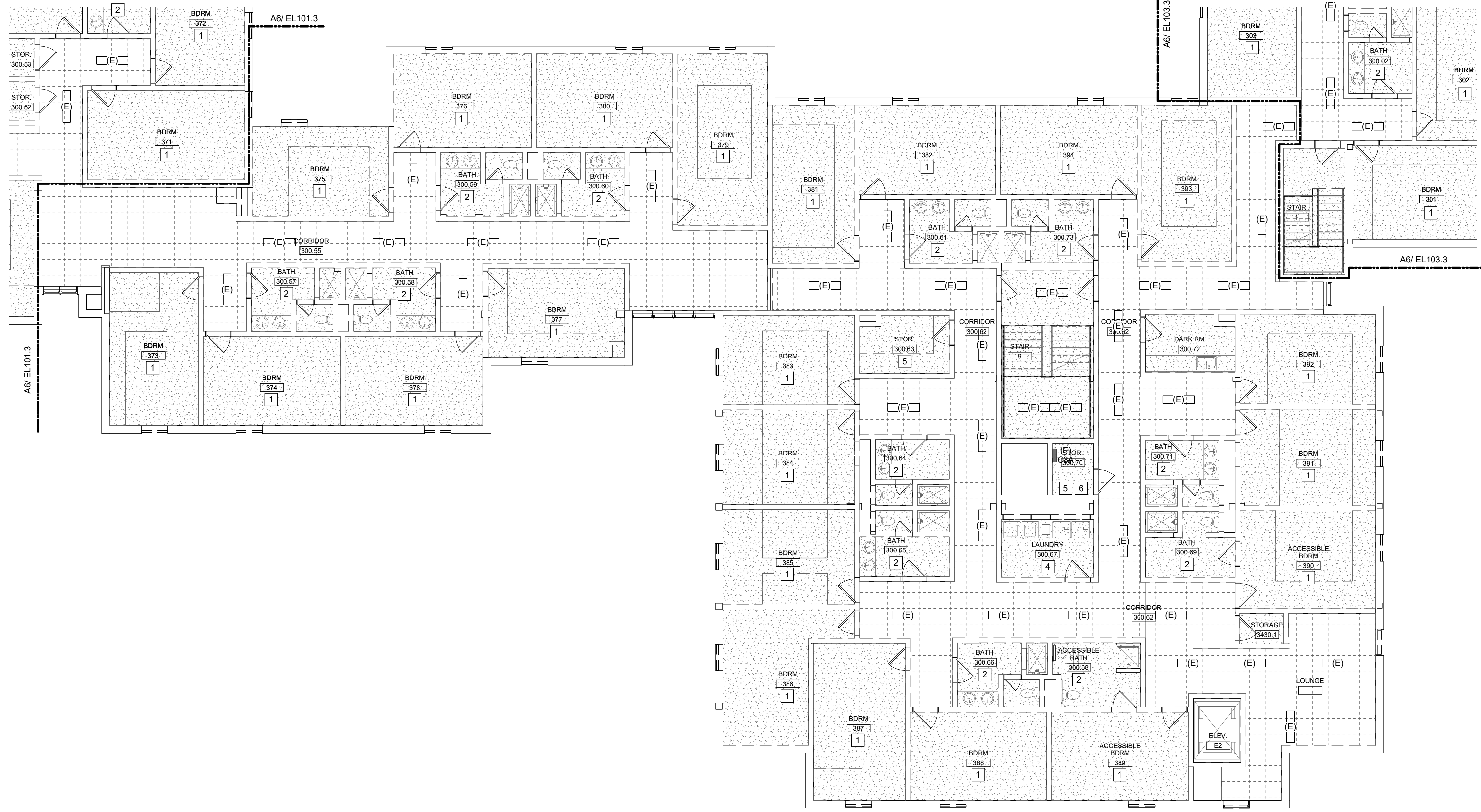
NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

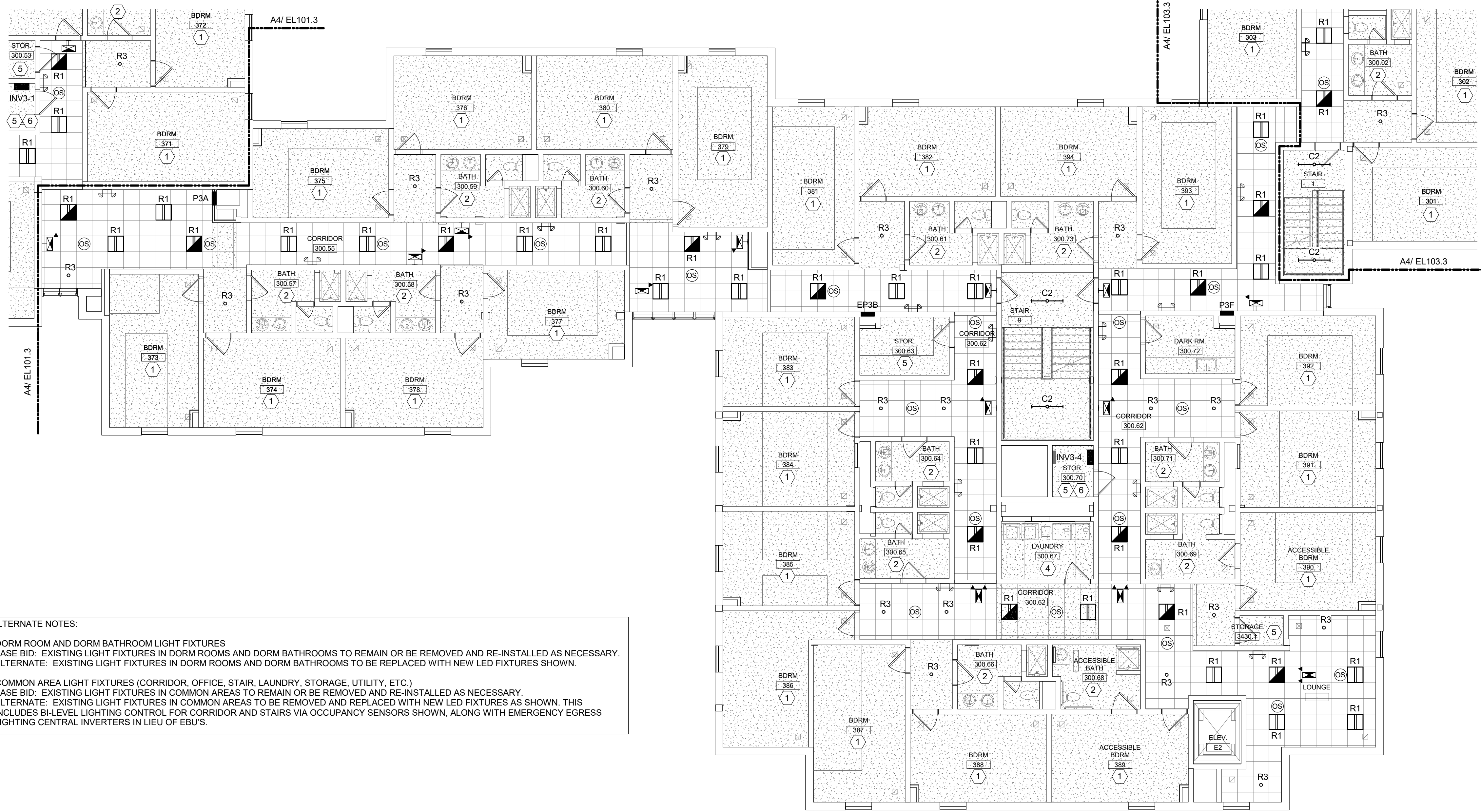
TITLE
 PHASE 4 THIRD FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL104.3



C6 PHASE 4 THIRD FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

D1 KEYNOTES- LIGHTING REMOVALS



LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BILEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

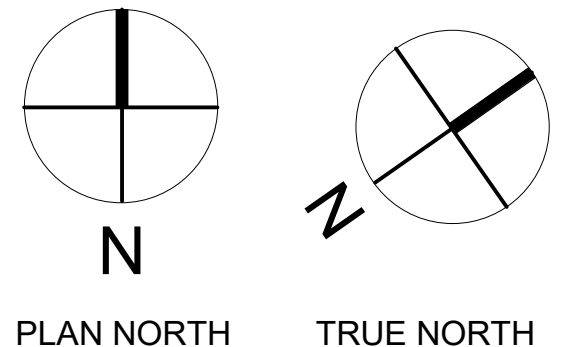
LIGHTING CONTROL GENERAL NOTES:

- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
- IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
- IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

- 1 TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- 2 TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- 3 TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4 TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5 TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- 6 CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- 7 TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- 8 PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- 9 TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

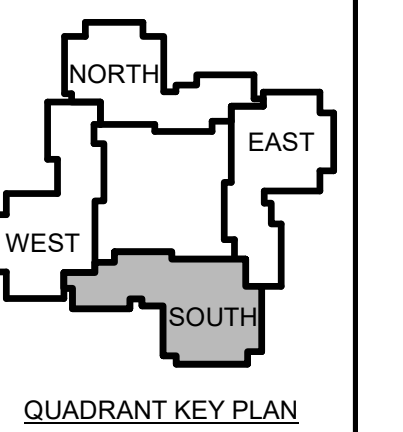
A1 KEYNOTES- NEW LIGHTING

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



A6 PHASE 4 THIRD FLOOR LIGHTING RCP
 1/8" = 1'-0"

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

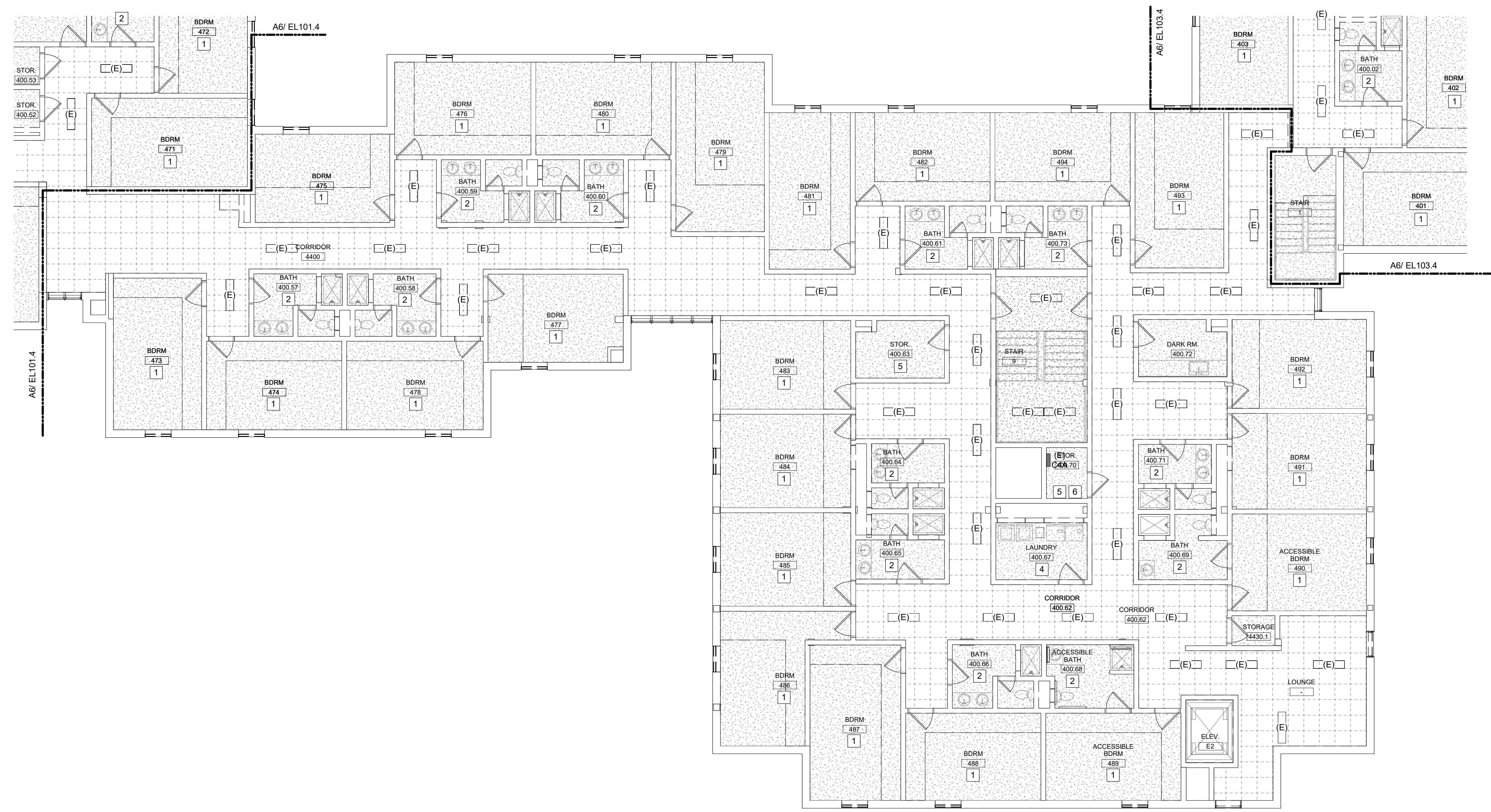
No. Date Description
 Revision Schedule

JOB NO.
076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

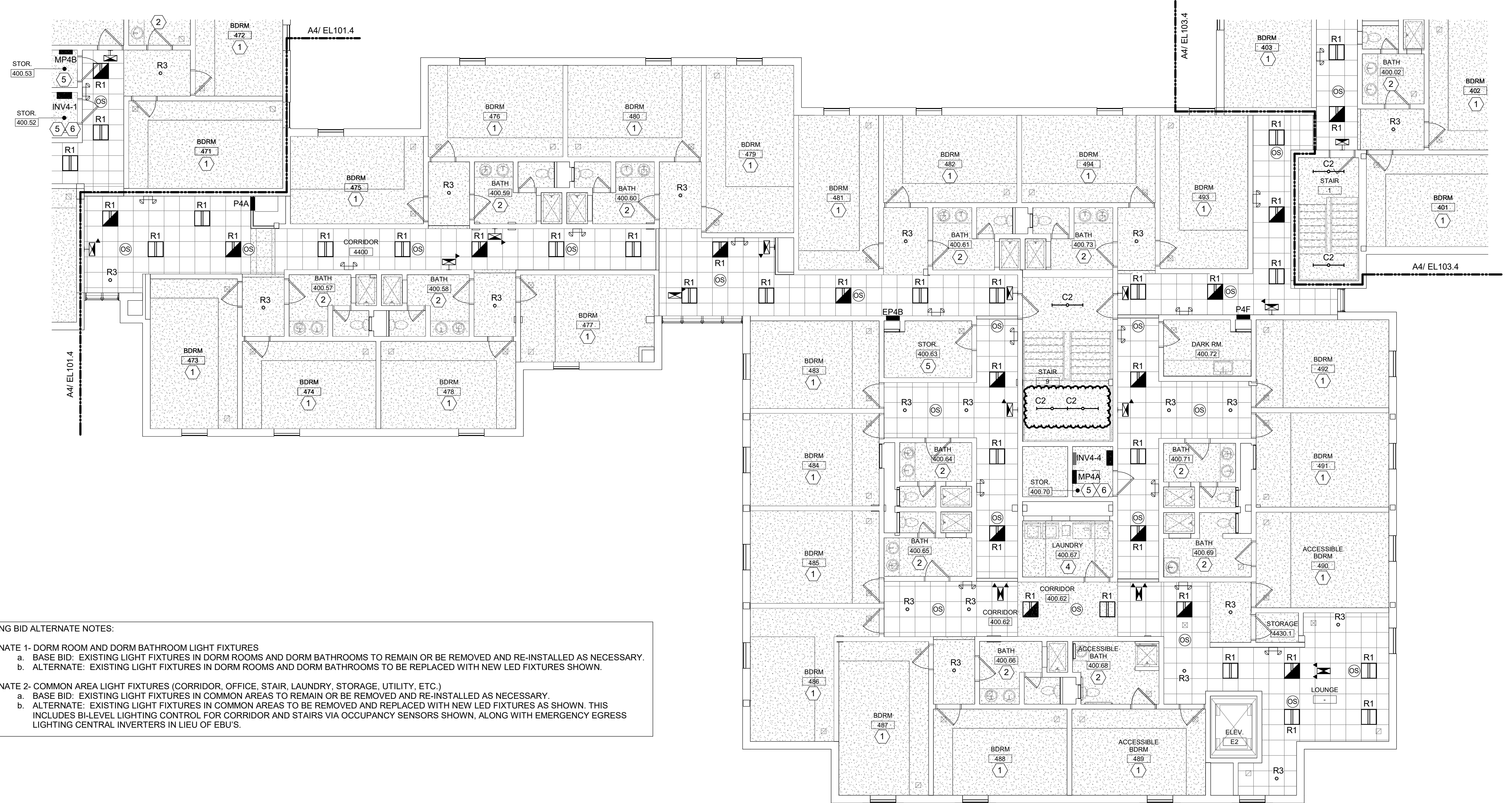
TITLE
 PHASE 4 FOURTH
 FLOOR LIGHTING
 REMOVALS & NEW
 PLANS

SHEET
EL104.4



C6 PHASE 4 FOURTH FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

D1 KEYNOTES- LIGHTING REMOVALS

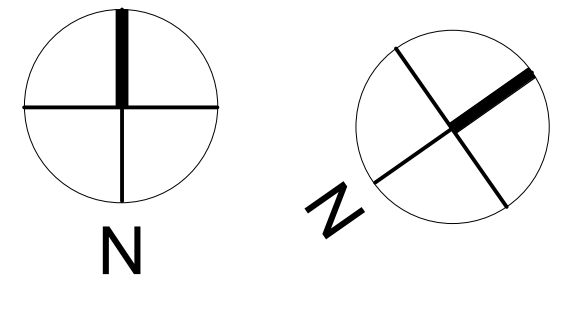


LIGHTING BID ALTERNATE NOTES:
 ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
 ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BILEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.

LIGHTING CONTROL GENERAL NOTES:
 1. UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 2. IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 3. IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

- 1) TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- 2) TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- 3) TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4) TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5) TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- 6) CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- 7) TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- 8) PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- 9) TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

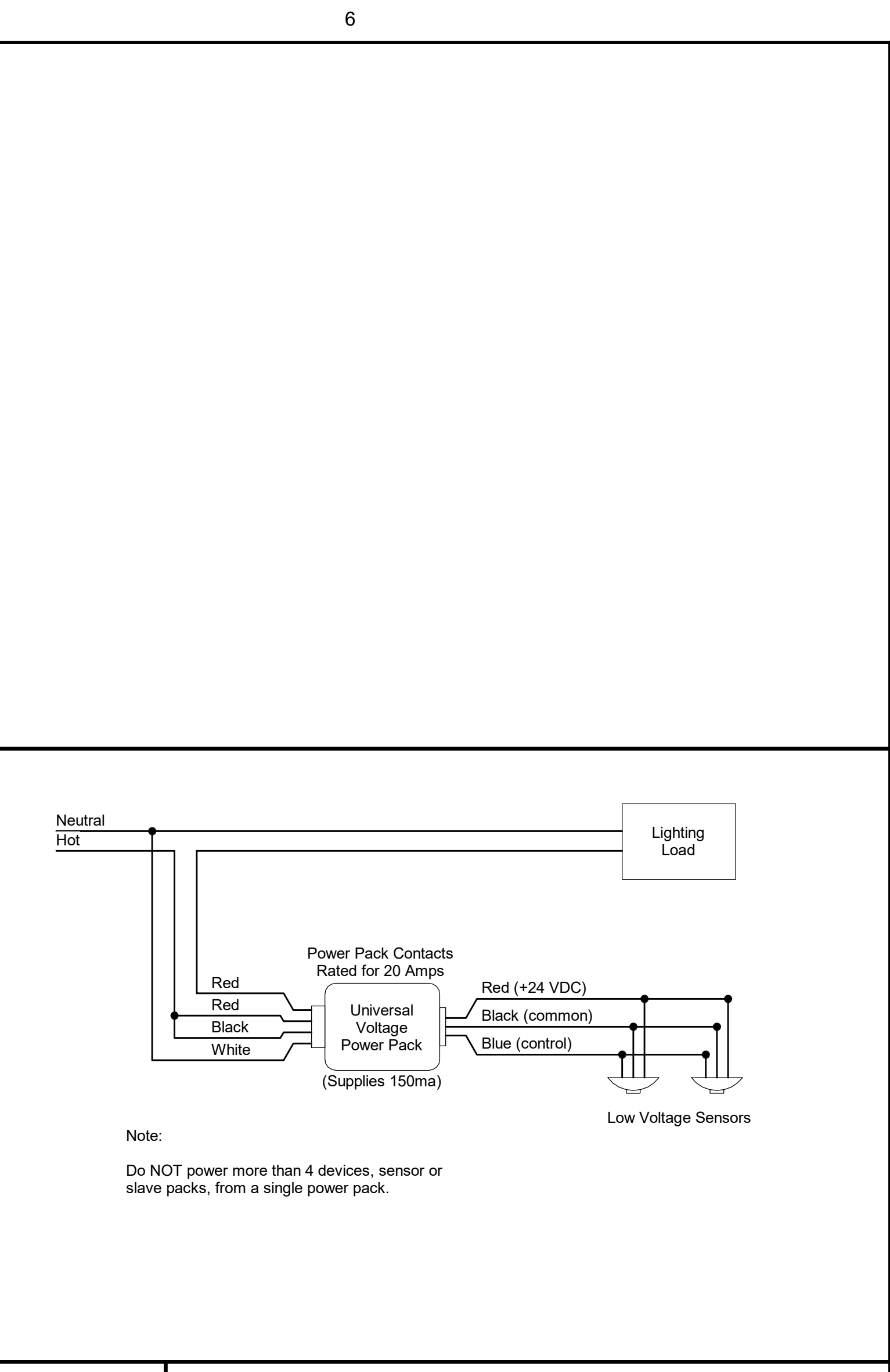


A6 PHASE 4 FOURTH FLOOR LIGHTING RCP
 1/8" = 1'-0"

