



# Maine Maritime Academy, 1 Pleasant Street, Castine, Maine 04421

## CURTIS HALL RENOVATIONS

### 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BID

OWNER:  
MAINE MARITIME ACADEMY

Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421

ARCHITECT:



CHA ARCHITECTURE, P.C.  
49 DARTMOUTH STREET, PORTLAND, ME 04101  
207-775-1059  
www.chaarchitecture.com

CONSULTANTS:

**STRUCTURAL**

Allied Engineering, Inc.  
160 Veranda Street  
Portland, ME 04103

**MECHANICAL, ELECTRICAL, AND  
PLUMBING**

Allied Engineering, Inc.  
160 Veranda Street  
Portland, ME 04103

**CIVIL**

Haley Ward, Inc.  
1 Merchants Plaza  
Suite 701  
Bangor, ME 04401

**SPECIFICATIONS**

Kalin Associates  
PO Box 420  
Natick, MA 01760

**COST ESTIMATING**

CHA Consulting, Inc.  
1 Washington Mall  
Suite 1500  
Boston, MA 02108

BGS Project No.  
3397

CHA Project No.  
076982

\*SHEET "S202 - STRUCTURAL SECTIONS AND ELEVATIONS" REMOVED FROM DRAWING SET.

Sheet Number	Sheet Name
<b>GENERAL</b>	
A000	COVER SHEET
A000.1	GENERAL NOTES & MATERIAL LEGEND
A000.2	CODE SUMMARY, TYPICAL MOUNTING HEIGHTS
A000.3	TYPICAL ASSEMBLIES
A001	PHASE 1 - LIFE SAFETY PLANS
A002	PHASE 2 - LIFE SAFETY PLANS
A003	PHASE 3 - LIFE SAFETY PLANS
A004	PHASE 4 - LIFE SAFETY PLANS
<b>HAZARD MATERIALS</b>	
H100	GROUND FLOOR IDENTIFIED ASBESTOS-CONTAINING MATERIALS
H101	FIRST FLOOR IDENTIFIED ASBESTOS-CONTAINING MATERIALS
H102	SECOND FLOOR IDENTIFIED ASBESTOS-CONTAINING MATERIALS
H103	THIRD FLOOR IDENTIFIED ASBESTOS-CONTAINING MATERIALS
H104	FOURTH FLOOR IDENTIFIED ASBESTOS-CONTAINING MATERIALS
<b>CIVIL</b>	
C101.	PROPOSED SITE PLAN
C501	SITE DETAILS
C502	PROPOSED SITE DETAILS
<b>ARCHITECTURAL</b>	
A009	OVERALL GROUND FLOOR PLAN
A010	OVERALL INTERMEDIATE FLOOR PLAN
A011	OVERALL FIRST FLOOR PLAN
A012	OVERALL SECOND FLOOR PLAN
A013	OVERALL THIRD FLOOR PLAN
A014	OVERALL FOURTH FLOOR PLAN
A015	OVERALL ROOF PLAN
A101.0	GROUND FLOOR PLAN AND DEMO PLAN - PHASE 1
A101.1	INTERMEDIATE FLOOR PLAN AND DEMO PLAN - PHASE 1
A101.2	FIRST FLOOR PLAN AND DEMO PLAN - PHASE 1
A101.3	SECOND FLOOR PLAN AND DEMO PLAN - PHASE 1
A101.4	THIRD FLOOR PLAN AND DEMO PLAN - PHASE 1
A101.5	FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 1
A102.1	ROOF PLAN AND DEMO PLAN - PHASE 1
A102.2	FIRST FLOOR PLAN AND DEMO PLAN - PHASE 2
A102.3	SECOND FLOOR PLAN AND DEMO PLAN - PHASE 2
A102.4	THIRD FLOOR PLAN AND DEMO PLAN - PHASE 2
A102.5	FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 2
A102.6	ROOF PLAN AND DEMO PLAN - PHASE 2
A103.1	FIRST FLOOR PLAN AND DEMO PLAN - PHASE 3
A103.2	SECOND FLOOR PLAN AND DEMO PLAN - PHASE 3
A103.3	THIRD FLOOR PLAN AND DEMO PLAN - PHASE 3
A103.4	FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 3
A103.5	ROOF PLAN AND DEMO PLAN - PHASE 3
A104.0	GROUND FLOOR PLAN AND DEMO PLAN - PHASE 4
A104.1	FIRST FLOOR PLAN AND DEMO PLAN - PHASE 4
A104.2	SECOND FLOOR PLAN AND DEMO PLAN - PHASE 4
A104.3	THIRD FLOOR PLAN AND DEMO PLAN - PHASE 4
A104.4	FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 4
A104.5	ROOF PLAN AND DEMO PLAN - PHASE 4
A110	TYPICAL ENLARGED REFLECTED CEILING PLANS FOR LIGHTING PLACEMENT
A111.1	REFLECTED CEILING PLAN AND DEMO PLAN - FIRST FLOOR - PHASE 1
A111.2	REFLECTED CEILING PLAN AND DEMO PLAN - SECOND FLOOR - PHASE 1
A111.3	REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 1
A111.4	REFLECTED CEILING PLAN AND DEMO PLAN - FOURTH FLOOR - PHASE 1
A112.1	REFLECTED CEILING PLAN AND DEMO PLAN - FIRST FLOOR - PHASE 2
A112.2	REFLECTED CEILING PLAN AND DEMO PLAN - SECOND FLOOR - PHASE 2
A112.3	REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 2
A112.4	REFLECTED CEILING PLAN AND DEMO PLAN - FOURTH FLOOR - PHASE 2
A113.1	REFLECTED CEILING PLAN AND DEMO PLAN - FIRST FLOOR - PHASE 3
A113.2	REFLECTED CEILING PLAN AND DEMO PLAN - SECOND FLOOR - PHASE 3
A113.3	REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 3
A113.4	REFLECTED CEILING PLAN AND DEMO PLAN - FOURTH FLOOR - PHASE 3
A114.1	REFLECTED CEILING PLAN AND DEMO PLAN - FIRST FLOOR - PHASE 4
A114.2	REFLECTED CEILING PLAN AND DEMO PLAN - SECOND FLOOR - PHASE 4
A114.3	REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 4
A114.4	REFLECTED CEILING PLAN AND DEMO PLAN - FOURTH FLOOR - PHASE 4
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	EXTERIOR ELEVATIONS AND ENLARGED ELEVATIONS OF LOBBY
A210	INTERIOR ELEVATIONS
A310	WALL SECTIONS
A320	ENVELOPE DETAILS
A400	ENLARGED PLANS OF LOBBY AREA
A401	TYPICAL ENLARGED PLANS - BATHROOMS
A402	TYPICAL ENLARGED PLANS - BEDROOMS
A500	INTERIOR DETAILS & OVERHEAD DETAILS
A501	TYPICAL INTERIOR PARTITION DETAILS
A502	TYPICAL INTERIOR FIRESTOPPING AND SEALING DETAILS
A600	DOOR, WINDOW, STOREFRONT SCHEDULES & TYPES
A601	DOOR, WINDOW, STOREFRONT DETAILS
A700	TYPICAL CASEWORK DETAILS