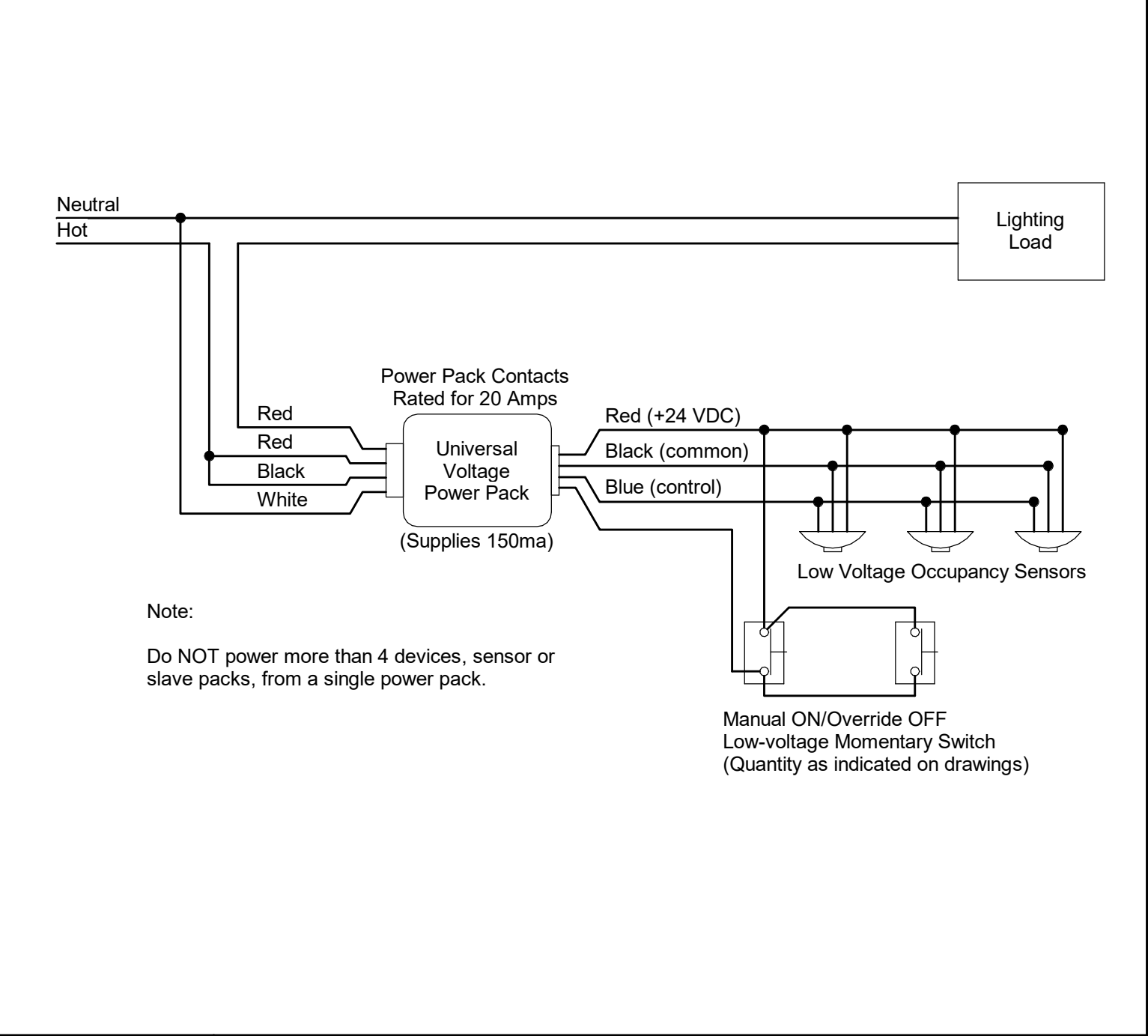
A1 KEYNOTES- NEW LIGHTING

| TYPE | DESCRIPTION | MFR | CATALOG SERIES NUMBER - (SEE NOTES 1 AND 2) | MOUNTING | VOLTS | LAMP/LIGHT ENGINE | | | | NOTES |
|------|---|----------|---|-------------------------------|-------|-------------------|---------------------------------|-----|-----------------|-------|
| | | | | | | WATTS | DELIVERED LUMENS | CRI | TYPE | |
| C1 | SURFACE MOUNTED LED - DORM ROOMS | KUZCO | FM3522 | CEILING SURFACE | 120 | 45 | 3765 | 80 | LED ARRAY 3500K | |
| C2 | SURFACE MOUNTED LED WITH INTEGRAL OCCUPANCY SENSOR & EMERGENCY BATTERY - STAIRWELLS | ORACLE | 4-OC1-LED-4000L-DIM10-MVOLT-35K-85-0-EMG-LED-10W-FS-205 | CEILING SURFACE | 120 | 27 | 3489 | 85 | LED ARRAY 3500K | 9 |
| C3 | SURFACE MOUNTED LED - BATHROOMS | ORACLE | 4-OC1-LED-5000L-DIM10-MVOLT-35K-85 | CEILING SURFACE | 120 | 37 | 4642 | 85 | LED ARRAY 3500K | |
| R1 | 2x2 ARCHITECTURAL TROFFER | ORACLE | 22-OVHP-LED-3400L-DIM10-MVOLT-35K-85 | RECESSED | 120 | 30 | 3771 | 85 | LED ARRAY 3500K | |
| R2 | 2x2 LED FLAT PANEL | ORACLE | 22-FPL1-LED-3000L-DIM10-MVOLT-35K-85 | RECESSED | 120 | 31 | 3632 | 85 | LED ARRAY 3500K | |
| R3 | 4' RECESSED DOWNLIGHT, 60 DEG. (WIDE) DISTRIBUTION | MAXILUME | HH4-LED-1200L-DIM10-35K-HH4-4501-CL-WH-WD | RECESSED | 120 | 14 | 1208 | 80 | LED ARRAY 3500K | |
| R4 | 3" WIDE RECESSED LINEAR, 4' LONG | CORONET | LSR3-4-35-LOW-UNV-DB-**-FL | RECESSED | 120 | 20 | 2020 | 90 | LED ARRAY 3500K | |
| R5 | 2x4 LED FLAT PANEL | ORACLE | 24-FPL1-LED-5000L-DIM10-MVOLT-35K-85 | RECESSED | 120 | 52 | 5877 | 80 | LED ARRAY 3500K | |
| R6 | 2" PERIMETER FIXTURE | CORONET | PG2-**-35-LOW-UNV-DB-**-2"RG | RECESSED | 120 | 9W/ft. | 405 lum/ft. | 80 | LED ARRAY 3500K | 11 |
| R7 | 6" VANDAL RESISTANT DOWNLIGHT | LITON | DL36RX-115-T35 | RECESSED | 120 | 14 | 1500 | 80 | LED ARRAY 3500K | |
| R8 | 1" RECESSED DOWNLIGHT | ELITE | A1R-TL-1102-LED-1000L-MD-35K-90-XX /A1R-LED-15W-DIM10-MVOLT-BP30 | RECESSED | 120 | 14 | 1008 | 90 | LED ARRAY 3500K | |
| S1 | 5" SLIM SURFACE MOUNTED SHOWER LIGHT, NON-CONDUCTIVE | LITON | LCMP05R-TS35-PC | CEILING SURFACE | 120 | 11 | 919 | 90 | LED ARRAY 3500K | |
| S2 | 2' LINEAR SURFACE GRID-MOUNTED | DALUME | DCG1-2-9W-35K-UD-XX | CEILING SURFACE | 120 | 18 | 1228 | 80 | LED ARRAY 3500K | |
| S3 | BENDABLE COVE FIXTURE | ACOLYTE | NLSP-4.535 | COVE | 120 | 4.5W/ft. | 277 lum/ft. | 80 | LED ARRAY 3500K | 11 |
| P1A | DECORATIVE PENDANT | LUXX BOX | LX-IL-L-**-35-UNV | PENDANT 7'-0" AFF | 120 | 25 | 2066 | 80 | LED ARRAY 3500K | |
| P1B | DECORATIVE PENDANT | LUXX BOX | LX-IL-P-**-35-UNV | PENDANT 8'-0" AFF | 120 | 25 | 2066 | 80 | LED ARRAY 3500K | |
| P2 | ENTRY CHANDELIER PENDANT (BRUNI) | KUZCO | CH24755-XX | PENDANT 8'-0" AFF | 120 | 115 | 4650 | 90 | LED ARRAY 3000K | |
| P3 | LINEAR PENDANT | CORONET | LS2 UPDN-**-35-LOW-LOW-UNV-DB-**-AC-9A-FL-9B-FL | PENDANT 6'-0" AFF | 120 | 10W/ft. | 535/ft. INDIRECT 482/ft. DIRECT | 80 | LED ARRAY 3500K | 11 |
| P4A | DECORATIVE PENDANT | ARANCIA | P45-43-LN-S-U-O-C10-R7-**-* | PENDANT 8'-0" AFF | 120 | 36 | 3180 | 80 | LED ARRAY 3500K | |
| P4B | DECORATIVE PENDANT | ARANCIA | P44-21-LN-A-U-O-C5-R7-**-* | PENDANT 6'-0" AFF | 120 | 12 | 1000 | 80 | LED ARRAY 3500K | |
| U1 | UTILITY STRIP, 2' LONG | ORACLE | 2-OC1-LED-3000L-DIM10-MVOLT-35K-85 | SURFACE | 120 | 23 | 3176 | 80 | LED ARRAY 3500K | |
| U2 | UTILITY STRIP, 4' LONG | ORACLE | 4-OC1-LED-5000L-DIM10-MVOLT-35K-85 | SURFACE | 120 | 37 | 4642 | 80 | LED ARRAY 3500K | |
| W1 | WALL MOUNTED CORNER LINEAR, BATHROOM VANITY | AXIS | ELSC-AR-750-80-35-CLS-* | WALL SURFACE TIGHT TO CEILING | 120 | 30.42 | 3011 | 80 | LED ARRAY 3500K | |
| W2 | WALL MOUNTED LINEAR, BATHROOM VANITY | AXIS | ELLE-AR-750-80-35-CLS-**-WS-**-DP-FL | WALL SURFACE SEE PLAN | 120 | 30.42 | 3011 | 80 | LED ARRAY 3500K | |
| EBU | LED EMERGENCY BATTERY LIGHT | TELESIS | TCS-W-L63 | WALL 7'-0" AFF | 120 | - | - | - | LED ARRAY | 10 |
| X1 | EXIT SIGN WITH BATTERY BACKUP, LESS THAN 8' TALL | TELESIS | TLX-EM-GU-W | WALL OR CEILING SEE PLAN | 120 | - | - | - | LED ARRAY | 4 |
| INV | 750W CENTRAL INVERTER WITH DIMMING OVERRIDE AND (5) OUTPUT CIRCUIT BREAKERS | EVENLITE | EMS750-C5 | WALL SEE PLAN | 120 | - | - | - | | 10 |

1. THESE NUMBERS ARE NOT COMPLETE CATALOG NUMBERS. PROVIDE ALL REQUIREMENTS ON SCHEDULE, NOTES, SPECS, AND DRAWINGS COMBINED.
2. CATALOG SERIES NUMBERS ARE USED TO ESTABLISH A LEVEL OF QUALITY AND NOT INTENDED TO LIMIT COMPETITION.
3. VERIFY CEILING STRUCTURE AND MOUNTING HEIGHT PRIOR TO ORDERING ANY LIGHT FIXTURES.
4. PROVIDE WALL, CEILING, OR PENDANT MOUNTING AS INDICATED ON PLANS. PROVIDE NUMBER OF FACES AND ARROWS AS INDICATED.
5. COORDINATE LENGTH WITH CASEWORK & CABINET DETAILS.
6. FINISH TO BE SELECTED BY THE ARCHITECT FROM MANUFACTURER'S STANDARD OPTIONS.
7. PROVIDE REMOTE HEADS WHERE SHOWN ON PLANS.
8. MOUNT 6" BELOW FINISHED CEILING IN AREAS WHERE SCHEDULED MOUNTING HEIGHT CANNOT BE ACHIEVED.
9. PROVIDE FIXTURE WITH INTEGRAL OCCUPANCY SENSOR OPTION. FIXTURE SHALL OPERATE UNDER NORMAL CONDITIONS AT 50% OUTPUT. UPON MOTION DETECTION OR FIRE ALARM OR NORMAL POWER LOSS, FIXTURE SHALL AUTOMATICALLY BRIGHTEN TO...
10. IF ALTERNATE #2 IS ACCEPTED, PROVIDE CENTRAL INVERTERS IN LIEU OF EBU EMERGENCY LIGHTS.
11. PROVIDE FIXTURE IN LENGTH AND ARRANGEMENT SHOWN ON PLANS.



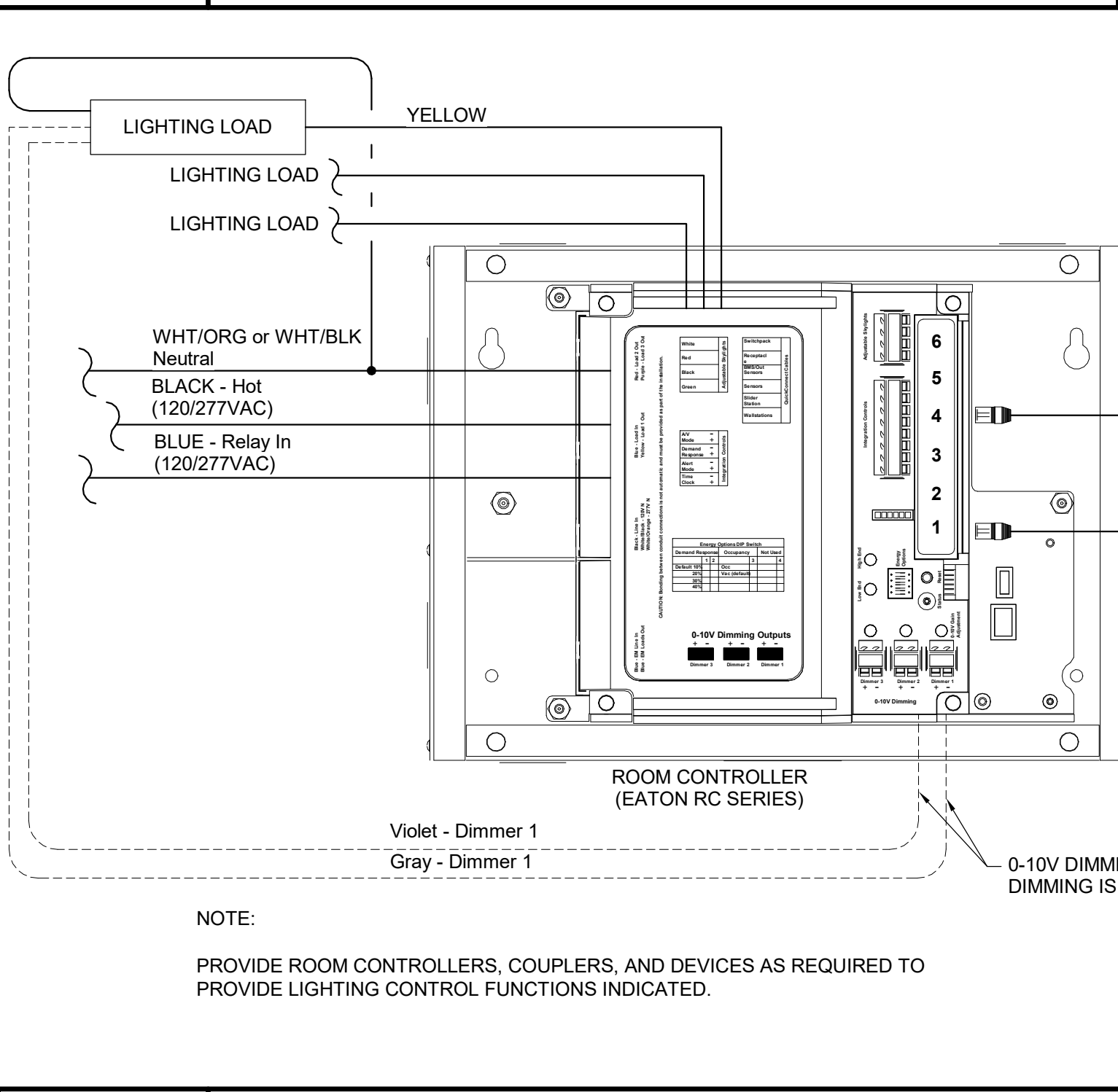
C5 LIGHTING CONTROL DETAIL - NOTE 5



B5 LIGHTING CONTROL DETAIL - NOTE 1

1. CATALOG SERIES NUMBERS ARE USED TO ESTABLISH A LEVEL OF QUALITY AND NOT INTENDED TO LIMIT COMPETITION. SERIES NUMBERS ARE NOT COMPLETE CATALOG NUMBERS. COMPLY WITH ADDITIONAL REQUIREMENTS IN SPECIFICATIONS AND DRAWINGS.
2. FIELD DIMENSION WALL COVE, WALL VALENCE AND WALL SLOT LIGHTING PRIOR TO ORDERING TO ENSURE PROPER FIXTURE LENGTHS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN LENGTHS SHOWN ON DRAWINGS AND ACTUAL FIELD DIMENSIONS. ADJUST LENGTHS OF ANY SPECIFIED FIXTURE AS DIRECTED BY ARCHITECT.
3. EXCEPT AS INDICATED OTHERWISE ON FIXTURE SCHEDULE, SUSPENDED LIGHT FIXTURES SHALL BE FURNISHED AND INSTALLED COMPLETE WITH STEEL STEM SETS, AND PIECES AND ALIGNERS WITH ALIGNER TYPE CANOPIES AS MANUFACTURED BY RESPECTIVE FIXTURE MANUFACTURER.
4. PENDANT MOUNTING HEIGHTS ARE TO BOTTOM OF FIXTURE. VERIFY EXACT MOUNTING HEIGHTS OF PENDANT FIXTURES WITH ARCHITECT PRIOR TO ROUGHING.
5. WALL MOUNT FIXTURE HEIGHTS ARE TO CENTERLINE UNLESS NOTED OTHERWISE. VERIFY EXACT MOUNTING HEIGHTS AND LOCATIONS OF WALL MOUNTED LIGHTING WITH ARCHITECT PRIOR TO ROUGHING.
6. REFER TO REFLECTED CEILING PLANS FOR EXACT LOCATION OF CEILING MOUNTED LIGHTING AND DEVICES.
7. PROVIDE TRIM AND MOUNTING ACCESSORIES FOR RECESSED LIGHTING FIXTURES WHICH ARE COMPATIBLE WITH THE TYPE OF CEILING CONSTRUCTION IN WHICH THEY ARE TO BE MOUNTED. REFER TO REFLECTED CEILING PLANS AND ROOM FINISH SCHEDULES.
8. LIGHT FIXTURE LOCATIONS IN MECHANICAL ROOMS AND ELECTRIC ROOMS ARE APPROXIMATE. INSTALL LIGHTING TO AVOID DUCTWORK, PIPING AND ELECTRICAL ITEMS.
9. PENDANT LINEAR FIXTURES SHALL SATISFY LENGTHS SHOWN ON DRAWINGS.
10. PROVIDE WIRE GUARDS WHERE INDICATED ON FLOOR PLANS.