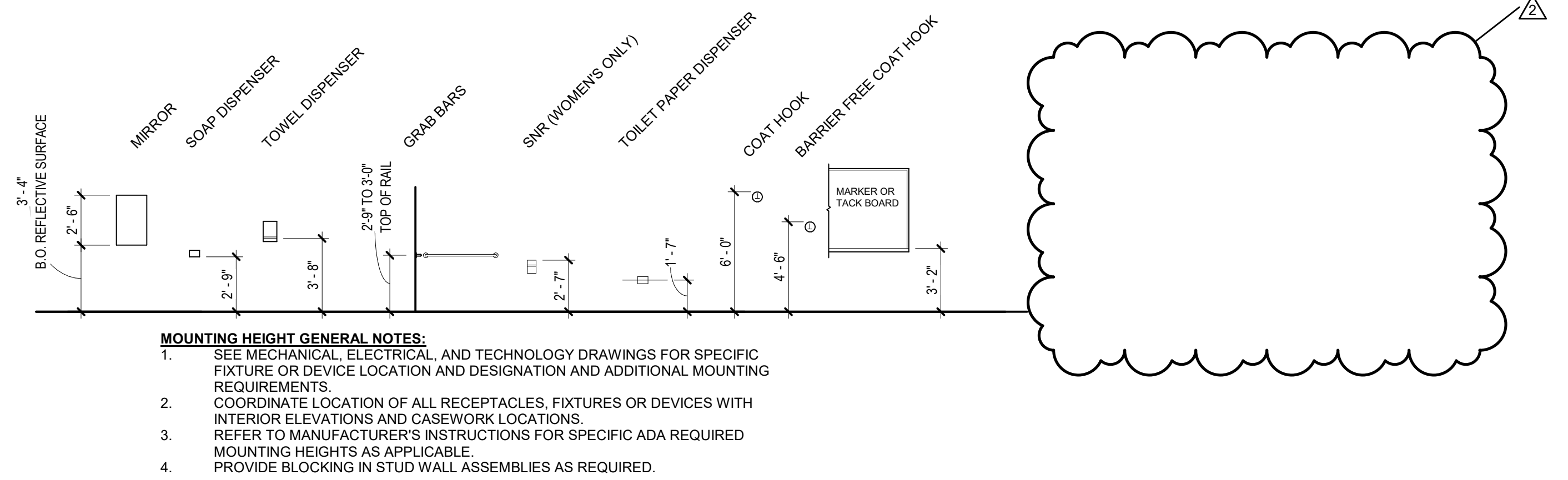
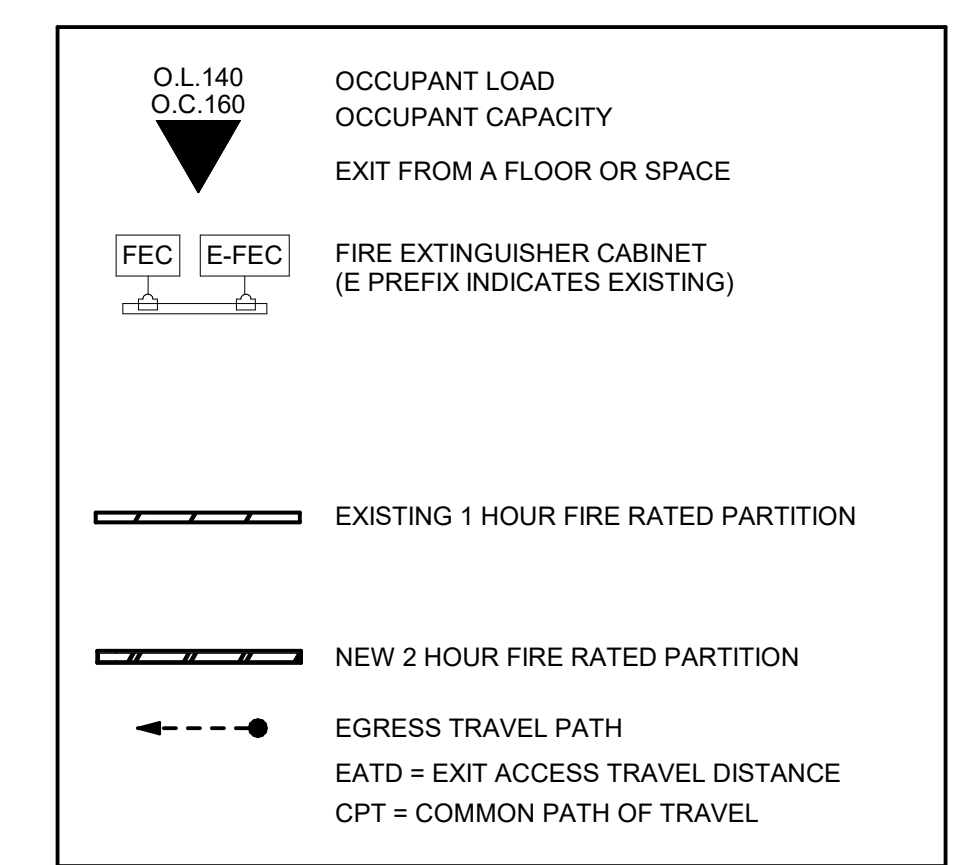
Sheet Number	Sheet Name
<b>A800 FINISH PLANS FINISH SCHEDULES AND NOTES</b>	
<b>STRUCTURAL</b>	
S000	STRUCTURAL - GENERAL INFORMATION
S101.0	PHASE 1 GROUND FLOOR STRUCTURAL PLANS
S101.1	PHASE 1 FIRST FLOOR STRUCTURAL PLANS
S101.2	PHASE 1 SECOND FLOOR STRUCTURAL PLANS
S101.3	PHASE 1 THIRD FLOOR STRUCTURAL PLANS
S101.4	PHASE 1 FOURTH FLOOR STRUCTURAL PLANS
S101.5	PHASE 1 ROOF LEVEL STRUCTURAL PLANS
S102.1	PHASE 2 FIRST FLOOR STRUCTURAL PLANS
S102.2	PHASE 2 SECOND FLOOR STRUCTURAL PLANS
S102.3	PHASE 2 THIRD FLOOR STRUCTURAL PLANS
S102.4	PHASE 2 FOURTH FLOOR STRUCTURAL PLANS
S102.5	PHASE 2 ROOF LEVEL STRUCTURAL PLANS
S103.1	PHASE 3 FIRST FLOOR STRUCTURAL PLANS
S103.2	PHASE 3 SECOND FLOOR STRUCTURAL PLANS
S103.3	PHASE 3 THIRD FLOOR STRUCTURAL PLANS
S103.4	PHASE 3 FOURTH FLOOR STRUCTURAL PLANS
S103.5	PHASE 3 ROOF LEVEL STRUCTURAL PLANS
S104.1	PHASE 4 FIRST FLOOR STRUCTURAL PLANS
S104.2	PHASE 4 SECOND FLOOR STRUCTURAL PLANS
S104.3	PHASE 4 THIRD FLOOR STRUCTURAL PLANS
S104.4	PHASE 4 FOURTH FLOOR STRUCTURAL PLANS
S104.5	PHASE 4 ROOF LEVEL STRUCTURAL PLANS
S201	STRUCTURAL SECTIONS AND ELEVATIONS
S401	ENLARGED STRUCTURAL FRAMING PART PLANS
S402	ENLARGED STRUCTURAL FRAMING PART PLANS
S500	STRUCTURAL DETAILS
S501	STRUCTURAL DETAILS
<b>PLUMB</b>	
MEP000	M-E-P PHASING NOTES
P000	PLUMBING AND HVAC NOTES, LEGEND AND ABBREVIATIONS
P101.0	PHASE 1 GROUND FLOOR PLUMBING DEMOLITION & NEW PLANS
PL101.0	PHASE 1 INTERMEDIATE FLOOR PLUMBING W&V DEMOLITION & NEW PLANS
PL101.1	PHASE 1 INTERMEDIATE FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS
PL101.2	PHASE 1 FIRST FLOOR PLUMBING W&V DEMOLITION & NEW PLANS
PP101.1	PHASE 1 FIRST FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS
P101.3	PHASE 1 SECOND FLOOR PLUMBING DEMOLITION & NEW PLANS
P101.4	PHASE 1 THIRD FLOOR PLUMBING DEMOLITION & NEW PLANS
P101.5	PHASE 1 FOURTH FLOOR PLUMBING DEMOLITION & NEW PLANS
PL102.1	PHASE 2 FIRST FLOOR PLUMBING W&V DEMOLITION & NEW PLANS
P102.2	PHASE 2 SECOND FLOOR PLUMBING DEMOLITION & NEW PLANS
P102.3	PHASE 2 THIRD FLOOR PLUMBING DEMOLITION & NEW PLANS
P102.4	PHASE 2 FOURTH FLOOR PLUMBING DEMOLITION & NEW PLANS
P102.5	PHASE 2 ROOF PLUMBING DEMOLITION & NEW PLANS
PP102.1	PHASE 2 FIRST FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS
P103.1	PHASE 3 FIRST FLOOR PLUMBING DEMOLITION & NEW PLANS
P103.2	PHASE 3 SECOND FLOOR PLUMBING DEMOLITION & NEW PLANS
P103.3	PHASE 3 THIRD FLOOR PLUMBING DEMOLITION & NEW PLANS
P103.4	PHASE 3 FOURTH FLOOR PLUMBING DEMOLITION & NEW PLANS
P103.5	PHASE 3 ROOF PLUMBING DEMOLITION & NEW PLANS
PL104.0	PHASE 4 GROUND FLOOR W&V DEMOLITION & NEW PLANS
PL104.1	PHASE 4 GROUND FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS
PL104.2	PHASE 4 FIRST FLOOR PLUMBING W&V DEMOLITION & NEW PLANS
PP104.1	PHASE 4 FIRST FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS
P104.3	PHASE 4 SECOND FLOOR PLUMBING DEMOLITION & NEW PLANS
P104.4	PHASE 4 THIRD FLOOR PLUMBING DEMOLITION & NEW PLANS
P104.5	PHASE 4 FOURTH FLOOR PLUMBING DEMOLITION & NEW PLANS
P104.6	PHASE 4 ROOF PLUMBING DEMOLITION & NEW PLANS
PD401	PLUMBING DEMOLITION PART PLANS
P400	PLUMBING PART PLANS - BOILER ROOM
P401	PHASE 1 - PLUMBING PART PLANS
P402	PHASE 2 - PLUMBING PART PLANS
P403	PHASE 3 - PLUMBING PART PLANS
P404	PHASE 4 - PLUMBING PART PLANS
PD500	EXISTING PLUMBING RISER DIAGRAMS
PD501	EXISTING PLUMBING RISER DIAGRAMS
P500	PLUMBING DETAILS
P501	PHASE 1 - PLUMBING RISER DIAGRAMS
P502	PHASE 2 - PLUMBING RISER DIAGRAMS
P503	PHASE 3 - PLUMBING RISER DIAGRAMS
P504	PHASE 4 - PLUMBING RISER DIAGRAMS
P600	PLUMBING SCHEDULES
<b>MECH</b>	
M101.0	PHASE 1 GROUND FLOOR MECHANICAL PLANS
M101.1	PHASE 1 INTERMEDIATE FLOOR MECHANICAL PLANS
MH101.1	PHASE 1 FIRST FLOOR MECHANICAL DUCTWORK PLANS
MP101.1	PHASE 1 FIRST FLOOR MECHANICAL PIPING PLANS
M101.2	PHASE 1 SECOND FLOOR MECHANICAL PLANS
M101.3	PHASE 1 THIRD FLOOR MECHANICAL PLANS
M101.4	PHASE 1 FOURTH FLOOR MECHANICAL PLANS
M101.5	PHASE 1 ROOF LEVEL MECHANICAL PLANS
MH102.1	PHASE 2 FIRST FLOOR MECHANICAL DUCTWORK PLANS

Sheet Number	Sheet Name
<b>ELECT</b>	
E000	ELECTRICAL LEGEND
ES00.1	ELECTRICAL SITE DETAILS AND NOTES
ES10.0	ELECTRICAL SITE DETAILS AND NOTES Copy 1
EL101.0	PHASE 1 INTERMEDIATE FLOOR LIGHTING REMOVALS & NEW PLANS
EL101.1	PHASE 1 FIRST FLOOR LIGHTING REMOVALS & NEW PLANS
EL101.2	PHASE 1 SECOND FLOOR LIGHTING REMOVALS & NEW PLANS
EL101.3	PHASE 1 THIRD FLOOR LIGHTING REMOVALS & NEW PLANS
EL101.4	PHASE 1 FOURTH FLOOR LIGHTING REMOVALS & NEW PLANS
EL101.5	PHASE 1 GROUND FLOOR LIGHTING REMOVALS & NEW PLANS
EL102.1	PHASE 2 FIRST FLOOR LIGHTING REMOVALS & NEW PLANS
EL102.2	PHASE 2 SECOND FLOOR LIGHTING REMOVALS & NEW PLANS
EL102.3	PHASE 2 THIRD FLOOR LIGHTING REMOVALS & NEW PLANS
EL102.4	PHASE 2 FOURTH FLOOR LIGHTING REMOVALS & NEW PLANS
EL103.1	PHASE 3 FIRST FLOOR LIGHTING REMOVALS & NEW PLANS
EL103.2	PHASE 3 SECOND FLOOR LIGHTING REMOVALS & NEW PLANS
EL103.3	PHASE 3 THIRD FLOOR LIGHTING REMOVALS & NEW PLANS
EL103.4	PHASE 3 FOURTH FLOOR LIGHTING REMOVALS & NEW PLANS
EL104.0	PHASE 4 GROUND FLOOR LIGHTING REMOVALS & NEW PLANS
EL104.1	PHASE 4 FIRST FLOOR LIGHTING REMOVALS & NEW PLANS
EL104.2	PHASE 4 SECOND FLOOR LIGHTING REMOVALS & NEW PLANS
EL104.3	PHASE 4 THIRD FLOOR LIGHTING REMOVALS & NEW PLANS
EL104.4	PHASE 4 FOURTH FLOOR LIGHTING REMOVALS & NEW PLANS
EL600	LIGHTING FIXTURE SCHEDULE, NOTES AND DETAILS
EP101.0	PHASE 1 INTERMEDIATE FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP101.1	PHASE 1 FIRST FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP101.2	PHASE 1 SECOND FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP101.3	PHASE 1 THIRD FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP101.4	PHASE 1 FOURTH FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP101.5	PHASE 1 ROOF POWER & SYSTEMS REMOVALS & NEW PLANS
EP102.0	PHASE 2 GROUND FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP102.1	PHASE 2 FIRST FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP102.2	PHASE 2 SECOND FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP102.3	PHASE 2 THIRD FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP102.4	PHASE 2 FOURTH FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP102.5	PHASE 2 ROOF POWER & SYSTEMS REMOVALS & NEW PLANS
EP103.1	PHASE 3 FIRST FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP103.2	PHASE 3 SECOND FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP103.3	PHASE 3 THIRD FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP103.4	PHASE 3 FOURTH FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP103.5	PHASE 3 ROOF POWER & SYSTEMS REMOVALS & NEW PLANS
EP104.0	PHASE 4 GROUND FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP104.1	PHASE 4 FIRST FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP104.2	PHASE 4 SECOND FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP104.3	PHASE 4 THIRD FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP104.4	PHASE 4 FOURTH FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP104.5	PHASE 4 ROOF POWER & SYSTEMS REMOVALS & NEW PLANS
E400	ELECTRICAL ENLARGED PLANS
E500	EXISTING CONDITIONS POWER RISER DIAGRAM
ES01	NEW CONDITIONS POWER RISER DIAGRAM
E502	ELECTRICAL DETAILS
E600	ELECTRICAL SCHEDULES
E601	ELECTRICAL SCHEDULES
E602	PANEL SCHEDULES
E603	PANEL SCHEDULES
<b>FIRE PROTECTION</b>	
FP100.0	GROUND AND INTERMEDIATE FLOOR FIRE PROTECTION PLAN
FP100.1	FIRST FLOOR FIRE PROTECTION PLAN
FP100.2	SECOND FLOOR FIRE PROTECTION PLAN