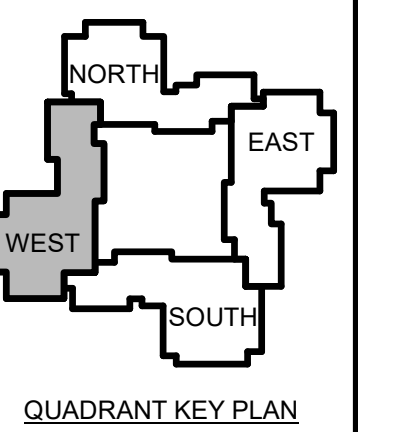
B4 LUMINAIRE SCHEDULE GENERAL NOTES



A5 ROOM CONTROLLER DETAIL - NOTE 8

- PROVIDE WALL STATION(S) WHERE INDICATED ON PLANS:
- §E2 - (1) 2-BUTTON WALL STATION: ALL ON/OFF (RC-2LB)
 - §E3 - (3) 3-BUTTON WALL STATIONS: TOGGLE/RAISE/LOWER (RC-3TLB), PROVIDE (1) WALL STATION PER SWITCH GROUP
 - §E4 - 3-BUTTON WALL STATION: TOGGLE/RAISE/LOWER (RC-3TLB)
 - §E5 - (2) 3-BUTTON WALL STATIONS: TOGGLE/RAISE/LOWER (RC-3TLB), PROVIDE (1) WALL STATION PER SWITCH GROUP

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

No. Date Description
Revision Schedule

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
PHASE 1
INTERMEDIATE
FLOOR POWER &
SYSTEMS
REMOVALS & NEW
PLANS
SHEET

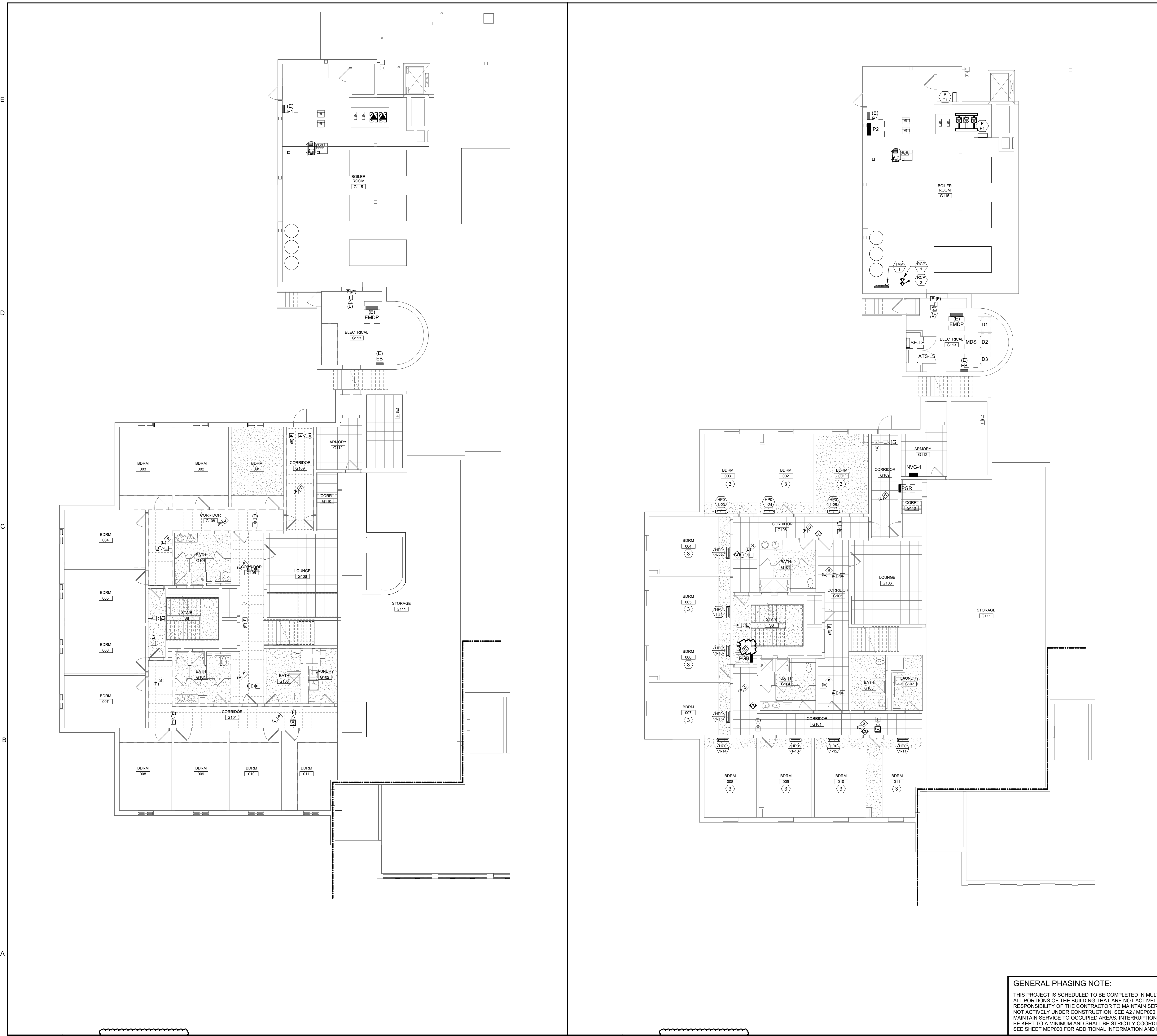
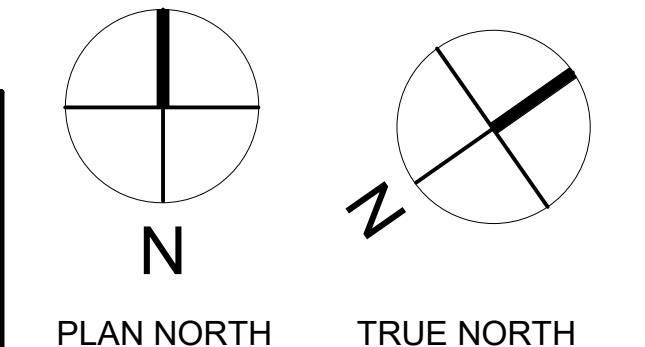
EP101.0

D1 KEYNOTES- POWER & SYSTEMS REMOVALS

- 1 EXISTING PANELBOARD TO BE REPLACED IN SAME PLACE. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- 2 EXISTING PANELBOARD TO REMAIN. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- 3 TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400 FOR FIRE ALARM DEVICES.

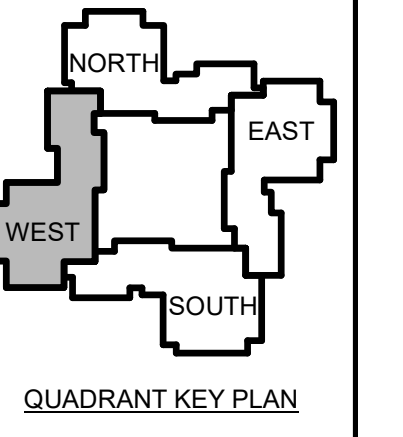
A1 KEYNOTES - NEW POWER & SYSTEMS

GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

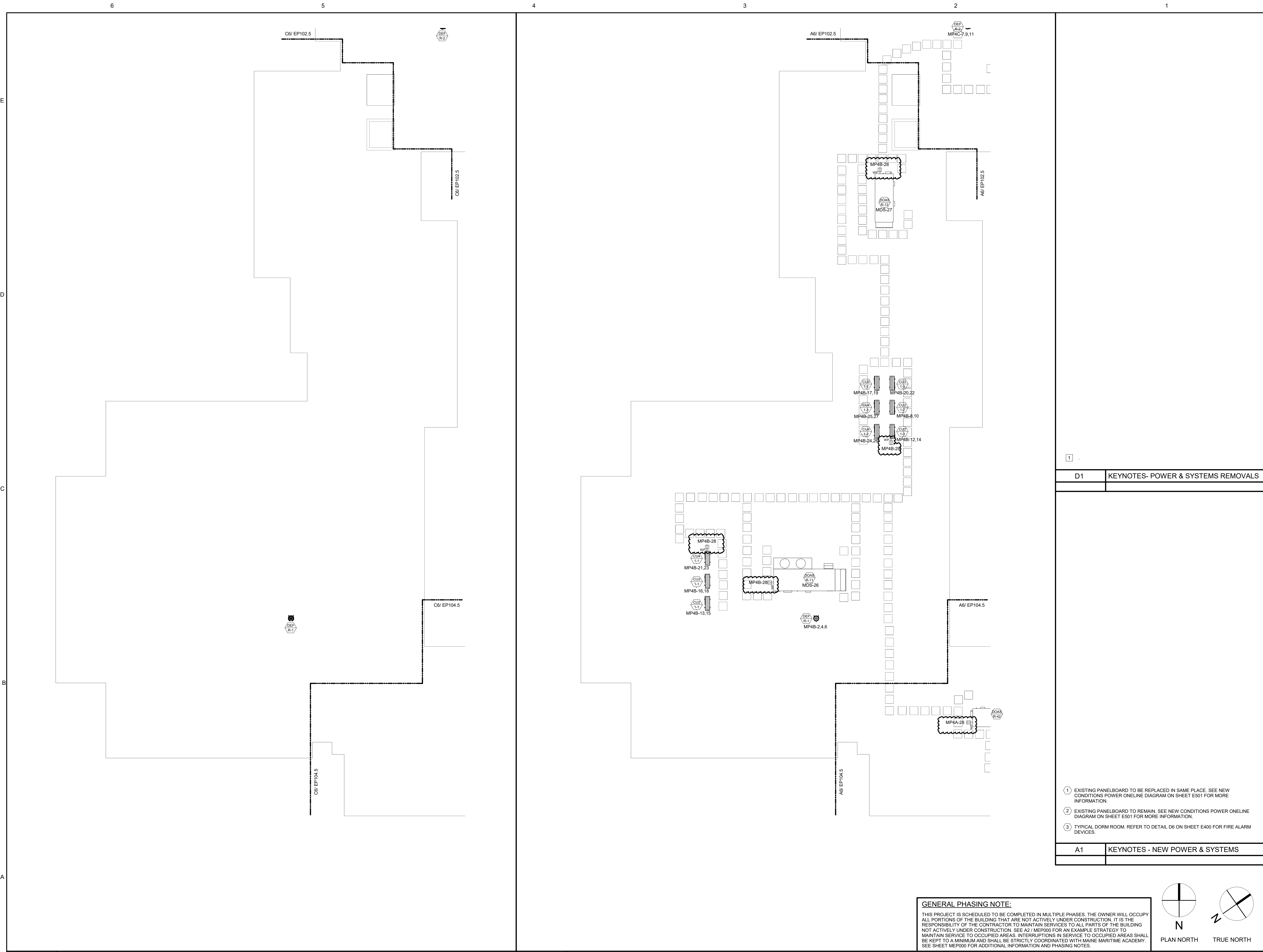
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 1 ROOF
 POWER & SYSTEMS
 REMOVALS & NEW
 PLANS

SHEET
EP101.5

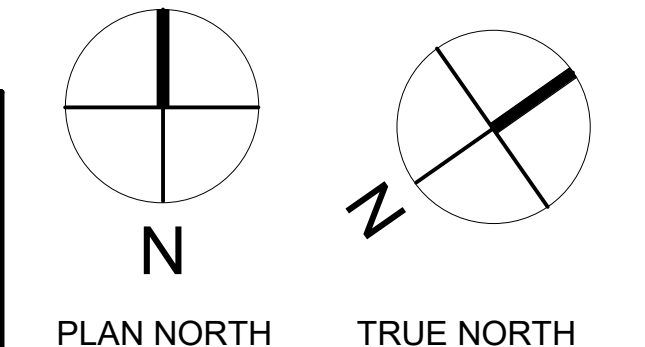


D1 KEYNOTES- POWER & SYSTEMS REMOVALS

- EXISTING PANELBOARD TO BE REPLACED IN SAME PLACE. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- EXISTING PANELBOARD TO REMAIN. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400 FOR FIRE ALARM DEVICES.

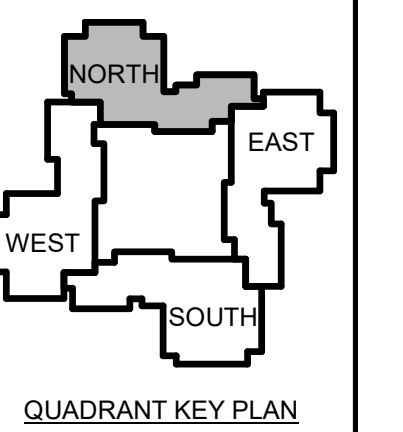
A1 KEYNOTES - NEW POWER & SYSTEMS

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| No. | Date | Description |
|-----|---------|-------------|
| 1 | 12-5-23 | Addendum #1 |

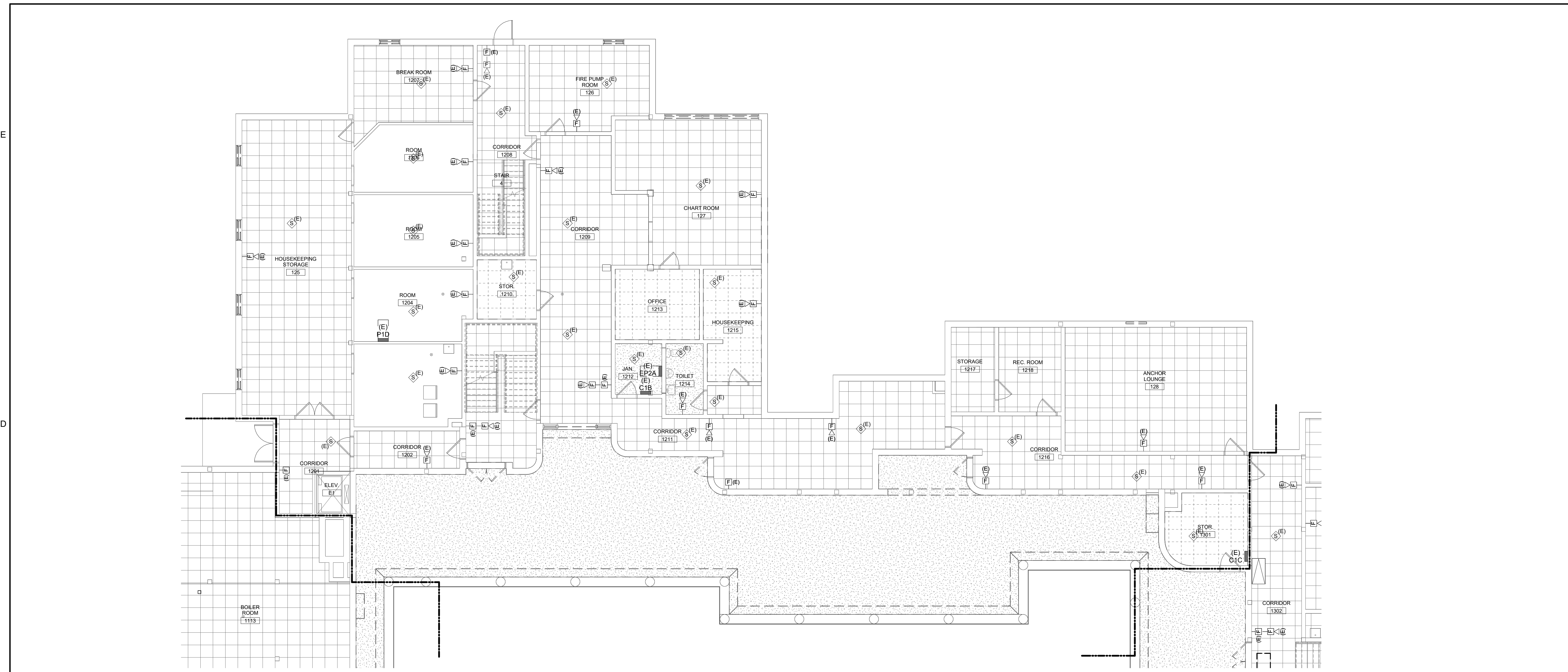
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

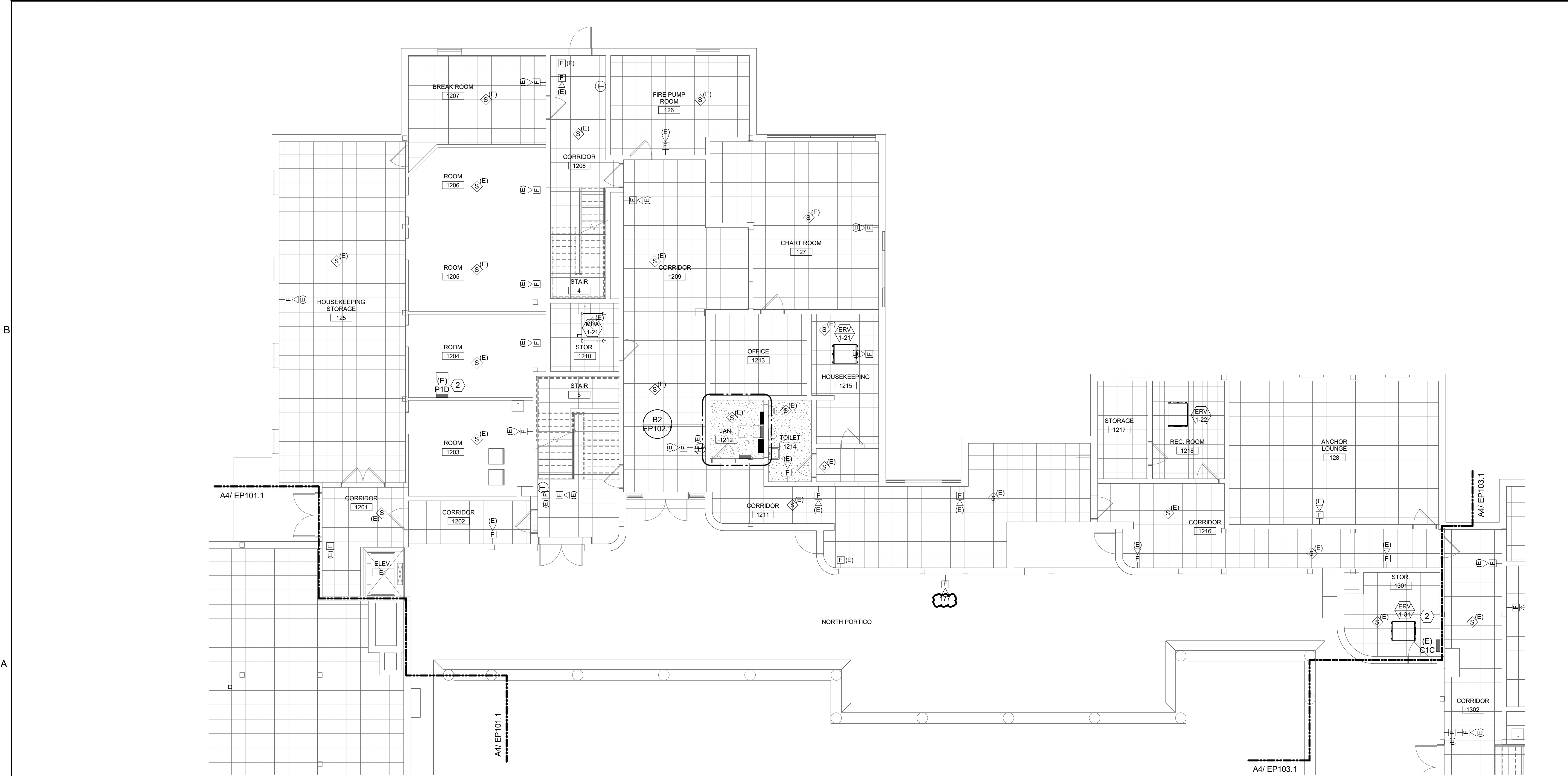
TITLE
 PHASE 2 FIRST FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS

SHEET
EP102.1

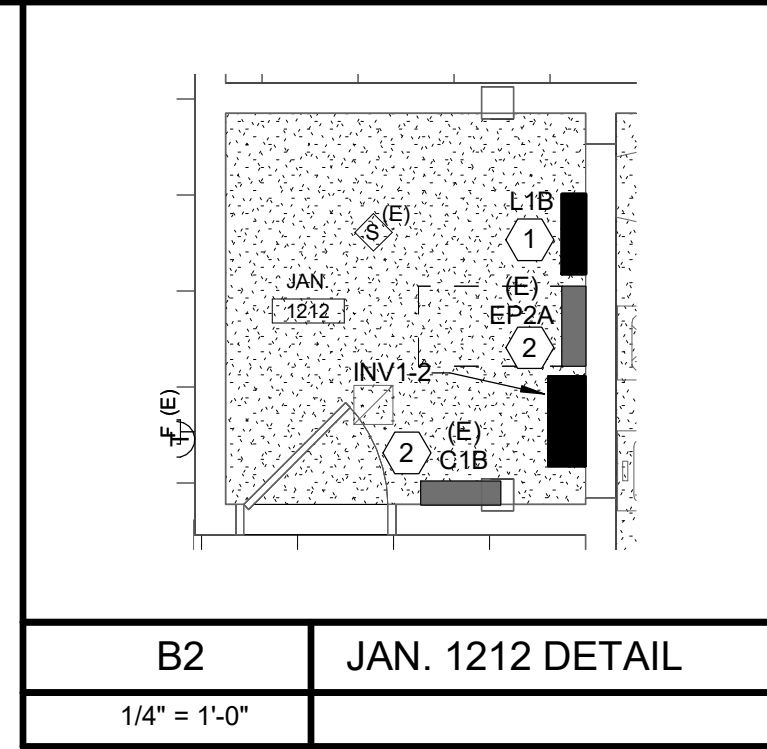


C6 PHASE 2 FIRST FLOOR ELECTRICAL REMOVALS - POWER & SYSTEMS
 1/8" = 1'-0"

D1 KEYNOTES- POWER & SYSTEMS REMOVALS

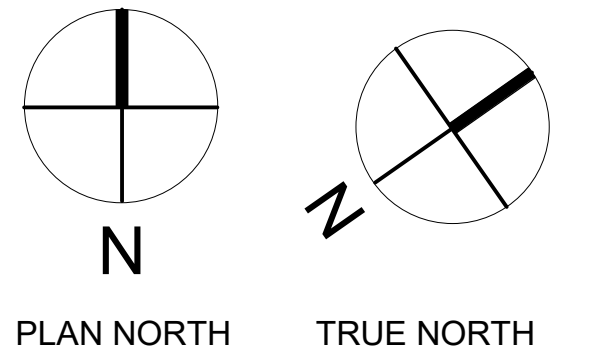


A6 PHASE 2 FIRST FLOOR POWER & SYSTEMS PLAN
 1/8" = 1'-0"



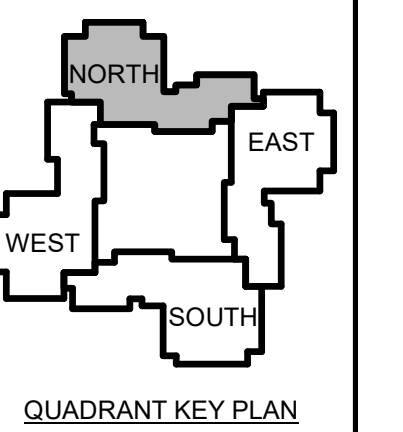
B2 JAN. 1212 DETAIL
 1/4" = 1'-0"

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



- 1 EXISTING PANELBOARD TO BE REPLACED IN SAME PLACE. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- 2 EXISTING PANELBOARD TO REMAIN. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- 3 TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400 FOR FIRE ALARM DEVICES.