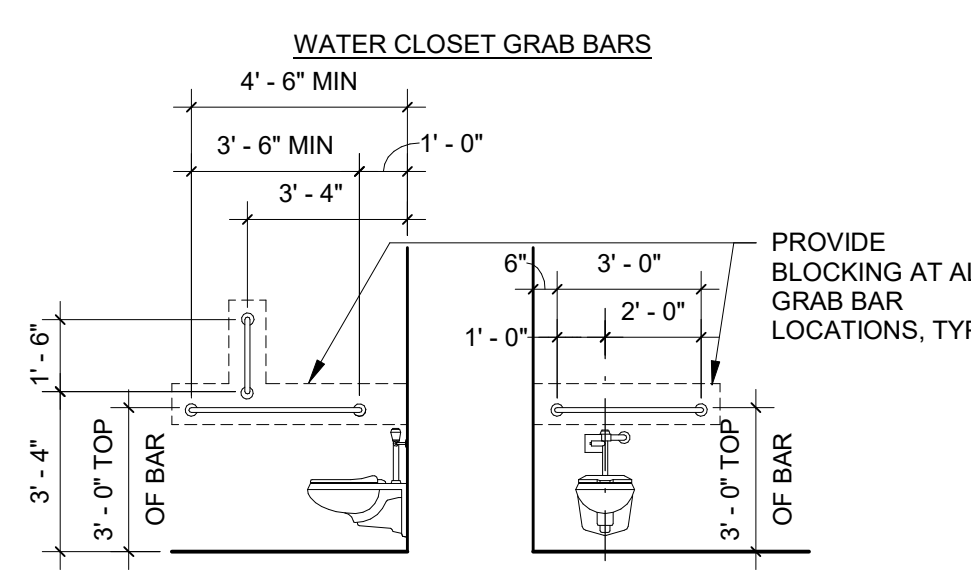
BUILDING CODE SUMMARY			
<b>AHJ: CASTINE, ME</b>			
<b>PREVAILING CODES</b>			
<b>BUILDING</b>	2015 INTERNATIONAL BUILDING CODE W/ MAINE AMENDMENTS, 2015 INTERNATIONAL EXISTING BUILDING CODE W/ MAINE AMENDMENTS, & 2018 NFPA 101		
<b>FIRE</b>	2018 NFPA 1		
<b>ENERGY</b>	2015 INTERNATIONAL ENERGY CONSERVATION CODE		
<b>MECHANICAL</b>	MAINE UNIFORM BUILDING & ENERGY CODE, 2015 INTERNATIONAL MECHANICAL CODE		
<b>PLUMBING</b>	2021 UNIFORM PLUMBING CODE W/MAINE AMENDMENTS		
<b>ACCESSIBILITY</b>	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, 2009 ICC-ANSI A117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES		
BUILDING CODE ANALYSIS			
<b>COMPLIANCE PATH</b>	IEBC/IBC WORK AREA COMPLIANCE PATH: ALTERATION LEVEL 2, SECTION 504	NFPA 101 MODIFICATION, CHAPTER 43: SECTION 43.2.1.3	
<b>OCCUPANCY</b>	EXISTING MIXED-USE, NON-SEPARATED OCCUPANCY: R2 (RESIDENTIAL), B (BUSINESS), A3 (ASSEMBLY), M (MERCANTILE), U (UTILITY), ACCESSORY STORAGE, SECTION 302 NO CHANGE OF OCCUPANCY CLASSIFICATION.	MIXED-USE, NON-SEPARATED: EXISTING ASSEMBLY (CHAPTER 13), EXISTING DORMITORY (CHAPTER 29), EXISTING APARTMENTS (CHAPTER 31), EXISTING MERCANTILE (CHAPTER 37), EXISTING BUSINESS (CHAPTER 39)	
<b>AREA SQUARE FOOTAGE</b>	Approx. 169,728 SF (GROSS)		
<b>EXISTING CONSTRUCTION TYPE</b>	I (0.0.0) NON-COMBUSTIBLE, UNPROTECTED, CHAPTER 6. EXISTING USE RESEMBLES THIS CATEGORY. NEW CONSTRUCTION WILL COMPLY	II (0.0.0) NON-COMBUSTIBLE, UNPROTECTED, NFPA 220 EXISTING USE RESEMBLES THIS CATEGORY. NEW CONSTRUCTION WILL COMPLY	
<b>AUTOMATIC SPRINKLER SYSTEMS</b>	SUPERVISED - AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED PER NFPA 13, TABLE 903	SUPERVISED - AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED PER NFPA 13	
<b>FIRE ALARM SYSTEMS</b>	FIRE ALARM SYSTEM	FIRE ALARM SYSTEM	
<b>OCCUPANT LOAD CALCULATION</b>	IBC TABLE 1004.1.2 NFPA TABLE 7.3.1.2		
<b>ILLUMINATED EXIT SIGNS</b>	REQUIRED PER SECTION 1013	REQUIRED PER SECTION 7.10.5	EXISTING AND IN COMPLIANCE
<b>COMMON PATH OF TRAVEL</b>	B: 100 FT, A, M: 75 FT, R2: 125 FT, S: 100 FT, U: 75 FT - TABLE 109.2.1	BUSINESS: 100 FT, ASSEMBLY: 20 FT, DORMITORY & APARTMENT: 50 FT, MERCANTILE: 100 FT - TABLE A.7.6	PROVIDED
<b>SPACES WITH ONE MEANS OF EGRESS</b>	MAX OCCUPANTS - B, A, M, U: 49; R2: 10; S: 29, TABLE 1006.2.1	PERMITTED PER SECTION 7.4.1.1	PROVIDED
<b>EXIT ACCESS TRAVEL DISTANCE</b>	B: 300 FT, A, M, R: 250 FT, S2, U: 400 FT, TABLE 1017.2	BUSINESS: 300 FT, DORMITORY & APARTMENT: 325 FT, ASSEMBLY: 250, MERCANTILE: 250 FT - TABLE A.7.6	PROVIDED
<b>MIN. EXIT SEPARATION (SPRINKLERED)</b>	1/3 LENGTH OF MAX. DIAG. BUILDING DISTANCE, SECTION 1007	1/3 LENGTH OF MAX. DIAG. BUILDING DISTANCE, SECTION 7.5.1.3.3	EXISTING AND IN COMPLIANCE
<b>EGRESS WIDTHS</b>	MEANS OF EGRESS CAPACITY FACTOR: .2" PER OCCUPANT, SECTION 1005	MEANS OF EGRESS CAPACITY FACTOR: .2" PER OCCUPANT OR 28" MINIMUM, TABLE 7.3.3.1	EXIT CAPACITY SHOWN ON PLANS
<b>MAXIMUM DEAD END</b>	50 FT, SECTION 1020.4	50 FT, TABLE A.7.6	LESS THAN 50 FT