A1 KEYNOTES - NEW POWER & SYSTEMS



| | | |
|-------------------|------|-------------|
| 1 | 12-5 | Addendum #1 |
| No. | Date | Description |
| Revision Schedule | | |

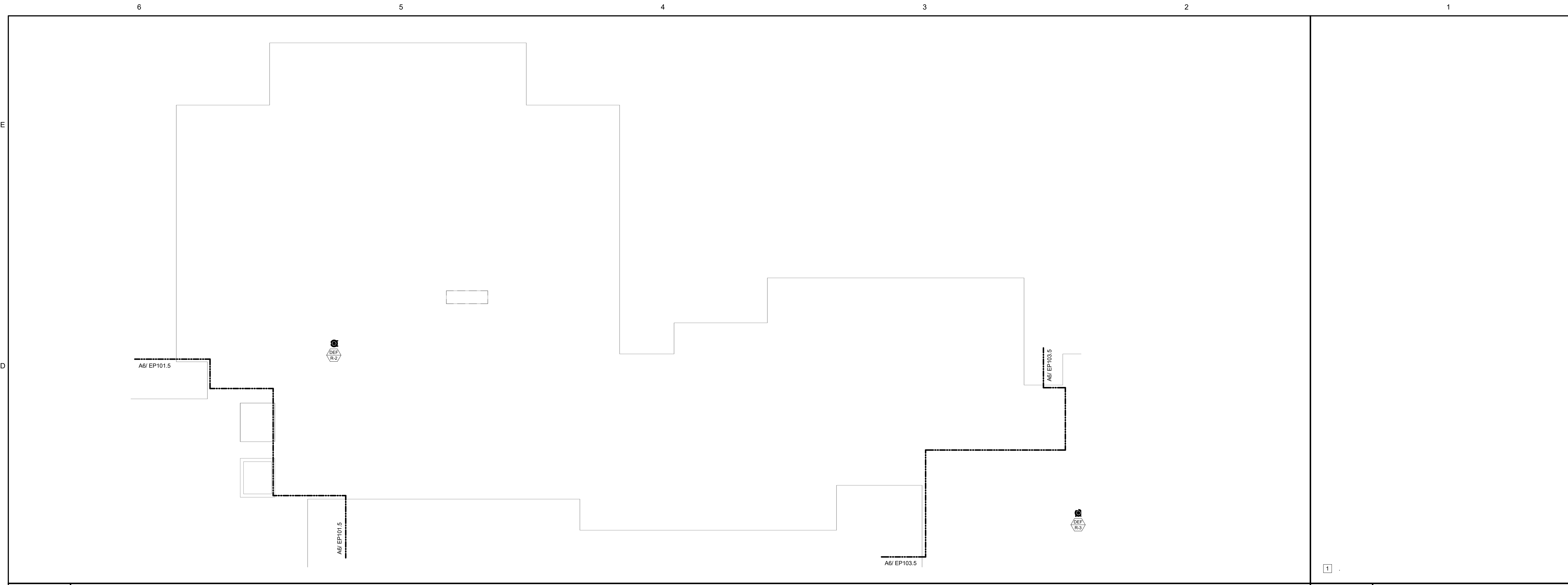
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

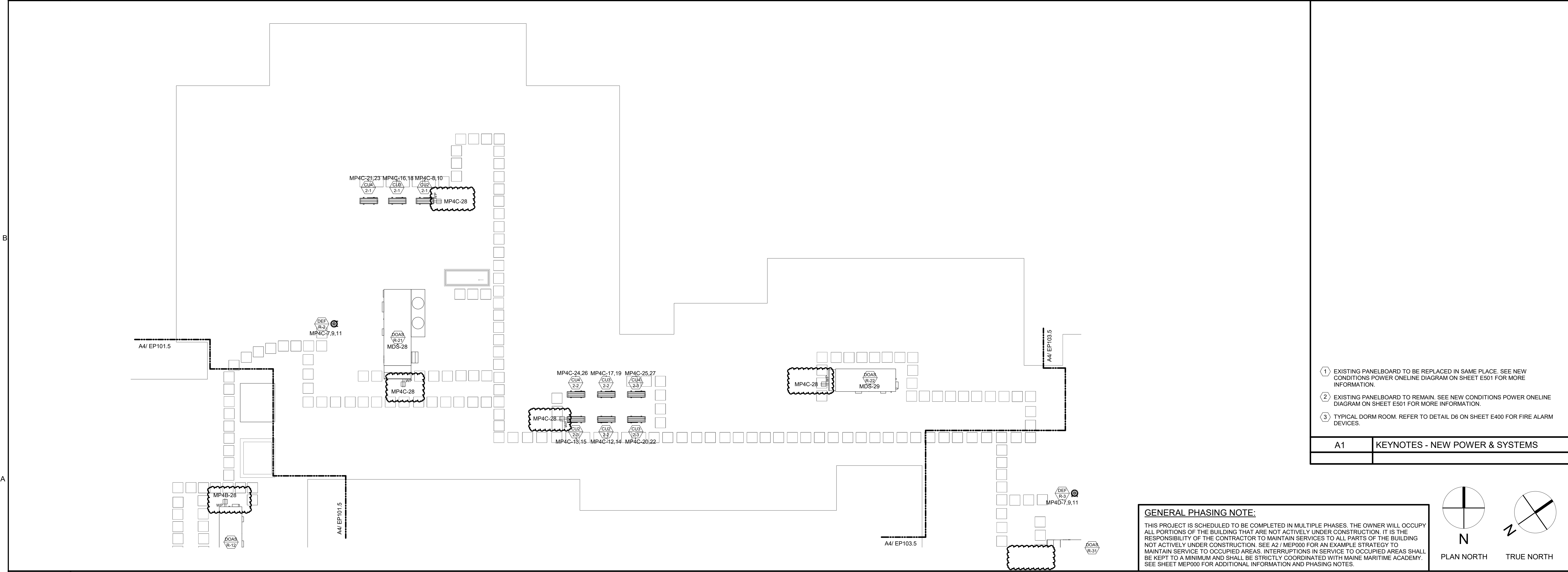
TITLE
PHASE 2 ROOF
POWER & SYSTEMS
REMOVALS & NEW
PLANS

SHEET
EP102.5



C6 PHASE 2 ROOF ELECTRICAL REMOVALS - POWER & SYSTEMS
1/8" = 1'-0"

D1 KEYNOTES- POWER & SYSTEMS REMOVALS



A6 PHASE 2 ROOF POWER & SYSTEMS PLAN
1/8" = 1'-0"

KEYNOTES - NEW POWER & SYSTEMS

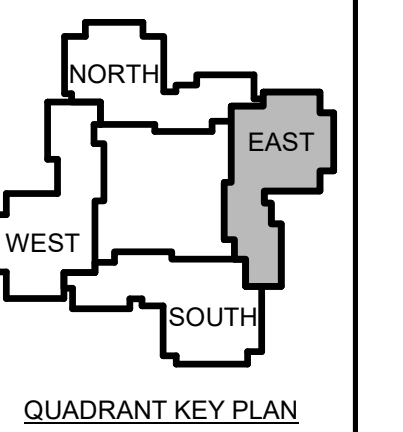
- EXISTING PANELBOARD TO BE REPLACED IN SAME PLACE. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- EXISTING PANELBOARD TO REMAIN. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400 FOR FIRE ALARM DEVICES.

GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

PLAN NORTH

TRUE NORTH

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|-------------------|------------------|-----|
| 1 | 12-5 Addendum #1 | -23 |
| No. / Date | Description | |
| Revision Schedule | | |

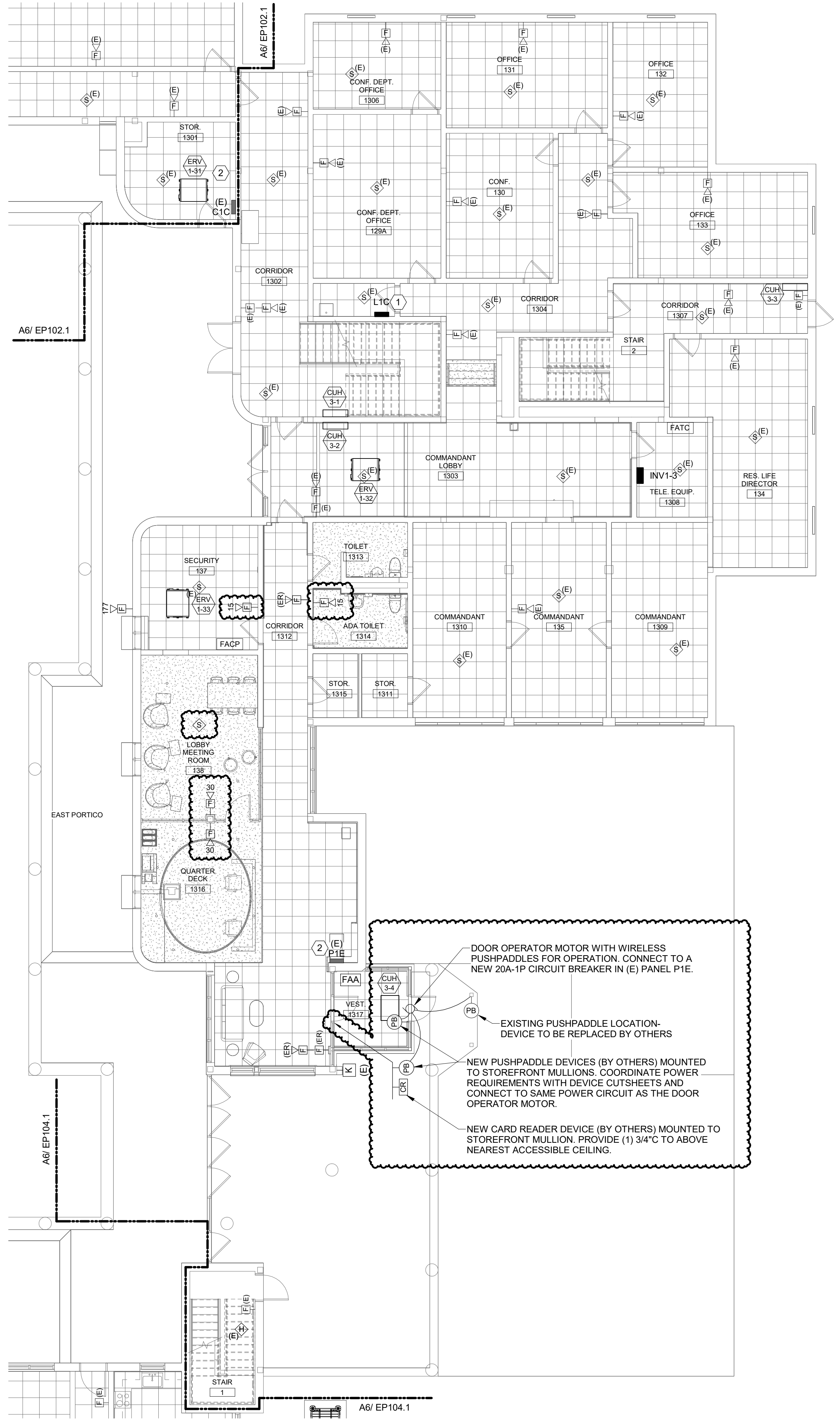
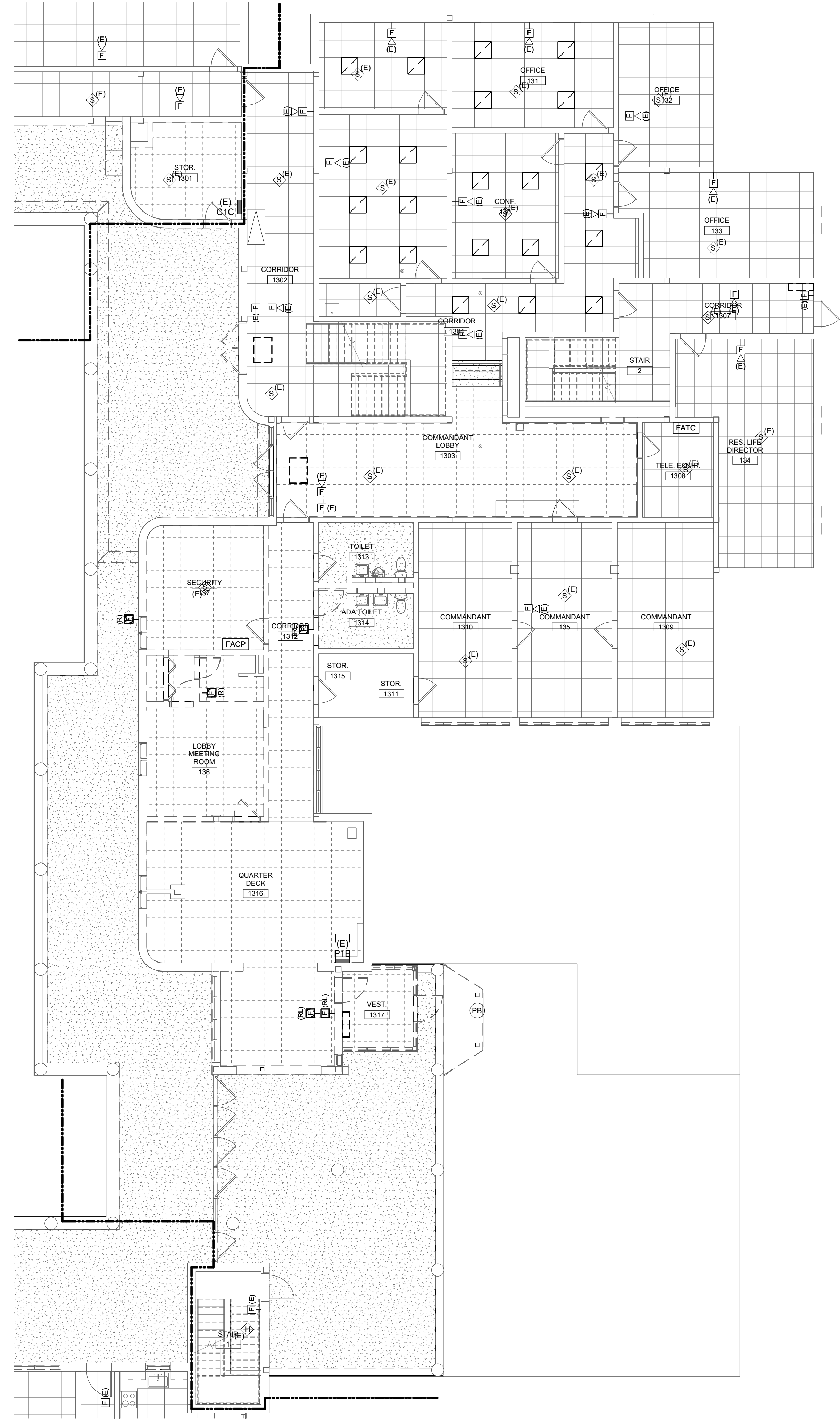
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 3 FIRST FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS

SHEET
EP103.1



DOOR OPERATOR MOTOR WITH WIRELESS PUSH-PADDLES FOR OPERATION. CONNECT TO A NEW 20A-1P CIRCUIT BREAKER IN (E) PANEL P1E.

EXISTING PUSH-PADDLE LOCATION. DEVICE TO BE REPLACED BY OTHERS

NEW PUSH-PADDLE DEVICES (BY OTHERS) MOUNTED TO STOREFRONT MULLIONS. COORDINATE POWER REQUIREMENTS WITH DEVICE CUTSHEETS AND CONNECT TO SAME POWER CIRCUIT AS THE DOOR OPERATOR MOTOR.

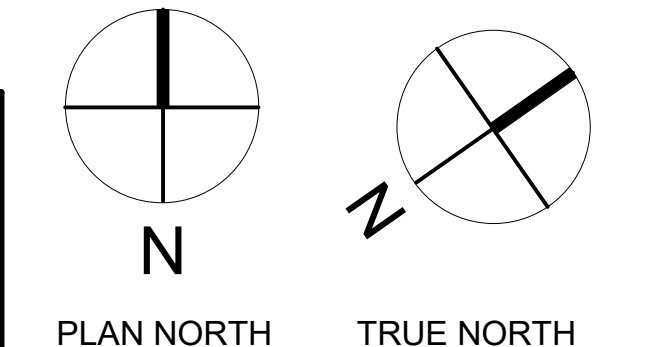
NEW CARD READER DEVICE (BY OTHERS) MOUNTED TO STOREFRONT MULLION. PROVIDE (1) 3/4" TO ABOVE NEAREST ACCESSIBLE CEILING.

D1 KEYNOTES- POWER & SYSTEMS REMOVALS

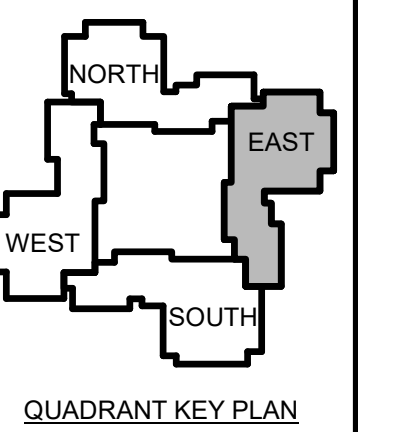
- 1 EXISTING PANELBOARD TO BE REPLACED IN SAME PLACE. SEE NEW CONDITIONS POWER ONLINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- 2 EXISTING PANELBOARD TO REMAIN. SEE NEW CONDITIONS POWER ONLINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- 3 TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400 FOR FIRE ALARM DEVICES.

A1 KEYNOTES - NEW POWER & SYSTEMS

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| | | |
|-------------------|------|-------------|
| 1 | 12-5 | Addendum #1 |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 PHASE 3 ROOF POWER & SYSTEMS REMOVALS & NEW PLANS

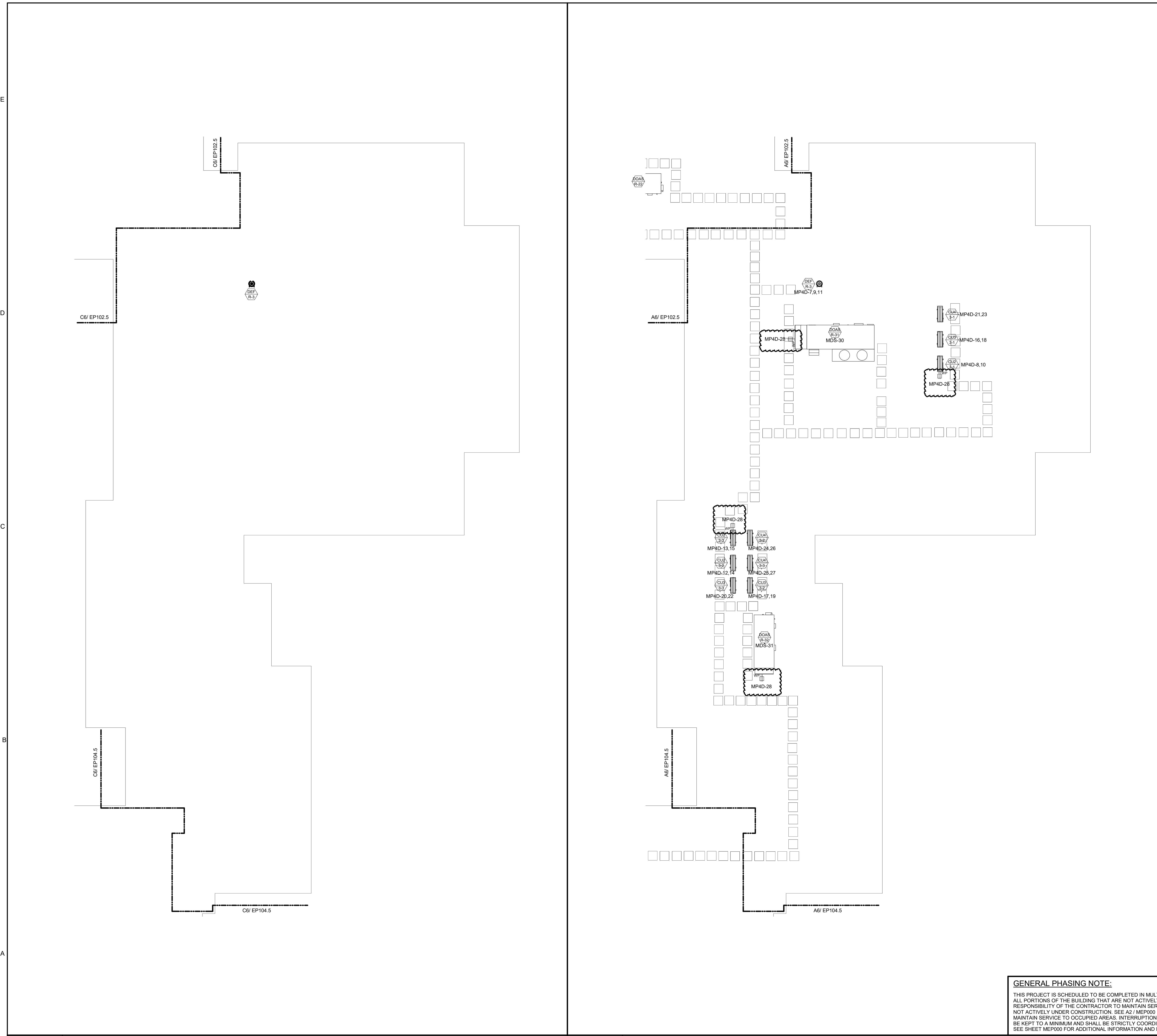
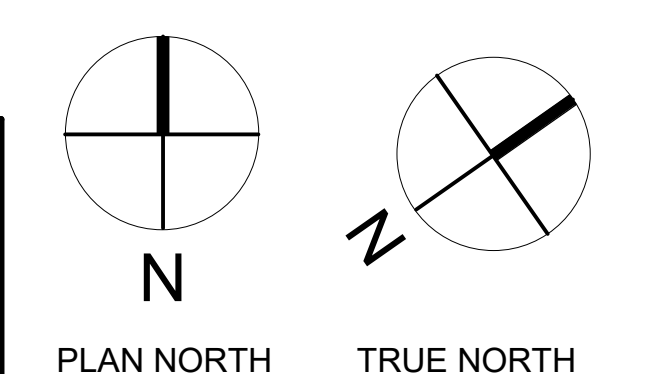
SHEET
EP103.5

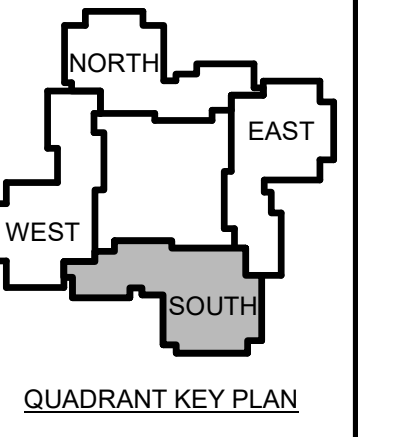
D1 KEYNOTES- POWER & SYSTEMS REMOVALS

- EXISTING PANELBOARD TO BE REPLACED IN SAME PLACE. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- EXISTING PANELBOARD TO REMAIN. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400 FOR FIRE ALARM DEVICES.

A1 KEYNOTES - NEW POWER & SYSTEMS

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

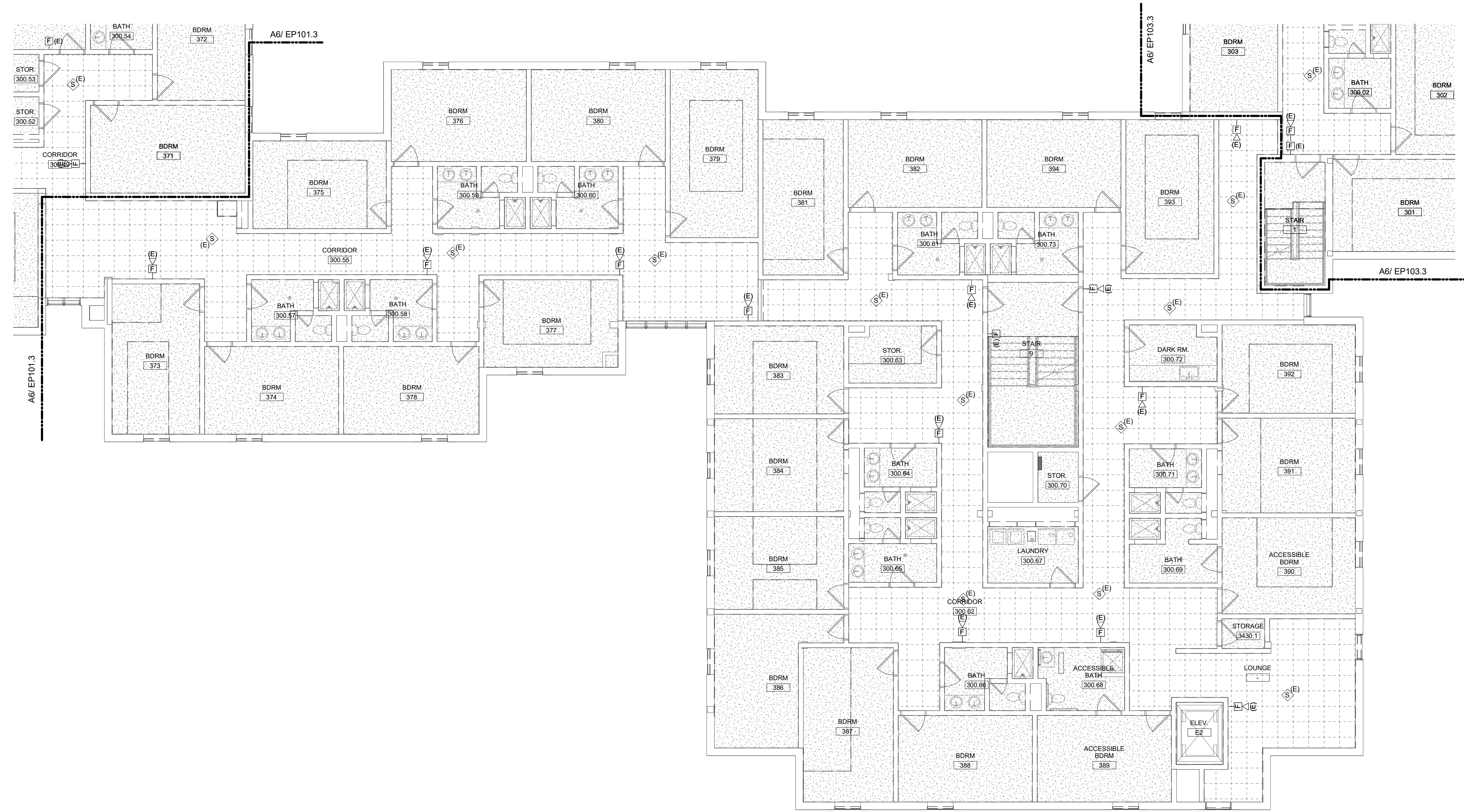
No. Date Description
 Revision Schedule

JOB NO.
 076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 4 THIRD
 FLOOR POWER &
 SYSTEMS
 REMOVALS & NEW
 PLANS

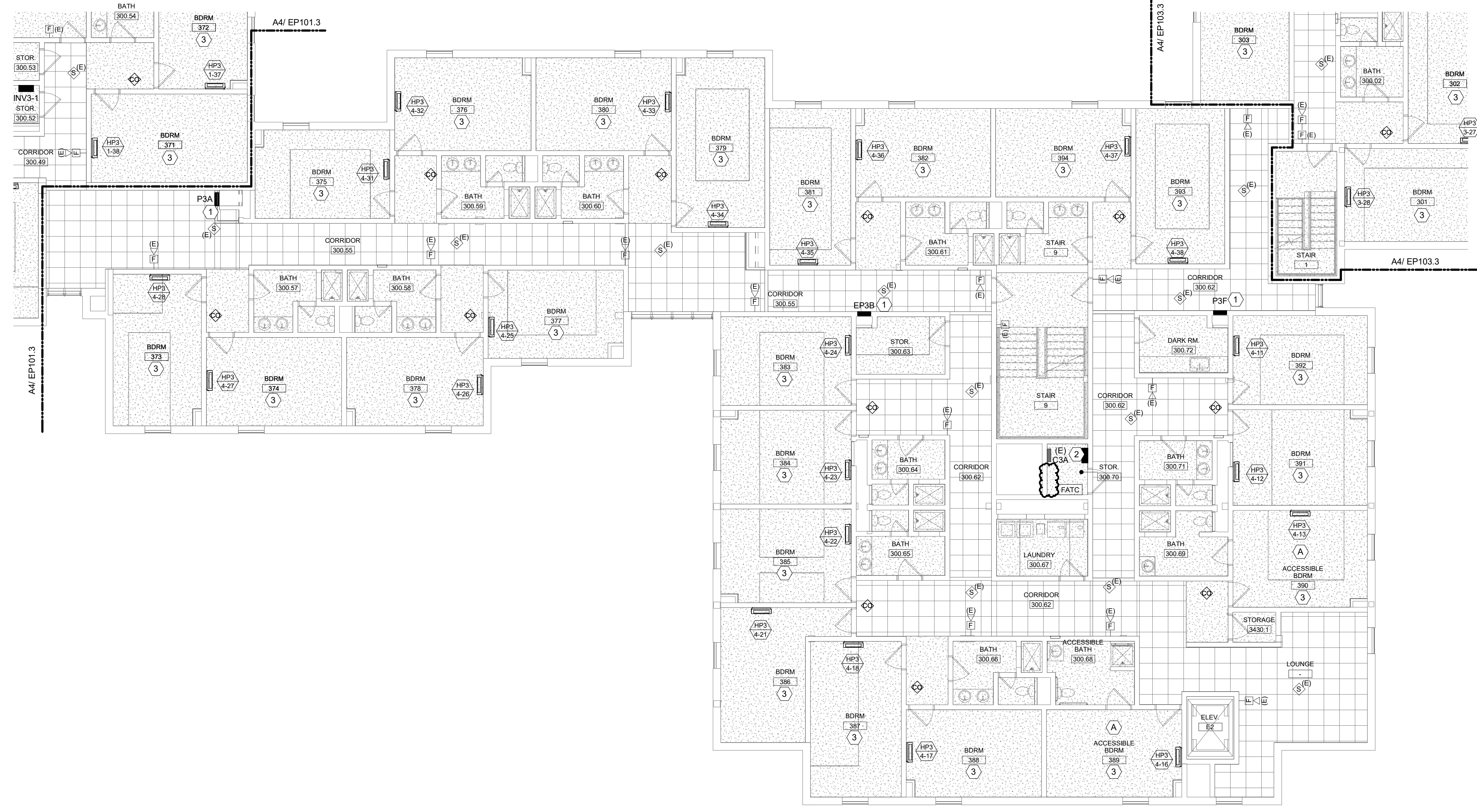
SHEET
EP104.3



C6 PHASE 4 THIRD FLOOR ELECTRICAL REMOVALS - POWER & SYSTEMS

1/8" = 1'-0"

D1 KEYNOTES- POWER & SYSTEMS REMOVALS



A6 PHASE 4 THIRD FLOOR POWER & SYSTEMS PLAN

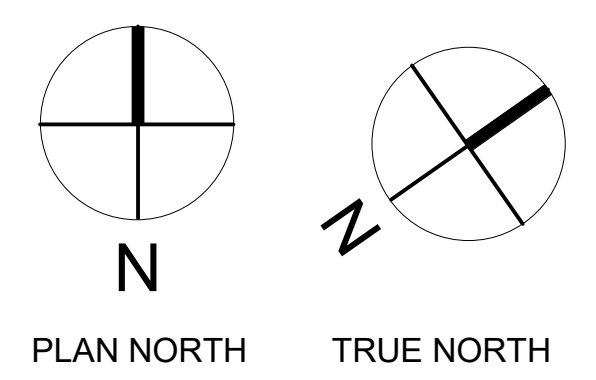
1/8" = 1'-0"

REQUIREMENTS FOR ADA ACCESSIBLE ROOMS:
 PROVIDE A JUNCTION BOX TO BE INSTALLED IN THE ROOM FOR WALL MOUNTED DOOR COMMUNICATION AV DEVICE (FLASHING LIGHTBUZZER) AND ONE OUTSIDE FOR A PUSHBUTTON (DOORBELL). THE SYSTEM SHALL BE SPECIFIED BY THE ARCHITECT. INSTALLED AND WIRED BY THE EC. THE POWER FOR THE LOW VOLTAGE STEP DOWN TRANSFORMER SHALL BE EXTENDED FROM THE RECEPTACLE CIRCUIT SERVING THE RESPECTIVE DORM ROOM.
 PROVIDE AN ADDRESSABLE CONTROL RELAY BASE WITH THE SMOKE DETECTOR IN THE ROOM FOR PROVISIONS OF SIGNAL TO ACTIVATE A 'BED SHAKER' DEVICE. THE SYSTEM SHALL BE SPECIFIED BY THE ARCHITECT. INSTALLED AND WIRED BY THE EC. THE POWER FOR THE LOW VOLTAGE STEP DOWN TRANSFORMER FOR THIS DEVICE SHALL ALSO BE EXTENDED FROM THE RECEPTACLE CIRCUIT SERVING THE RESPECTIVE DORM ROOM.

- 1 EXISTING PANELBOARD TO BE REPLACED IN SAME PLACE. SEE NEW CONDITIONS POWER ONLINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- 2 EXISTING PANELBOARD TO REMAIN. SEE NEW CONDITIONS POWER ONLINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- 3 TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400 FOR FIRE ALARM DEVICES.

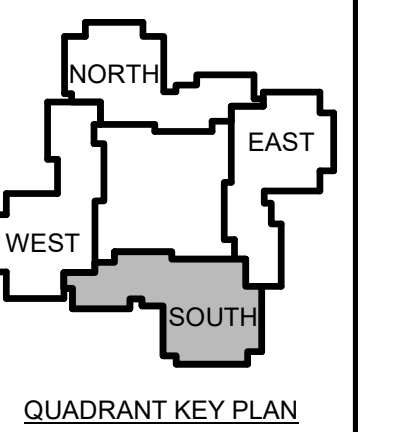
A1 KEYNOTES - NEW POWER & SYSTEMS

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| No. | Date | Description |
|-----|---------|-------------|
| 1 | 12-5-23 | Addendum #1 |

Revision Schedule

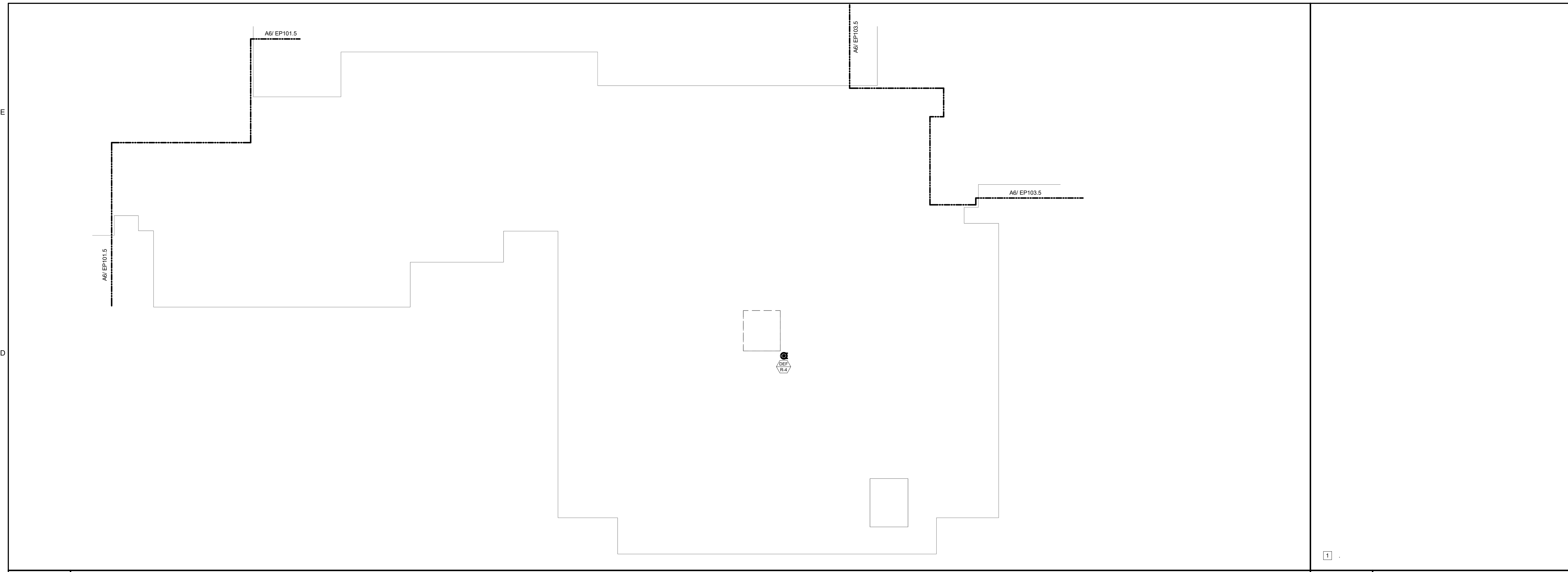
NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

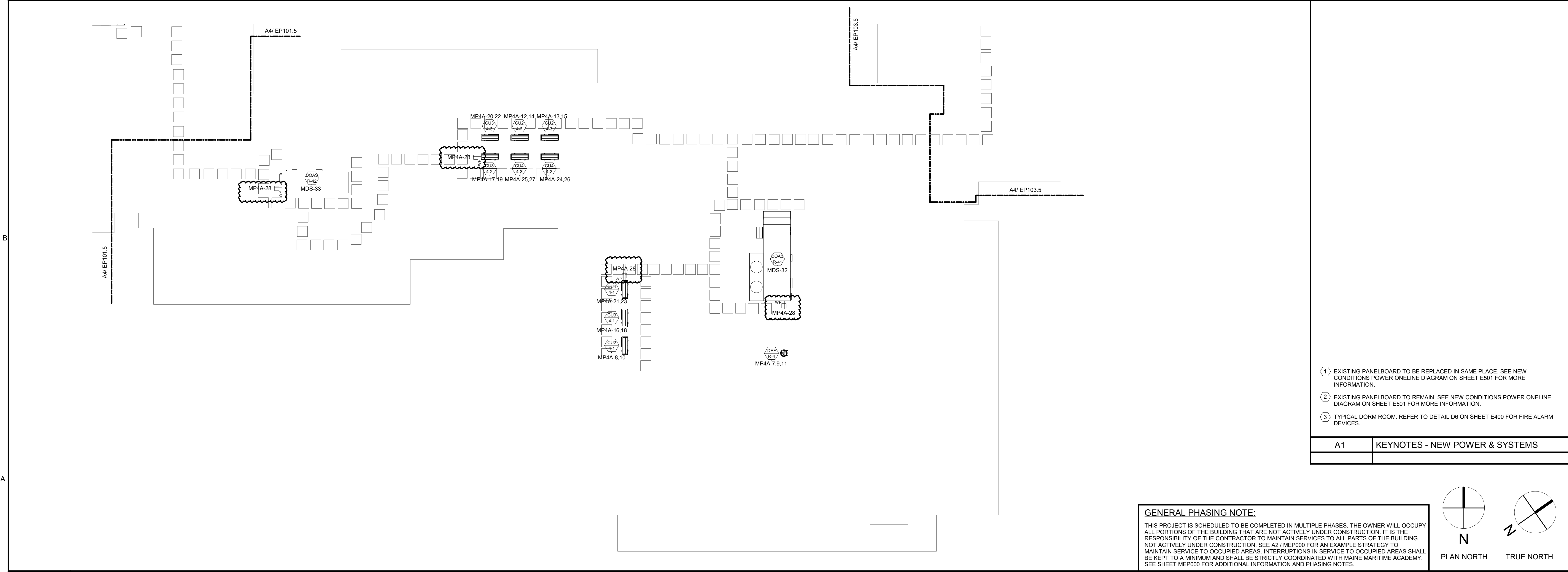
TITLE
 PHASE 4 ROOF POWER & SYSTEMS REMOVALS & NEW PLANS

SHEET
EP104.5



C6 PHASE 4 ROOF ELECTRICAL REMOVALS - POWER & SYSTEMS
 1/8" = 1'-0"