NOTE: SEE MEP DRAWINGS FOR ANY PENETRATIONS OF RATED PARTITIONS - ALL PENETRATIONS OF RATED PARTITIONS REQUIRE PENETRATION FIRESTOPPING

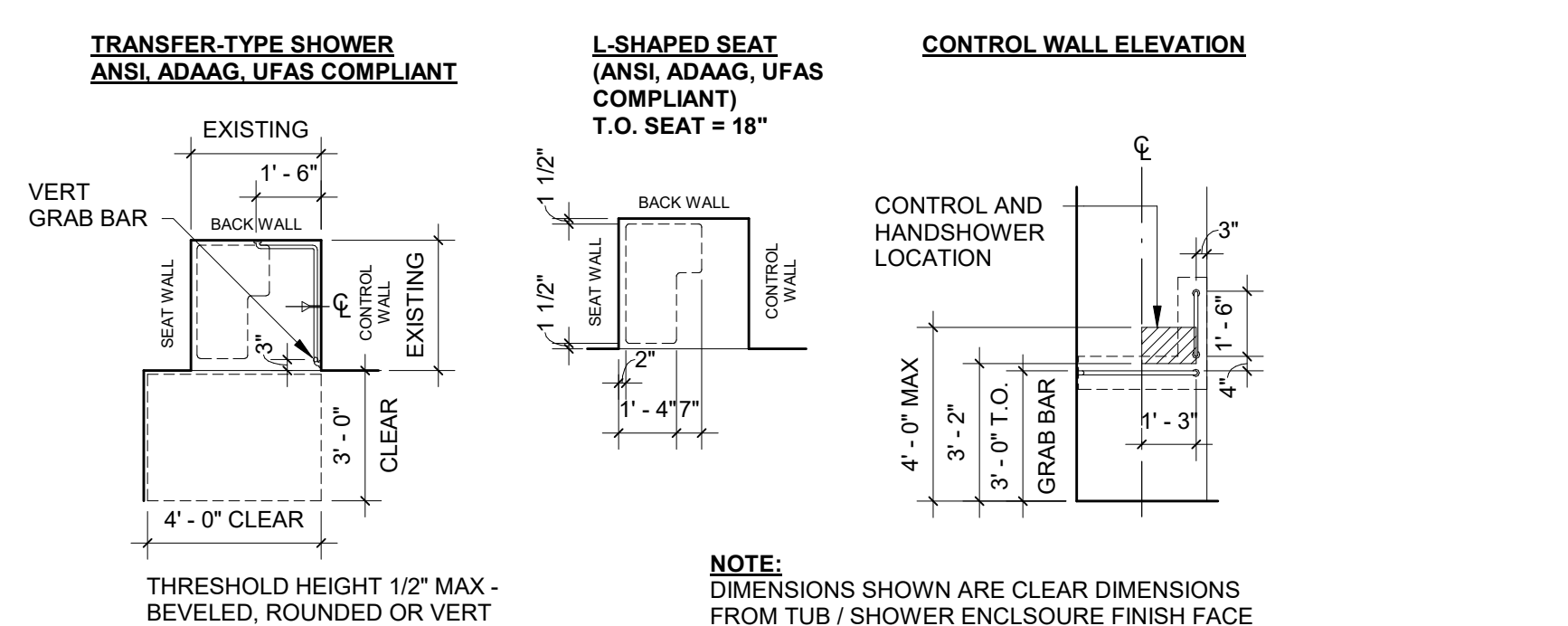
2009 INTERNATIONAL ENERGY CONSERVATION CODE / 2013 ASHRAE 90.1	
CASTINE, ME is climate zone 6A	
This is an existing building. The only changes to the exterior envelope include new doors, windows, and storefront systems.	
<b>BUILDING ENVELOPE REQUIREMENTS - FENESTRATION</b>	Table 502.3
	U VALUE TABLE 502.3
<b>FRAMING MATERIALS OTHER THAN METAL WITH OR WITHOUT METAL REINFORCEMENT OR CLADDING</b>	U-0.35
<b>METAL FRAMING WITH OR WITHOUT THERMAL BREAK</b>	
CURTAIN WALL/STOREFRONT	U-0.45
ENTRANCE DOOR	U-0.60
ALL OTHER	U-0.55
<b>SHGC-ALL FRAME TYPES</b>	
SHGC: PF < 0.25	U-0.40
SHGC: 0.25 LESS THAN OR EQUAL TO PF < 0.5	NR
SHGC: PF GREATER THAN OR EQUAL TO 0.5	NR



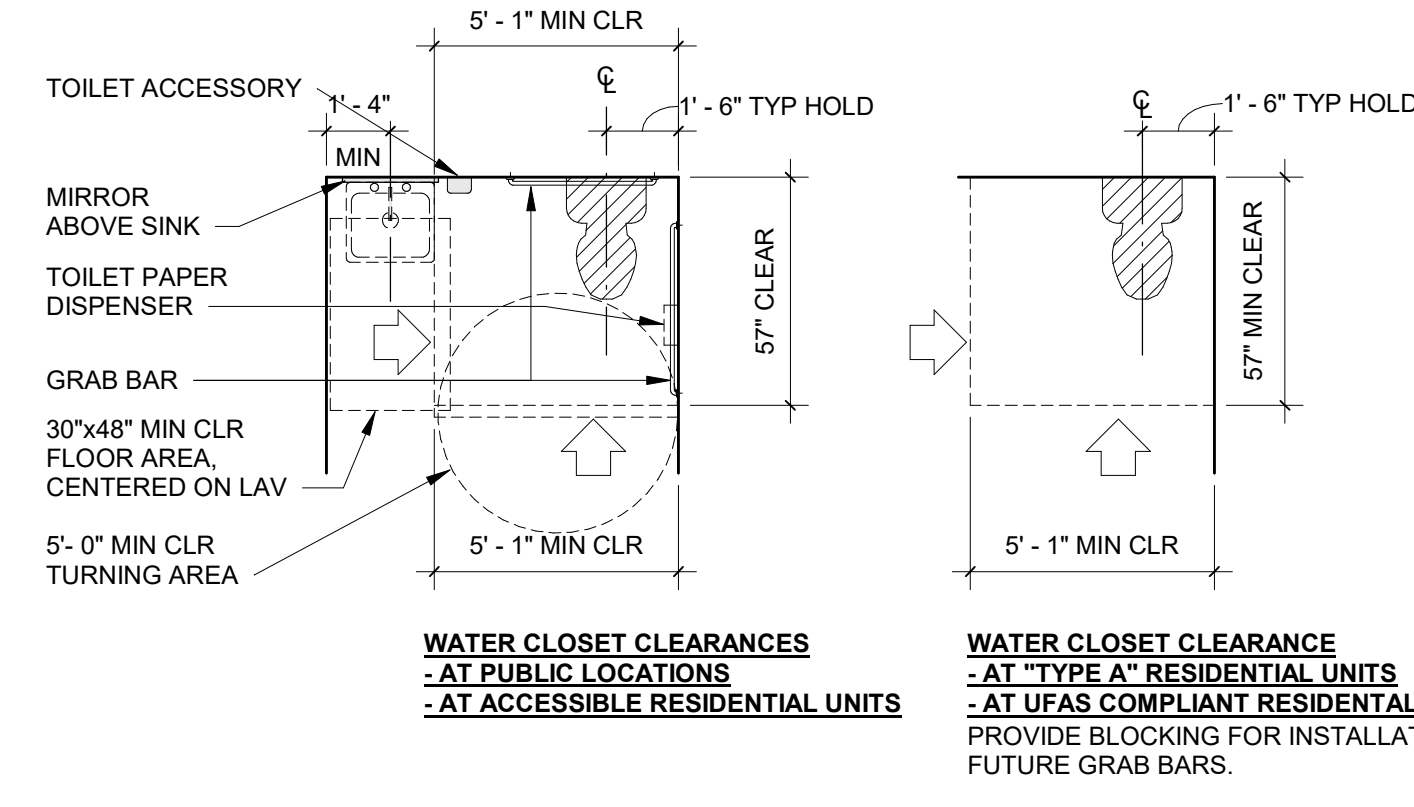
**WATER CLOSET GRAB BARS REQUIREMENTS**



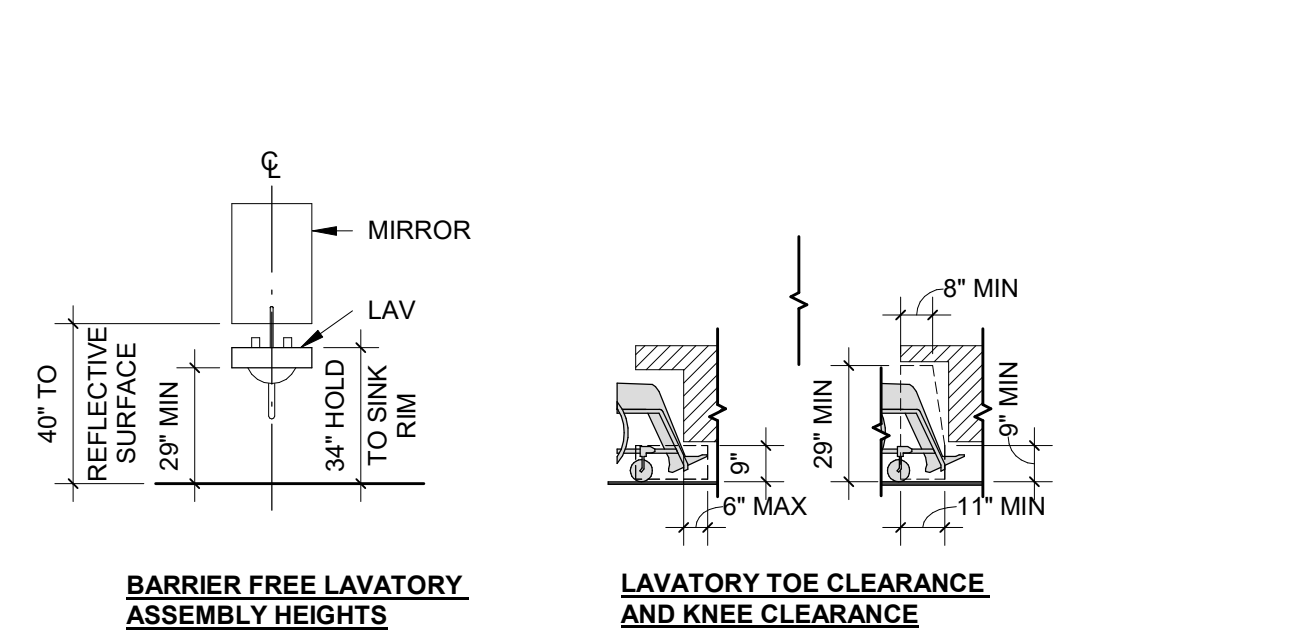
**SHOWER AND TUB REQUIREMENTS**



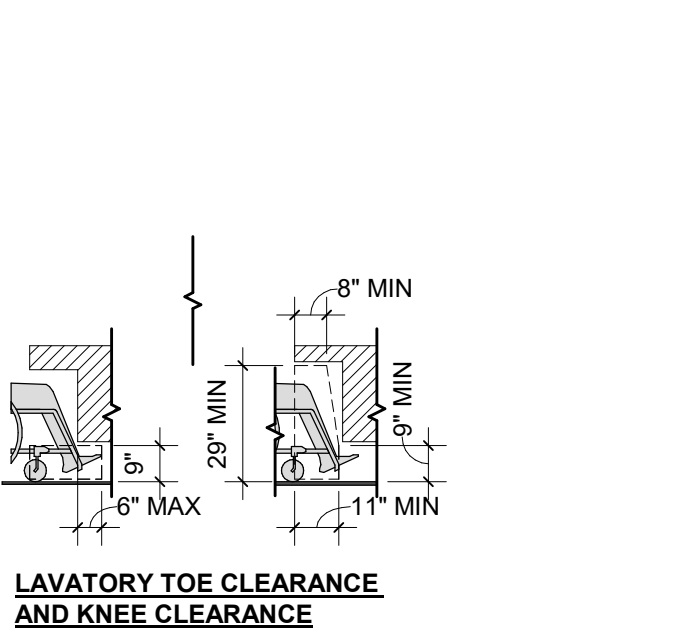
**WATER CLOSET CLEARANCES**



**BARRIER FREE LAVATORY HEIGHTS**



**LAVATORY TOE & KNEE CLEARANCE**



**ACCESSIBILITY STANDARD**

1/4" = 1'-0"

Date	Description
12-12-23	Addendum #3

Revision Schedule

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE

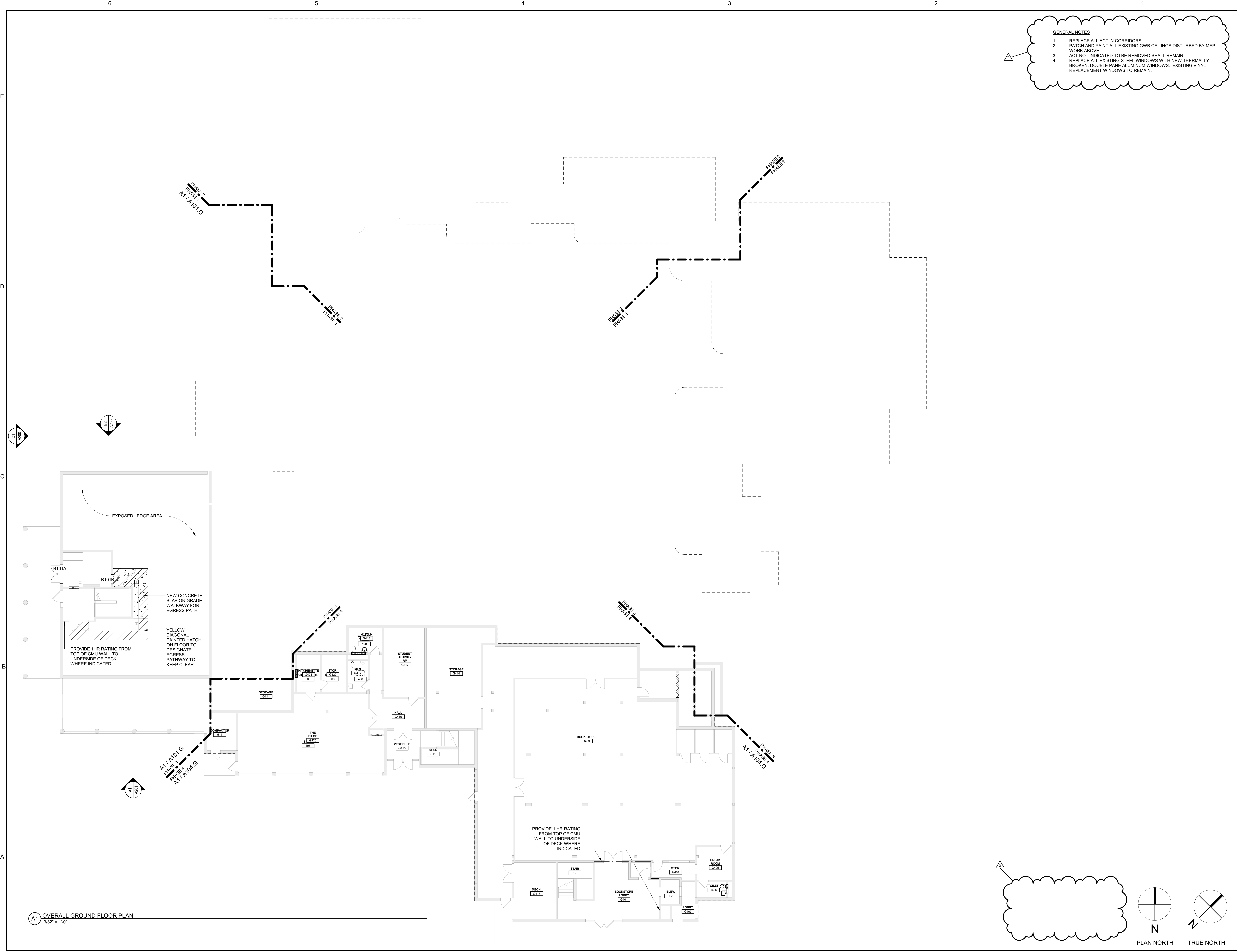