D1 KEYNOTES- POWER & SYSTEMS REMOVALS

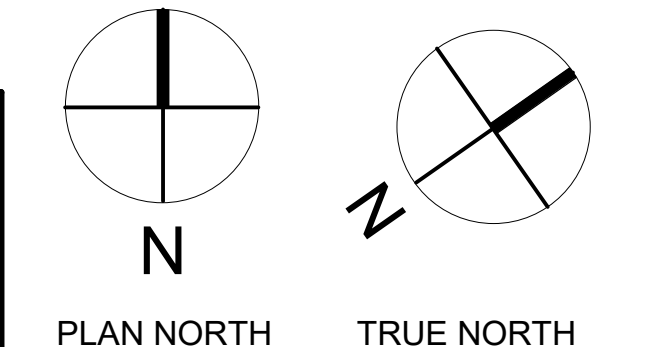


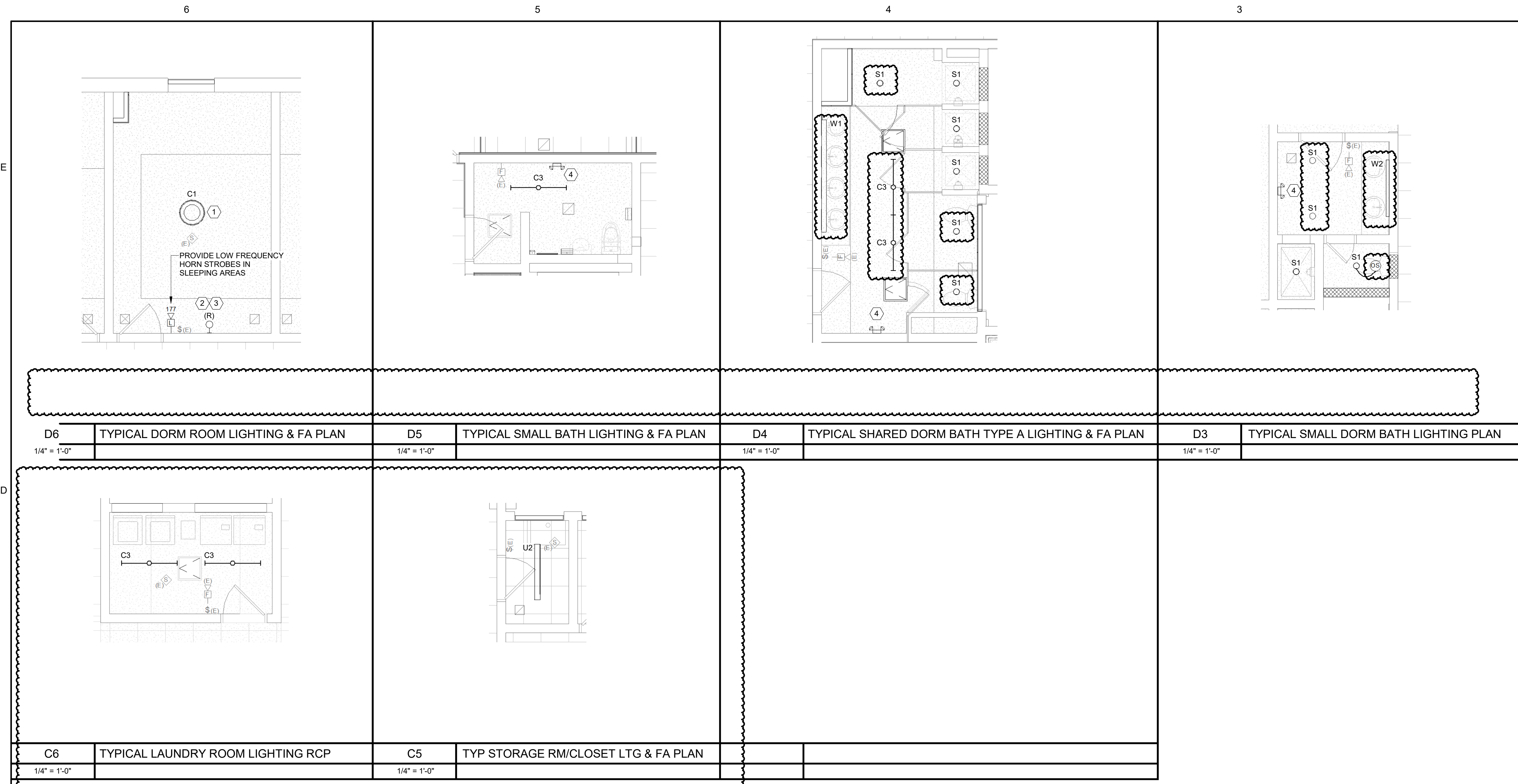
A6 PHASE 4 ROOF POWER & SYSTEMS PLAN
 1/8" = 1'-0"

- ① EXISTING PANELBOARD TO BE REPLACED IN SAME PLACE. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- ② EXISTING PANELBOARD TO REMAIN. SEE NEW CONDITIONS POWER ONELINE DIAGRAM ON SHEET E501 FOR MORE INFORMATION.
- ③ TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400 FOR FIRE ALARM DEVICES.

A1 KEYNOTES - NEW POWER & SYSTEMS

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





- 1 REMOVE EXISTING LIGHT FIXTURE AND MOUNT NEW LIGHT FIXTURE IN SAME PLACE. CONNECT TO EXISTING CIRCUIT AND CONTROLS FROM WHICH EXISTING FIXTURE WAS REMOVED.
- 2 UNDER THE BASE BID, ON FLOORS 2, 3, & 4, REMOVE EXISTING WALL MOUNTED LIGHT FIXTURES. IN ROOMS WITH FIXTURES MOUNTED TO RECESSED BOXES, PROVIDE BLANK COVERPLATES. IN ROOMS WITH SURFACE WIREWAY AND BOXES, REMOVE UNUSED ITEMS COMPLETELY. ON ALL OTHER FLOORS, THE WALL MOUNTED LIGHT FIXTURES SHALL BE EXISTING TO REMAIN.
- 3 UNDER ALTERNATE #3 ON FLOORS OTHER THAN 2, 3, & 4, REMOVE EXISTING WALL MOUNTED LIGHT FIXTURES. IN ROOMS WITH FIXTURES MOUNTED TO RECESSED BOXES, PROVIDE BLANK COVERPLATES. IN ROOMS WITH SURFACE WIREWAY AND BOXES, REMOVE UNUSED ITEMS COMPLETELY. ON ALL OTHER FLOORS, THE WALL MOUNTED LIGHT FIXTURES SHALL BE EXISTING TO REMAIN.
- 4 PROVIDE EMERGENCY BATTERY LIGHTS IN BATHROOMS UNDER BASE BID AND ALL ALTERNATES.

| | |
|----|----------|
| E3 | KEYNOTES |
|----|----------|

DRAWING GENERAL NOTES:

1. THE LAYOUTS SHOWN ON THIS SHEET ARE INTENDED TO SHOW THE TYPICAL ARRANGEMENT OF LIGHT FIXTURES AND DEVICES. IT IS THE INTENT OF THIS DRAWING TO INDICATE THE TYPICAL QUANTITIES OF ITEMS AND THEIR GENERAL PLACEMENT IN THEIR RESPECTIVE ROOMS. ALL FINAL LAYOUTS SHOULD BE COORDINATED WITH ACTUAL SITE CONDITIONS AND THE REST OF THE PROJECT DOCUMENTS.
2. CONNECT NEW LIGHTING FIXTURE(S) TO EXISTING BRANCH CIRCUIT AND CONTROLS FROM WHICH EXISTING FIXTURES WERE REMOVED. EXTEND EXISTING WIRING TO NEW FIXTURE LOCATIONS AS REQUIRED.



COPYRIGHT
CHA Architecture
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421

| 1 | 12-5-23 | Addendum #1 |
|-------------------|---------|-------------|
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
ELECTRICAL ENLARGED PLANS

SHEET
E400



COPYRIGHT CHA Architecture

CURTIS HALL RENOVATIONS

12-5 Addendum #1 -23

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING

TITLE ELECTRICAL SCHEDULES

SHEET

E600

VOLTAGE DROP CHART table with columns for MAXIMUM LOAD (VA), MAXIMUM LENGTH PER CONDUCTOR SIZE, and conductor sizes (#12, #10, #8).

BRANCH CIRCUITS SCHEDULE table with columns for CIRCUIT BREAKER and CONDUCTOR, listing various breaker and conductor specifications.

THREE PHASE AND SINGLE PHASE CIRCUIT SCHEDULE NOTES table with 11 numbered notes regarding conductor sizing, grounding, and equipment.

FEEDER SCHEDULE table with columns for TAG, MAXIMUM AMPERE RATING, PHASE AND NEUTRAL CONDUCTORS, GROUND CONDUCTOR, CONDUIT, and TAG, listing various feeder specifications.

DRY TYPE TRANSFORMER SCHEDULE (STEP UP) table with columns for TAG, KVA, 208 VOLT OVERCURRENT, 480 VOLT OVERCURRENT, 208 VOLT FEEDER, 277/480 VOLT FEEDER, and GROUNDING.

DRY TYPE TRANSFORMER SCHEDULE (STEP DOWN) table with columns for TAG, KVA, 480 VOLT OVERCURRENT, 208 VOLT OVERCURRENT, 480 VOLT FEEDER, 120/208 VOLT FEEDER, and GROUNDING.

TECHNOLOGY MATRIX table with columns for SYMBOL, MOUNTING HEIGHT, DESCRIPTION, KEY NOTE, CONDUIT SIZE, and BOX TYPE, listing various outlet and box types.

SPECIAL RECEPTACLE SCHEDULE table with columns for TAG, NEMA, DESCRIPTION, OCPD, and BRANCH CIRCUIT, listing various receptacle specifications.

Revision Schedule

Revision Schedule

ELECTRICAL SCHEDULE OF MECHANICAL EQUIPMENT

Table with columns: TAG, DESCRIPTION, VOLTS, PH, LOAD, FLA, MCA, MOPD, DISCONNECT SWITCH (FRAME, POLES, FUSE, NEMA ENCL, FBD), PANEL, NOTES. Includes entries for TMV-1, RCP-1, RCP-2, GF-1, P-H1, P-G1, DEF-R-1, DEF-R-2, DEF-R-3, DEF-R-4, H-1, ERV-1-11, ERV-1-12, ERV-1-21, ERV-1-31, ERV-1-32, ERV-1-33, ERV-1-41, ERV-1-42, ERV-1-43, ERV-1-44, ERV-1-45, ERV-1-46, ERV-1-47, ERV-1-48, ERV-1-49, ERV-1-50, ERV-1-51, ERV-1-52, ERV-1-53, ERV-1-54, ERV-1-55, ERV-1-56, ERV-1-57, ERV-1-58, ERV-1-59, ERV-1-60, ERV-1-61, ERV-1-62, ERV-1-63, ERV-1-64, ERV-1-65, ERV-1-66, ERV-1-67, ERV-1-68, ERV-1-69, ERV-1-70, ERV-1-71, ERV-1-72, ERV-1-73, ERV-1-74, ERV-1-75, ERV-1-76, ERV-1-77, ERV-1-78, ERV-1-79, ERV-1-80, ERV-1-81, ERV-1-82, ERV-1-83, ERV-1-84, ERV-1-85, ERV-1-86, ERV-1-87, ERV-1-88, ERV-1-89, ERV-1-90, ERV-1-91, ERV-1-92, ERV-1-93, ERV-1-94, ERV-1-95, ERV-1-96, ERV-1-97, ERV-1-98, ERV-1-99, ERV-1-100.

MDS MDS MDS MDS MDS MDS

ELECTRICAL SCHEDULE OF MECHANICAL EQUIPMENT

Table with columns: TAG, DESCRIPTION, VOLTS, PH, LOAD, FLA, MCA, MOPD, DISCONNECT SWITCH (FRAME, POLES, FUSE, NEMA ENCL, FBD), PANEL, NOTES. Includes entries for HP2-3-28, HP2-3-3, HP2-3-31, HP2-3-32, HP2-3-33, HP2-3-34, HP2-3-35, HP2-3-36, HP2-3-37, HP2-3-38, HP2-3-39, HP2-3-40, HP2-3-41, HP2-3-42, HP2-3-43, HP2-3-44, HP2-3-45, HP2-3-46, HP2-3-47, HP2-3-48, HP2-3-49, HP2-3-50, HP2-3-51, HP2-3-52, HP2-3-53, HP2-3-54, HP2-3-55, HP2-3-56, HP2-3-57, HP2-3-58, HP2-3-59, HP2-3-60, HP2-3-61, HP2-3-62, HP2-3-63, HP2-3-64, HP2-3-65, HP2-3-66, HP2-3-67, HP2-3-68, HP2-3-69, HP2-3-70, HP2-3-71, HP2-3-72, HP2-3-73, HP2-3-74, HP2-3-75, HP2-3-76, HP2-3-77, HP2-3-78, HP2-3-79, HP2-3-80, HP2-3-81, HP2-3-82, HP2-3-83, HP2-3-84, HP2-3-85, HP2-3-86, HP2-3-87, HP2-3-88, HP2-3-89, HP2-3-90, HP2-3-91, HP2-3-92, HP2-3-93, HP2-3-94, HP2-3-95, HP2-3-96, HP2-3-97, HP2-3-98, HP2-3-99, HP2-3-100.

ELECTRICAL SCHEDULE OF MECHANICAL EQUIPMENT

Table with columns: TAG, DESCRIPTION, VOLTS, PH, LOAD, FLA, MCA, MOPD, DISCONNECT SWITCH (FRAME, POLES, FUSE, NEMA ENCL, FBD), PANEL, NOTES. Includes entries for HP4-1-16, HP4-1-17, HP4-1-18, HP4-1-19, HP4-1-20, HP4-1-21, HP4-1-22, HP4-1-23, HP4-1-24, HP4-1-25, HP4-1-26, HP4-1-27, HP4-1-28, HP4-1-29, HP4-1-30, HP4-1-31, HP4-1-32, HP4-1-33, HP4-1-34, HP4-1-35, HP4-1-36, HP4-1-37, HP4-1-38, HP4-1-39, HP4-1-40, HP4-1-41, HP4-1-42, HP4-1-43, HP4-1-44, HP4-1-45, HP4-1-46, HP4-1-47, HP4-1-48, HP4-1-49, HP4-1-50, HP4-1-51, HP4-1-52, HP4-1-53, HP4-1-54, HP4-1-55, HP4-1-56, HP4-1-57, HP4-1-58, HP4-1-59, HP4-1-60, HP4-1-61, HP4-1-62, HP4-1-63, HP4-1-64, HP4-1-65, HP4-1-66, HP4-1-67, HP4-1-68, HP4-1-69, HP4-1-70, HP4-1-71, HP4-1-72, HP4-1-73, HP4-1-74, HP4-1-75, HP4-1-76, HP4-1-77, HP4-1-78, HP4-1-79, HP4-1-80, HP4-1-81, HP4-1-82, HP4-1-83, HP4-1-84, HP4-1-85, HP4-1-86, HP4-1-87, HP4-1-88, HP4-1-89, HP4-1-90, HP4-1-91, HP4-1-92, HP4-1-93, HP4-1-94, HP4-1-95, HP4-1-96, HP4-1-97, HP4-1-98, HP4-1-99, HP4-1-100.



COPYRIGHT CHA Architecture. Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS. Maine Maritime Academy, Curtis Hall. 1 Pleasant Street, Castine, Maine 04421.

ELECTRICAL SCHEDULE OF MECHANICAL EQUIPMENT

Table with columns: TAG, DESCRIPTION, VOLTS, PH, LOAD, FLA, MCA, MOPD, DISCONNECT SWITCH (FRAME, POLES, FUSE, NEMA ENCL, FBD), PANEL, NOTES. Includes entries for MUA-1-21, CUH-1-1, CUH-3-1, CUH-3-2, CUH-3-3, CUH-3-4, CUH-4-1, CUH-4-2, CUH-4-3, CUH-4-4, CUH-4-5, CUH-4-6, CUH-4-7, CUH-4-8, CUH-4-9, CUH-4-10, CUH-4-11, CUH-4-12, CUH-4-13, CUH-4-14, CUH-4-15, CUH-4-16, CUH-4-17, CUH-4-18, CUH-4-19, CUH-4-20, CUH-4-21, CUH-4-22, CUH-4-23, CUH-4-24, CUH-4-25, CUH-4-26, CUH-4-27, CUH-4-28, CUH-4-29, CUH-4-30, CUH-4-31, CUH-4-32, CUH-4-33, CUH-4-34, CUH-4-35, CUH-4-36, CUH-4-37, CUH-4-38, CUH-4-39, CUH-4-40, CUH-4-41, CUH-4-42, CUH-4-43, CUH-4-44, CUH-4-45, CUH-4-46, CUH-4-47, CUH-4-48, CUH-4-49, CUH-4-50.

Table with columns: No., Date, Description. Includes Addendum #1-23.

NOT FOR CONSTRUCTION. JOB NO. 076982.

ISSUE. 100% CONSTRUCTION DOCUMENTS ISSUED FOR BIDDING. 11/22/2023.

TITLE ELECTRICAL SCHEDULES. SHEET E601.

SCHEDULE OF PANELS (PHASE 1 QUADRANT - BLUE)

Table with columns: PANEL, MOUNTING, VOLTAGE, MAINS (TYPE, FEED, SIZE), ACTIVE CIRCUIT BREAKERS (15/1, 20/1, 30/1, 15/2, 20/2, 30/2, 40/2, 50/2, 60/2, 15/3, 20/3, 25/3, 30/3, 50/3, 60/3, 100/3, 150/3, 225/3, 250/3, 400/3), SPARE 20A/1P, SPACE, TOTAL POLES, AIC RATING, NOTES.

- SCHEDULE NOTES:
1 All 15A-1P and 20A-1P circuit breakers in new or replaced panels that serve dormitory living area circuits (bedrooms, living rooms, hallways, closets, bathrooms, laundry rooms, lounge and similar rooms in the living area) shall be provided as AFCI type breakers; verify exact quantity required for each panel in field.
2 All 30A-2P circuit breakers in new or replaced panels that serve existing student accessible laundry dryers shall be provided as GFCI type breakers; verify exact quantity required for each panel in field.
3 All 20A-1P circuit breakers in new or replaced panels that serve existing student accessible laundry washers shall be provided as GFCI type breakers; verify exact quantity required for each panel in field.

SCHEDULE OF PANELS (PHASE 2 QUADRANT - GREEN)

Table with columns: PANEL, MOUNTING, VOLTAGE, MAINS (TYPE, FEED, SIZE), ACTIVE CIRCUIT BREAKERS (15/1, 20/1, 30/1, 15/2, 20/2, 30/2, 40/2, 50/2, 60/2, 15/3, 20/3, 25/3, 30/3, 50/3, 60/3, 100/3, 150/3), SPARE 20A/1P, SPACE, TOTAL POLES, AIC RATING, NOTES.

- SCHEDULE NOTES:
1 All 15A-1P and 20A-1P circuit breakers in new or replaced panels that serve dormitory living area circuits (bedrooms, living rooms, hallways, closets, bathrooms, laundry rooms, lounge and similar rooms in the living area) shall be provided as AFCI type breakers; verify exact quantity required for each panel in field.
2 All 30A-2P circuit breakers in new or replaced panels that serve existing student accessible laundry dryers shall be provided as GFCI type breakers; verify exact quantity required for each panel in field.
3 All 20A-1P circuit breakers in new or replaced panels that serve existing student accessible laundry washers shall be provided as GFCI type breakers; verify exact quantity required for each panel in field.

SCHEDULE OF PANELS (PHASE 3 QUADRANT - RED)

Table with columns: PANEL, MOUNTING, VOLTAGE, MAINS (TYPE, FEED, SIZE), ACTIVE CIRCUIT BREAKERS (15/1, 20/1, 30/1, 15/2, 20/2, 30/2, 40/2, 50/2, 60/2, 15/3, 20/3, 25/3, 30/3, 50/3, 60/3, 100/3, 150/3), SPARE 20A/1P, SPACE, TOTAL POLES, AIC RATING, NOTES.

- SCHEDULE NOTES:
1 All 15A-1P and 20A-1P circuit breakers in new or replaced panels that serve dormitory living area circuits (bedrooms, living rooms, hallways, closets, bathrooms, laundry rooms, lounge and similar rooms in the living area) shall be provided as AFCI type breakers; verify exact quantity required for each panel in field.
2 All 30A-2P circuit breakers in new or replaced panels that serve existing student accessible laundry dryers shall be provided as GFCI type breakers; verify exact quantity required for each panel in field.
3 All 20A-1P circuit breakers in new or replaced panels that serve existing student accessible laundry washers shall be provided as GFCI type breakers; verify exact quantity required for each panel in field.

SCHEDULE OF PANELS (PHASE 4 QUADRANT - YELLOW)

Table with columns: PANEL, MOUNTING, VOLTAGE, MAINS (TYPE, FEED, SIZE), ACTIVE CIRCUIT BREAKERS (15/1, 20/1, 30/1, 15/2, 20/2, 30/2, 40/2, 50/2, 60/2, 15/3, 20/3, 25/3, 30/3, 40/3, 50/3, 60/3, 70/3, 90/3, 100/3, 125/3, 150/3, 200/3, 225/3, 400/3), SPARE 20A/1P, SPACE, TOTAL POLES, AIC RATING, NOTES.

- SCHEDULE NOTES:
1 All 15A-1P and 20A-1P circuit breakers in new or replaced panels that serve dormitory living area circuits (bedrooms, living rooms, hallways, closets, bathrooms, laundry rooms, lounge and similar rooms in the living area) shall be provided as AFCI type breakers; verify exact quantity required for each panel in field.
2 All 30A-2P circuit breakers in new or replaced panels that serve existing student accessible laundry dryers shall be provided as GFCI type breakers; verify exact quantity required for each panel in field.
3 All 20A-1P circuit breakers in new or replaced panels that serve existing student accessible laundry washers shall be provided as GFCI type breakers; verify exact quantity required for each panel in field.

SCHEDULE OF PANELS (EXISTING TO REMAIN)

Table with columns: PANEL, MOUNTING, VOLTAGE, MAINS (TYPE, FEED, SIZE), ACTIVE CIRCUIT BREAKERS (15/1, 20/1, 30/1, 20/2, 25/2, 30/2, 50/2, 60/2, 100/2, 15/3, 20/3, 30/3, 35/3, 40/3, 60/3, 90/3, 100/3, 150/3, 175/3, 225/3, 500/3), SPARE 20A/1P, SPACE, TOTAL POLES, AIC RATING, NOTE.