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING

11/22/2023

TITLE CODE SUMMARY, TYPICAL MOUNTING HEIGHTS

SHEET

**A000.2**



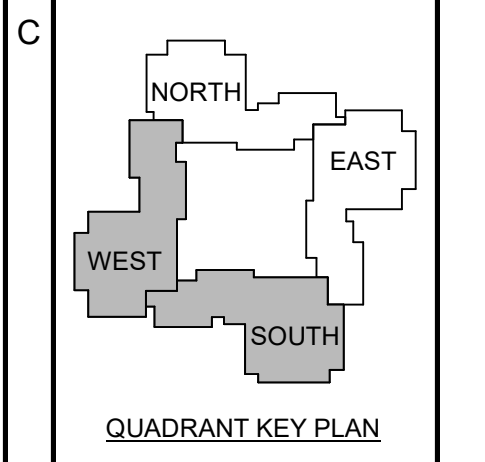
**GENERAL NOTES**

1. REPLACE ALL ACT IN CORRIDORS.
2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
3. ACT NOT INDICATED TO BE REMOVED SHALL REMAIN.
4. REPLACE ALL EXISTING STEEL WINDOWS WITH NEW THERMALLY BROKEN DOUBLE PANE ALUMINUM WINDOWS. EXISTING VINYL REPLACEMENT WINDOWS TO REMAIN.