SCHEDULE NOTES:

Switchboard: MDS

Location: ELECTRICAL G113
Supply From:
Mounting: Floor
Enclosure: 1
Volts: 120/208 Wye
Phases: 3
Wires: 4
A.L.C. Rating: TBD
Mains Type: MLO
Mains Rating: 3000 A
MCB Rating:

Notes:

Table with columns: CKT, Circuit Description, # of Poles, Frame Size, Trip Rating, Load, Remarks. Includes rows for INCOMING PULL SECTION, MDP(E), MP111(R), PBA(R), L1B, C1B, C1C, P1B, 2B, 3B, 4B, P1A, 2A, 3A, 4A, 5A, 6A, L3B-P3E, L4B-P4E, L4A-P4D, L2B-P2E, L2A-P4D, L3A-P3D, Space, MP4A, MP4B, MP4C, MP4D, Space, HVAC DOAS R-11, HVAC DOAS R-12, HVAC DOAS R-21, HVAC DOAS R-22, HVAC DOAS R-31, HVAC DOAS R-32, HVAC DOAS R-41, HVAC DOAS R-42, Space, Space, Space.

Total Conn. Load: 461080 VA
Total Amps: 1280 A

Legend:

Table with columns: Load Classification, Connected Load, Demand Factor, Estimated Demand, Panel Totals. Rows for HVAC, Receptacle.

Notes:



COPYRIGHT CHA Architecture
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421

Table with columns: No., Date, Description. Row 1: 12-5 Addendum #1 -23

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE PANEL SCHEDULES

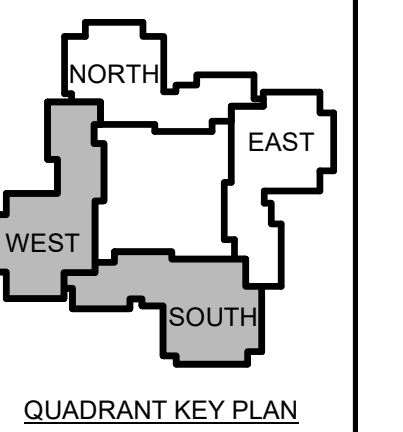
SHEET E602

SPRINKLER NOTES:

- ① FURNISH AND INSTALL NEW ISOLATION VALVE WITH TAMPER SWITCH.
- ② EXTEND COVERAGE WITHIN G111 STORAGE (FORMER RIFLE RANGE) TO PROVIDE COVERAGE THROUGHOUT PER NFPA-13 REQUIREMENTS.

COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

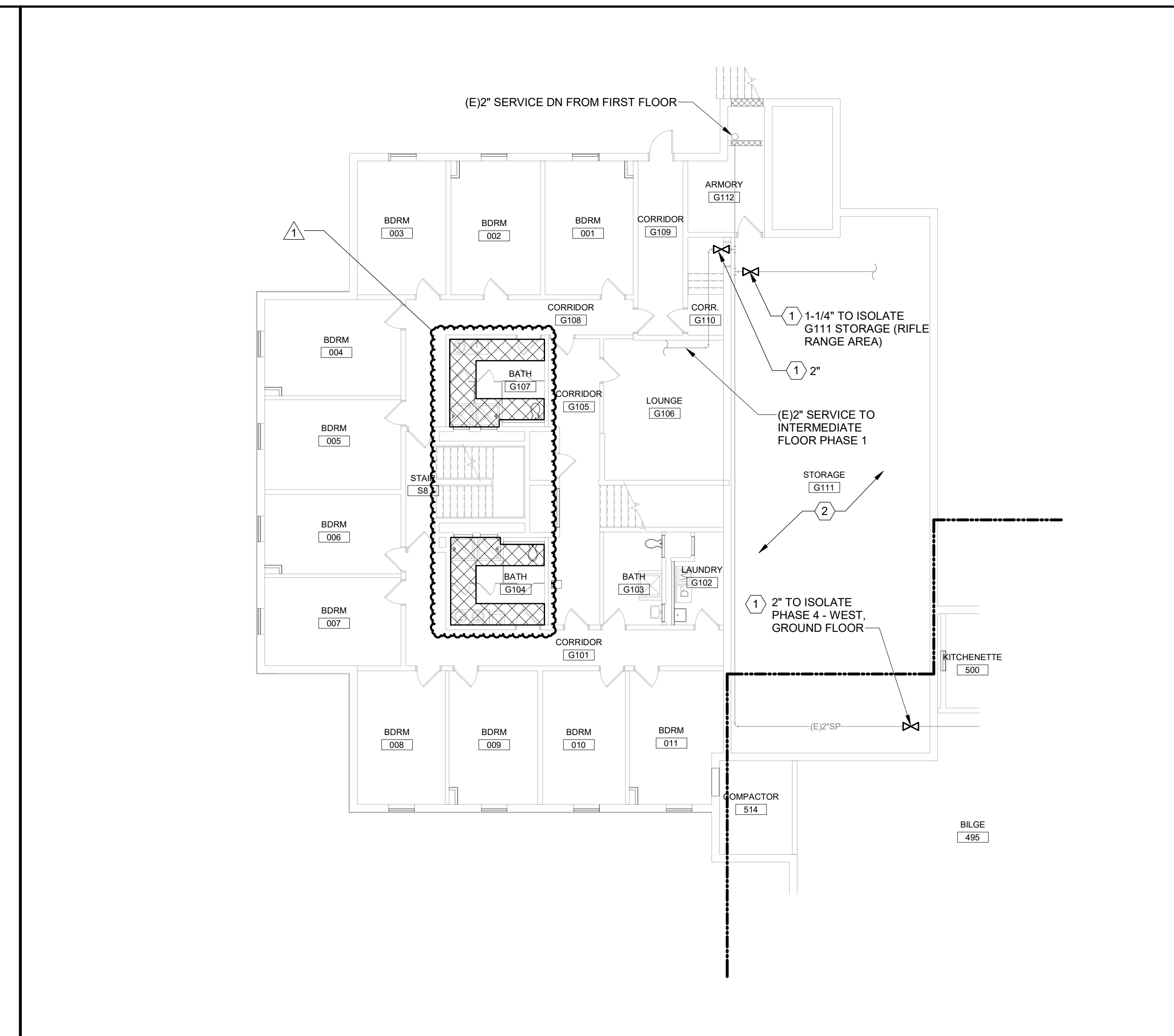
NOT FOR CONSTRUCTION

JOB NO.
076982

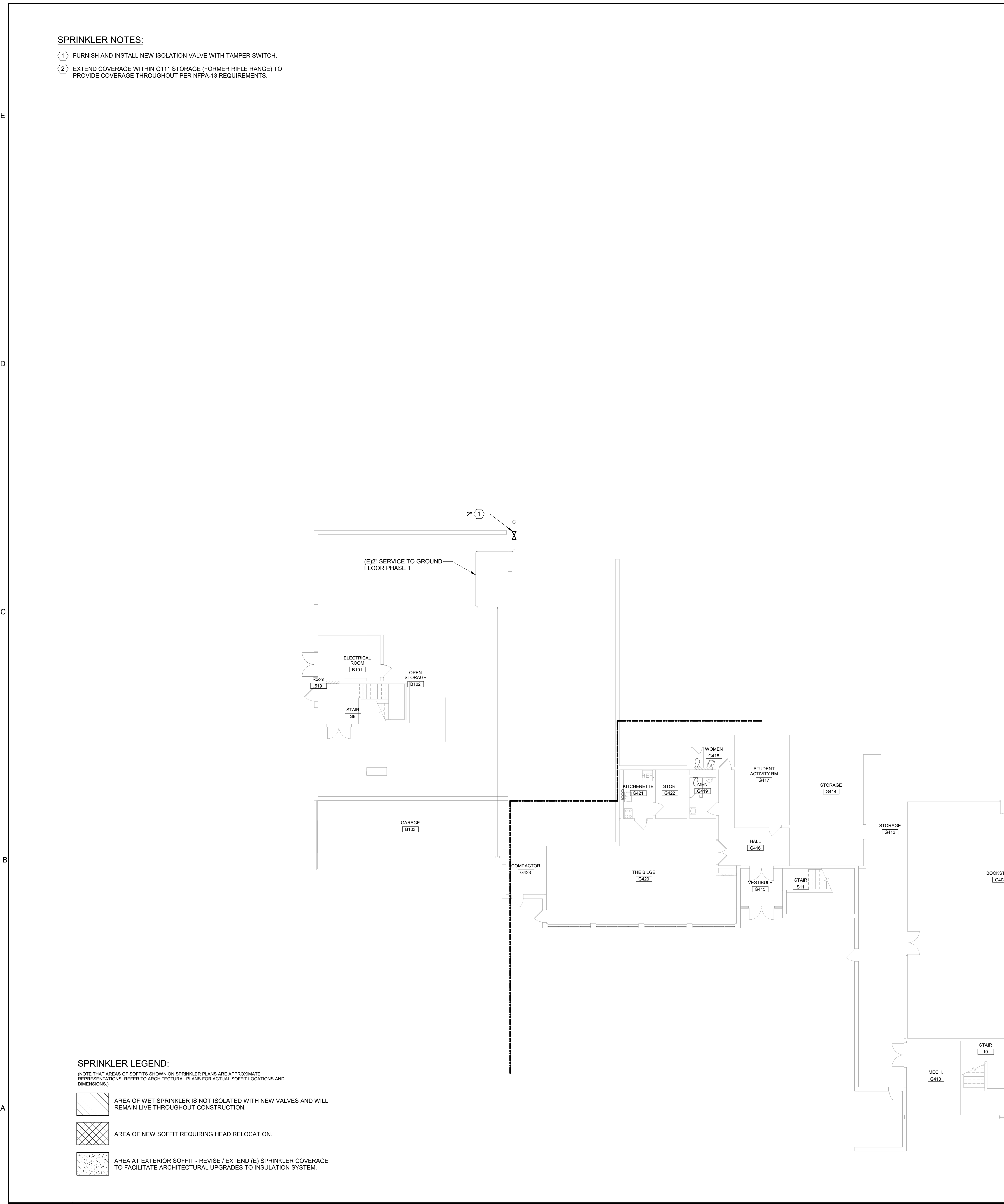
ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
GROUND AND INTERMEDIATE FLOOR FIRE PROTECTION PLAN

SHEET
FP100.0



C2 INTERMEDIATE FLOOR FIRE PROTECTION PLAN
 3/32" = 1'-0"



A6 GROUND FLOOR FIRE PROTECTION PLAN
 3/32" = 1'-0"

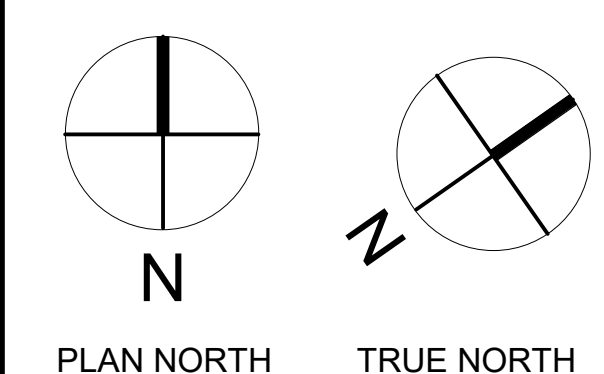
SPRINKLER LEGEND:

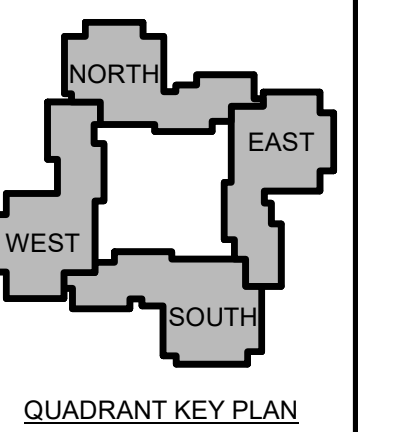
NOTE THAT AREAS OF SOFFITS SHOWN ON SPRINKLER PLANS ARE APPROXIMATE REPRESENTATIONS. REFER TO ARCHITECTURAL PLANS FOR ACTUAL SOFFIT LOCATIONS AND DIMENSIONS.

- AREA OF WET SPRINKLER IS NOT ISOLATED WITH NEW VALVES AND WILL REMAIN LIVE THROUGHOUT CONSTRUCTION.
- AREA OF NEW SOFFIT REQUIRING HEAD RELOCATION.
- AREA AT EXTERIOR SOFFIT - REVISE / EXTEND (E) SPRINKLER COVERAGE TO FACILITATE ARCHITECTURAL UPGRADES TO INSULATION SYSTEM.

GENERAL SPRINKLER NOTES:

1. NEW ISOLATION VALVES, (E) RISERS, AND (E) MAINS ARE SHOWN IN APPROXIMATE LOCATIONS. VERIFY ACTUAL LOCATION IN FIELD AND LOCATE NEW VALVES WHERE EASILY ACCESSIBLE.
2. ALL NEW ISOLATION VALVES SHALL BE CLEARLY LABELED TO IDENTIFY THE AREA SERVED.
3. VALVES ARE INTENDED TO PROVIDE ISOLATION FOR INDIVIDUAL CONSTRUCTION ZONES AS NEEDED TO COMPLETE THE WORK SCHEDULED IN THAT PHASE WHILE MAINTAINING OCCUPIED SECTIONS OF THE BUILDING FULLY PROTECTED EXCEPT AS STRICTLY SCHEDULED WITH THE OWNER. IT IS, HOWEVER, INTENDED THAT THE CONSTRUCTION ZONES REMAIN PROTECTED BY THE SPRINKLER SYSTEM EXCEPT WHERE SHUT-DOWNS ARE REQUIRED TO PERFORM THE WORK.
4. ALL TAMPER SWITCHES SHALL BE INTEGRATED WITH THE FIRE ALARM SYSTEM. COORDINATE WITH DIVISION 26.
5. ISOLATION VALVES FOR EACH PHASE SHALL BE INSTALLED DURING THE CONSTRUCTION PHASE FOR WHICH THEY SERVE.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | | -23 |

No. Date Description
 Revision Schedule

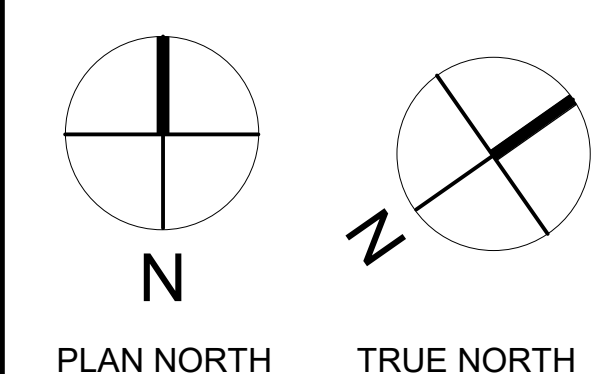
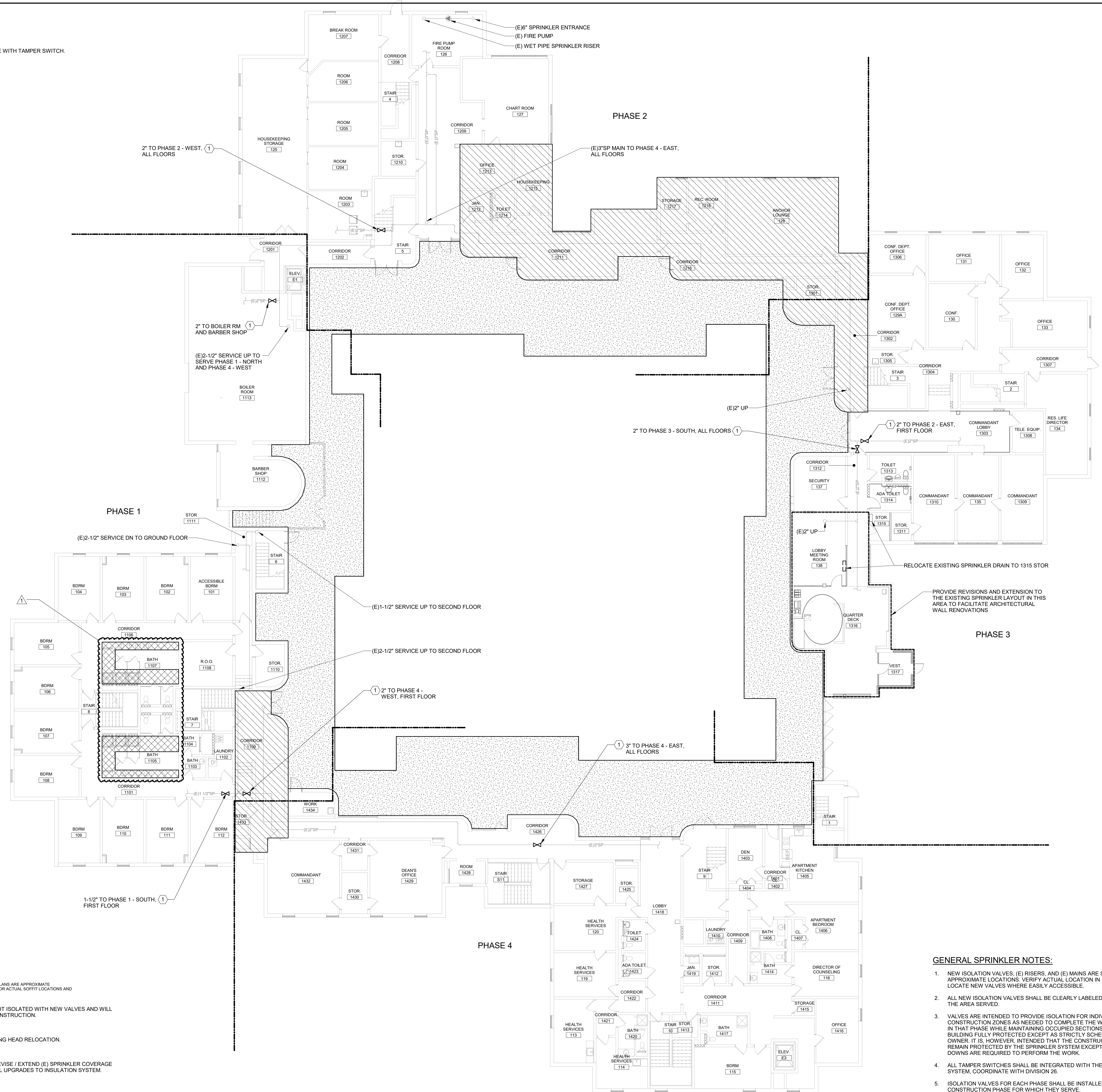
JOB NO.
076982

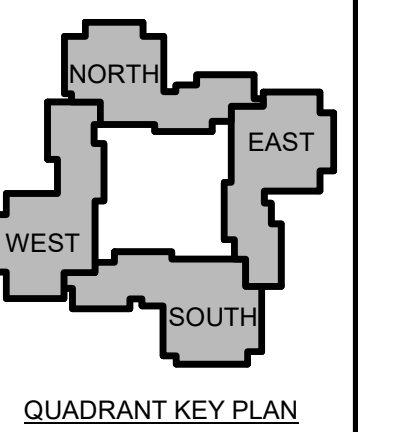
ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 FIRST FLOOR FIRE
 PROTECTION PLAN

SHEET
FP100.1

SPRINKLER NOTES:
 ① FURNISH AND INSTALL NEW ISOLATION VALVE WITH TAMPER SWITCH.





| | | |
|---|------|-------------|
| 1 | 12-5 | Addendum #1 |
| | -23 | |

No. Date Description
 Revision Schedule

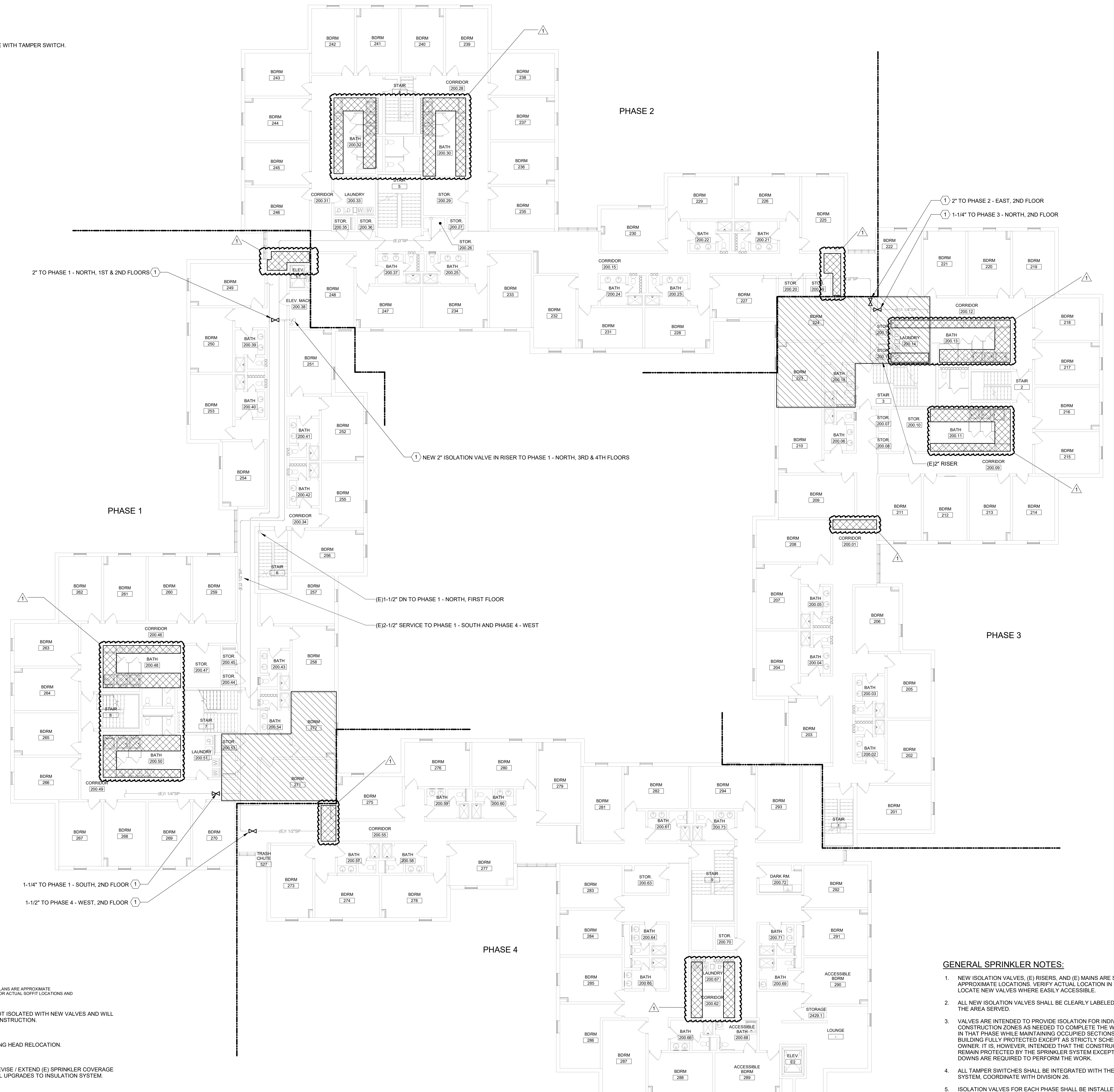
JOB NO.
076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 SECOND FLOOR FIRE
 PROTECTION PLAN

SHEET
FP100.2

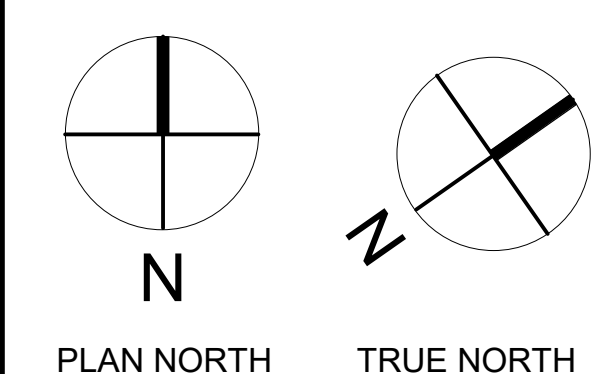
SPRINKLER NOTES:
 ① FURNISH AND INSTALL NEW ISOLATION VALVE WITH TAMPER SWITCH.

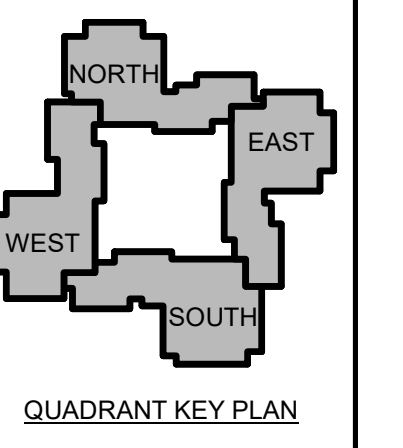


SPRINKLER LEGEND:
 NOTE THAT AREAS OF SOFFITS SHOWN ON SPRINKLER PLANS ARE APPROXIMATE REPRESENTATIONS. REFER TO ARCHITECTURAL PLANS FOR ACTUAL SOFFIT LOCATIONS AND DIMENSIONS.

- AREA OF WET SPRINKLER IS NOT ISOLATED WITH NEW VALVES AND WILL REMAIN LIVE THROUGHOUT CONSTRUCTION.
- AREA OF NEW SOFFIT REQUIRING HEAD RELOCATION.
- AREA AT EXTERIOR SOFFIT - REVISE / EXTEND (E) SPRINKLER COVERAGE TO FACILITATE ARCHITECTURAL UPGRADES TO INSULATION SYSTEM.

- GENERAL SPRINKLER NOTES:**
- NEW ISOLATION VALVES, (E) RISERS, AND (E) MAINS ARE SHOWN IN APPROXIMATE LOCATIONS. VERIFY ACTUAL LOCATION IN FIELD AND LOCATE NEW VALVES WHERE EASILY ACCESSIBLE.
 - ALL NEW ISOLATION VALVES SHALL BE CLEARLY LABELED TO IDENTIFY THE AREA SERVED.
 - VALVES ARE INTENDED TO PROVIDE ISOLATION FOR INDIVIDUAL CONSTRUCTION ZONES AS NEEDED TO COMPLETE THE WORK SCHEDULED IN THAT PHASE WHILE MAINTAINING OCCUPIED SECTIONS OF THE BUILDING FULLY PROTECTED EXCEPT AS STRICTLY SCHEDULED WITH THE OWNER. IT IS, HOWEVER, INTENDED THAT THE CONSTRUCTION ZONES REMAIN PROTECTED BY THE SPRINKLER SYSTEM EXCEPT WHERE SHUT-DOWNS ARE REQUIRED TO PERFORM THE WORK.
 - ALL TAMPER SWITCHES SHALL BE INTEGRATED WITH THE FIRE ALARM SYSTEM. COORDINATE WITH DIVISION 26.
 - ISOLATION VALVES FOR EACH PHASE SHALL BE INSTALLED DURING THE CONSTRUCTION PHASE FOR WHICH THEY SERVE.





| 1 | 12-5 | Addendum #1 |
|-----|------|-------------------|
| | -23 | |
| No. | Date | Description |
| | | Revision Schedule |

NOT FOR CONSTRUCTION

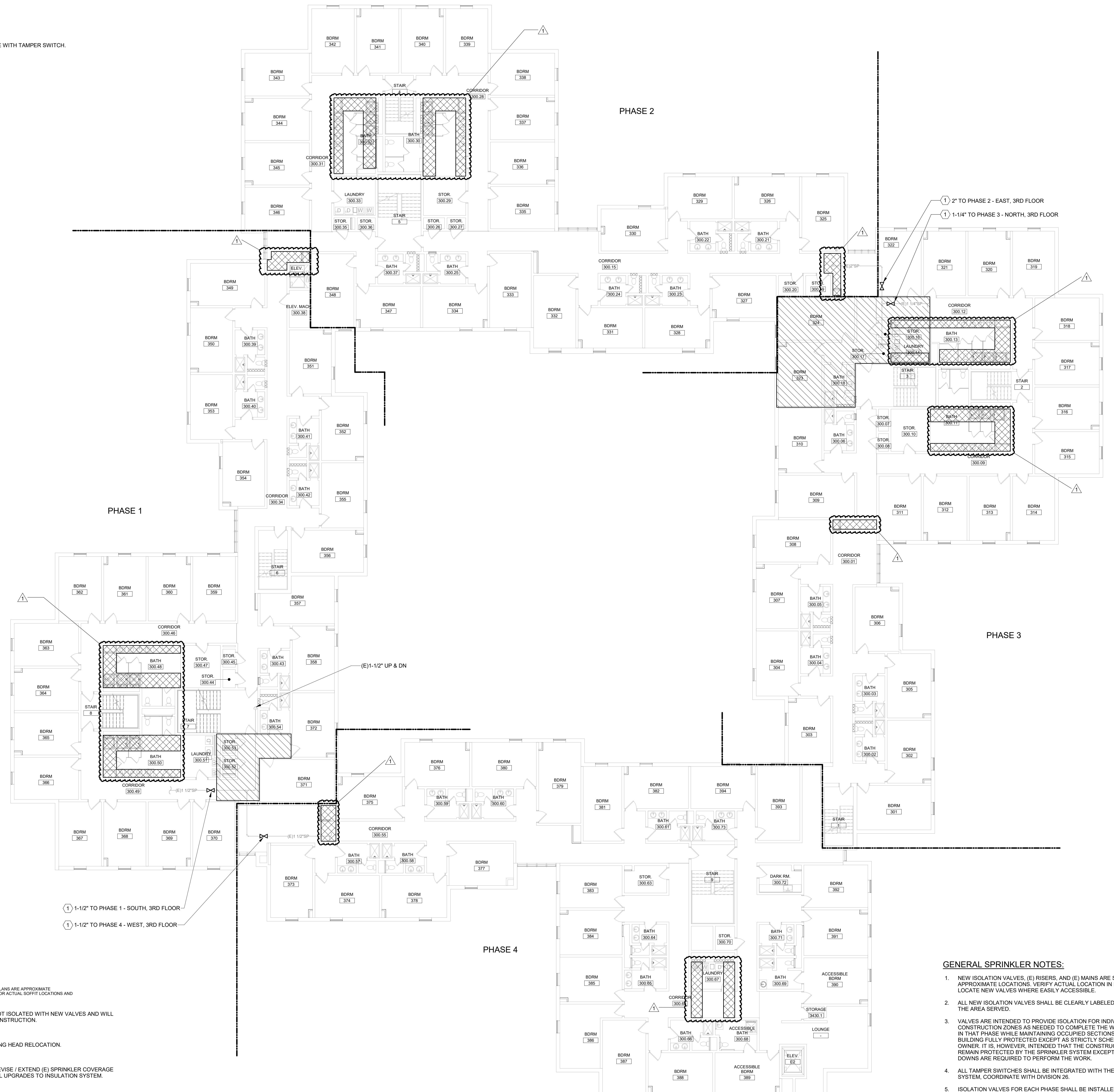
JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 THIRD FLOOR FIRE PROTECTION PLAN

SHEET
FP100.3

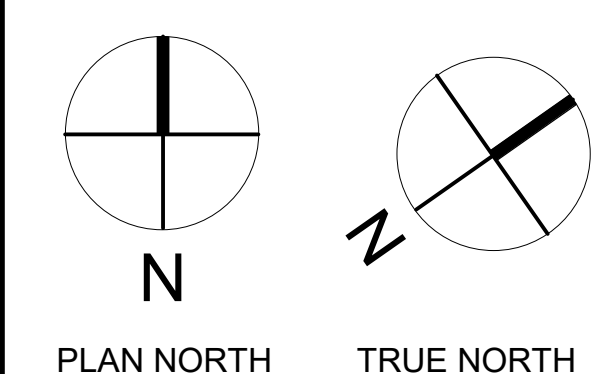
SPRINKLER NOTES:
 1 FURNISH AND INSTALL NEW ISOLATION VALVE WITH TAMPER SWITCH.



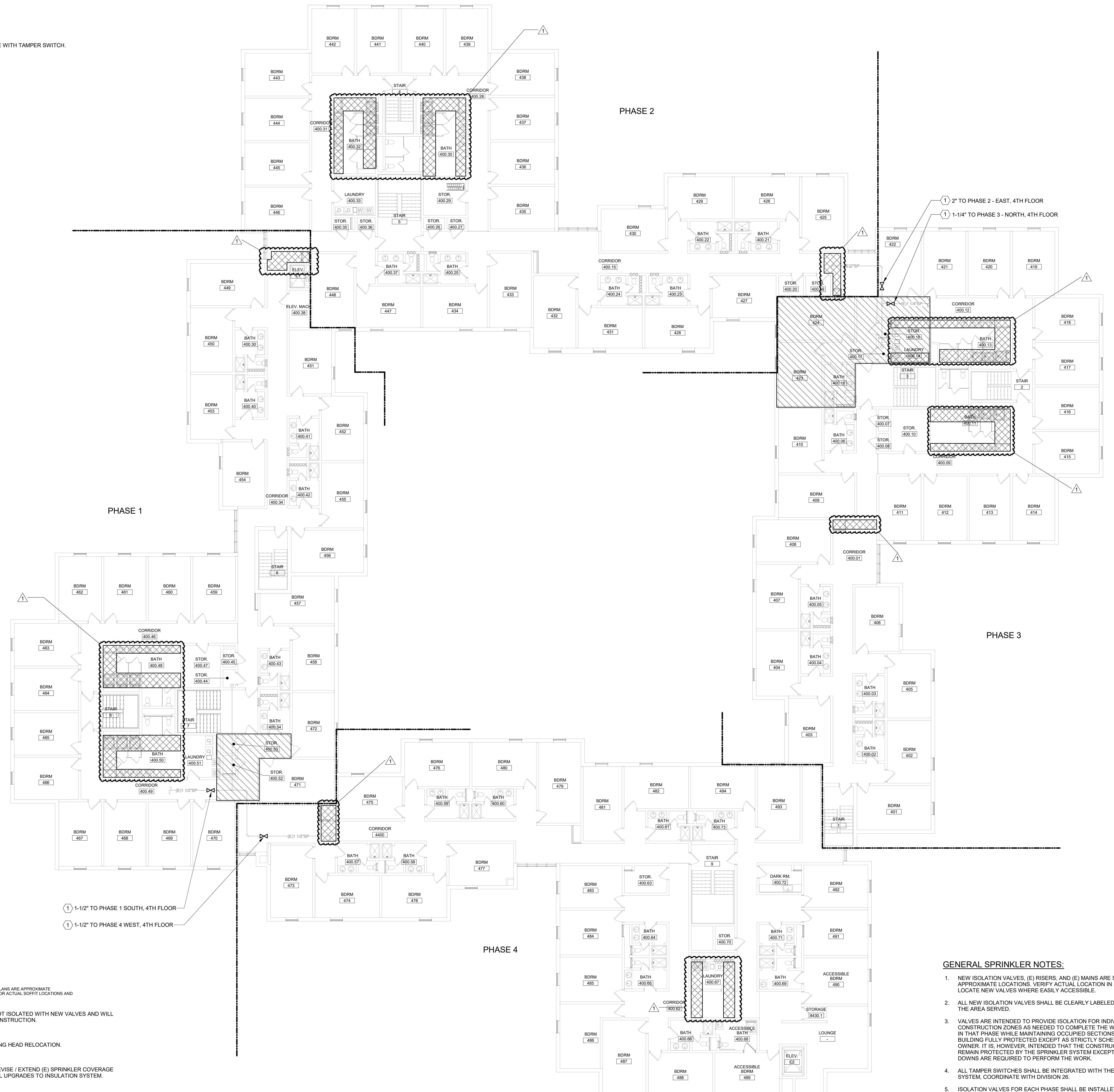
SPRINKLER LEGEND:
 (NOTE THAT AREAS OF SOFFITS SHOWN ON SPRINKLER PLANS ARE APPROXIMATE REPRESENTATIONS. REFER TO ARCHITECTURAL PLANS FOR ACTUAL SOFFIT LOCATIONS AND DIMENSIONS.)

- AREA OF WET SPRINKLER IS NOT ISOLATED WITH NEW VALVES AND WILL REMAIN LIVE THROUGHOUT CONSTRUCTION.
- AREA OF NEW SOFFIT REQUIRING HEAD RELOCATION.
- AREA AT EXTERIOR SOFFIT - REVISE / EXTEND (E) SPRINKLER COVERAGE TO FACILITATE ARCHITECTURAL UPGRADES TO INSULATION SYSTEM.

- GENERAL SPRINKLER NOTES:**
- NEW ISOLATION VALVES, (E) RISERS, AND (E) MAINS ARE SHOWN IN APPROXIMATE LOCATIONS. VERIFY ACTUAL LOCATION IN FIELD AND LOCATE NEW VALVES WHERE EASILY ACCESSIBLE.
 - ALL NEW ISOLATION VALVES SHALL BE CLEARLY LABELED TO IDENTIFY THE AREA SERVED.
 - VALVES ARE INTENDED TO PROVIDE ISOLATION FOR INDIVIDUAL CONSTRUCTION ZONES AS NEEDED TO COMPLETE THE WORK SCHEDULED IN THAT PHASE WHILE MAINTAINING OCCUPIED SECTIONS OF THE BUILDING FULLY PROTECTED EXCEPT AS STRICTLY SCHEDULED WITH THE OWNER. IT IS, HOWEVER, INTENDED THAT THE CONSTRUCTION ZONES REMAIN PROTECTED BY THE SPRINKLER SYSTEM EXCEPT WHERE SHUT-DOWNS ARE REQUIRED TO PERFORM THE WORK.
 - ALL TAMPER SWITCHES SHALL BE INTEGRATED WITH THE FIRE ALARM SYSTEM. COORDINATE WITH DIVISION 26.
 - ISOLATION VALVES FOR EACH PHASE SHALL BE INSTALLED DURING THE CONSTRUCTION PHASE FOR WHICH THEY SERVE.

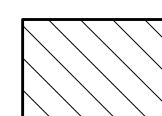
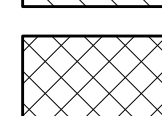



SPRINKLER NOTES:
 ① FURNISH AND INSTALL NEW ISOLATION VALVE WITH TAMPER SWITCH.



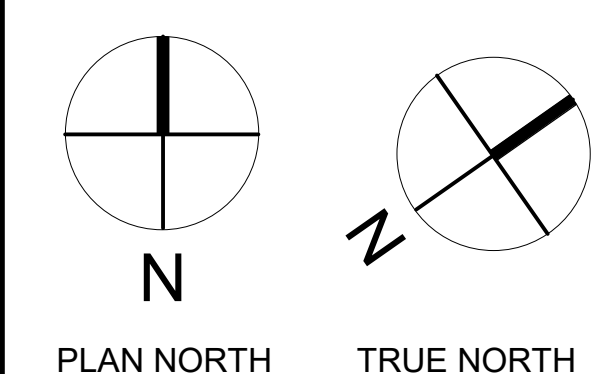
SPRINKLER LEGEND:

(NOTE THAT AREAS OF SOFFITS SHOWN ON SPRINKLER PLANS ARE APPROXIMATE REPRESENTATIONS. REFER TO ARCHITECTURAL PLANS FOR ACTUAL SOFFIT LOCATIONS AND DIMENSIONS.)

-  AREA OF WET SPRINKLER IS NOT ISOLATED WITH NEW VALVES AND WILL REMAIN LIVE THROUGHOUT CONSTRUCTION.
-  AREA OF NEW SOFFIT REQUIRING HEAD RELOCATION.
-  AREA AT EXTERIOR SOFFIT - REVISE / EXTEND (E) SPRINKLER COVERAGE TO FACILITATE ARCHITECTURAL UPGRADES TO INSULATION SYSTEM.

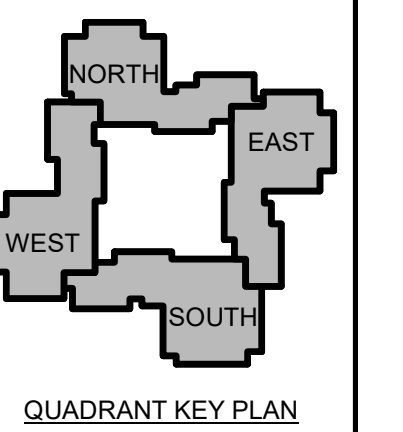
GENERAL SPRINKLER NOTES:

1. NEW ISOLATION VALVES, (E) RISERS, AND (E) MAINS ARE SHOWN IN APPROXIMATE LOCATIONS. VERIFY ACTUAL LOCATION IN FIELD AND LOCATE NEW VALVES WHERE EASILY ACCESSIBLE.
2. ALL NEW ISOLATION VALVES SHALL BE CLEARLY LABELED TO IDENTIFY THE AREA SERVED.
3. VALVES ARE INTENDED TO PROVIDE ISOLATION FOR INDIVIDUAL CONSTRUCTION ZONES AS NEEDED TO COMPLETE THE WORK SCHEDULED IN THAT PHASE WHILE MAINTAINING OCCUPIED SECTIONS OF THE BUILDING FULLY PROTECTED EXCEPT AS STRICTLY SCHEDULED WITH THE OWNER. IT IS, HOWEVER, INTENDED THAT THE CONSTRUCTION ZONES REMAIN PROTECTED BY THE SPRINKLER SYSTEM EXCEPT WHERE SHUT-DOWNS ARE REQUIRED TO PERFORM THE WORK.
4. ALL TAMPER SWITCHES SHALL BE INTEGRATED WITH THE FIRE ALARM SYSTEM. COORDINATE WITH DIVISION 26.
5. ISOLATION VALVES FOR EACH PHASE SHALL BE INSTALLED DURING THE CONSTRUCTION PHASE FOR WHICH THEY SERVE.



COPYRIGHT
 CHA Architecture
 Reuse or reproduction of the
 contents of this document is not
 permitted without written
 permission of CHA Architecture, P.C.

CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



| 1 | 12-5 | Addendum #1 |
|-------------------|------|-------------|
| | -23 | |
| No. | Date | Description |
| Revision Schedule | | |

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 FOURTH FLOOR FIRE PROTECTION PLAN

SHEET
FP100.4