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
2	12-12-23	Addendum #3

**NOT FOR CONSTRUCTION**

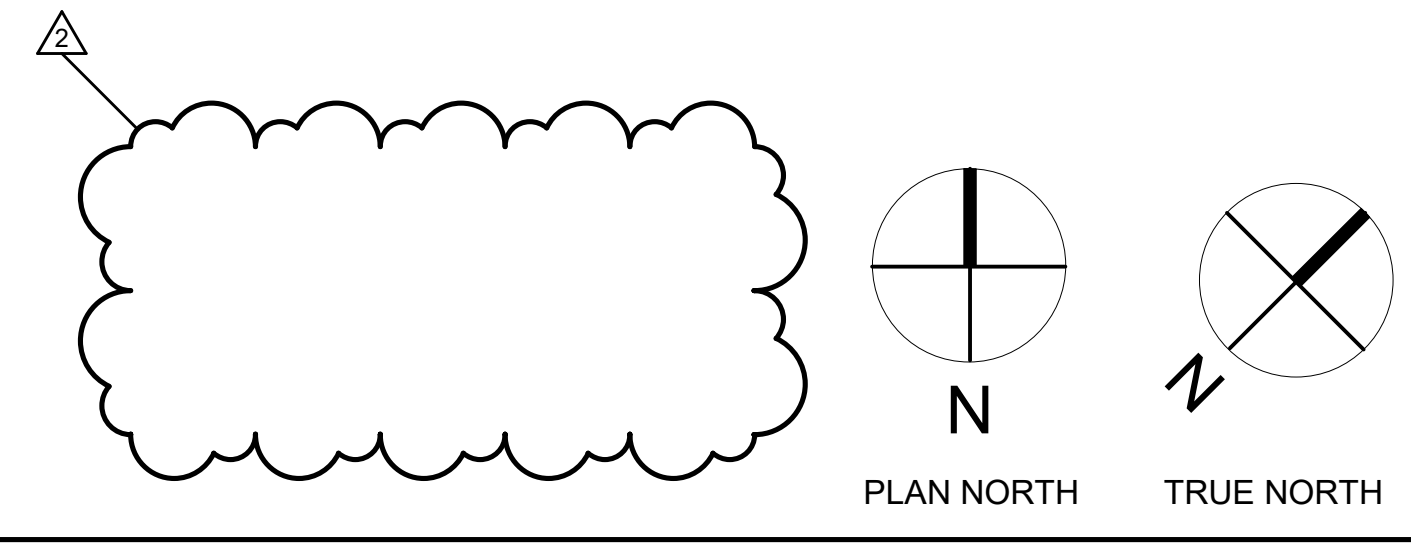
JOB NO.  
076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

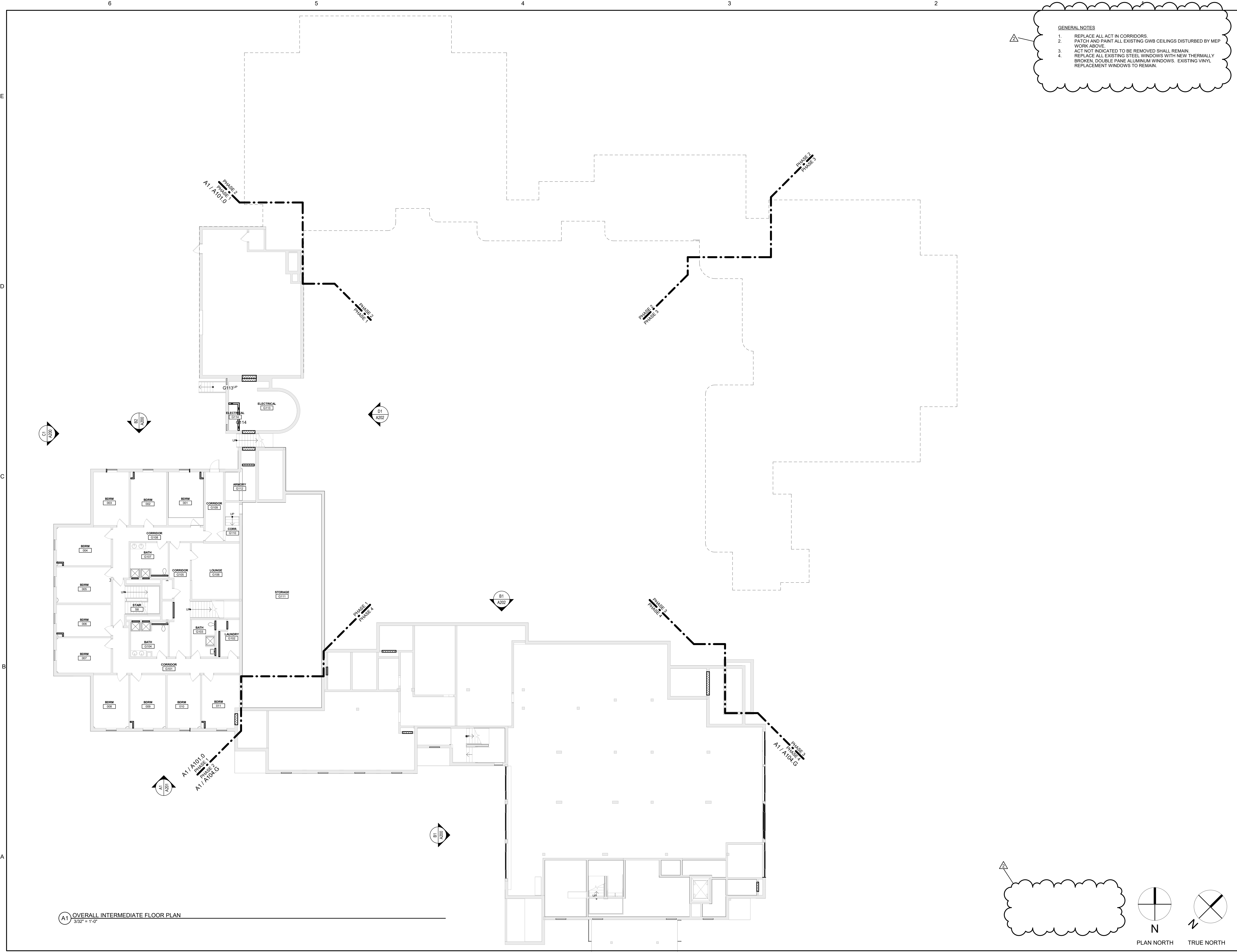
TITLE  
OVERALL GROUND FLOOR PLAN

SHEET  
**A009**

**A1 OVERALL GROUND FLOOR PLAN**  
 3/32" = 1'-0"







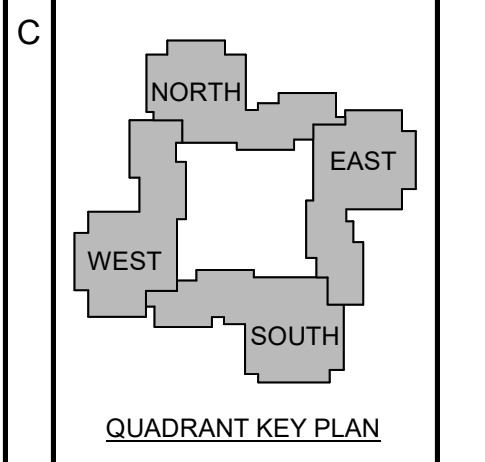
**GENERAL NOTES**

1. REPLACE ALL ACT IN CORRIDORS.
2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
3. ACT NOT INDICATED TO BE REMOVED SHALL REMAIN.
4. REPLACE ALL EXISTING STEEL WINDOWS WITH NEW THERMALLY BROKEN, DOUBLE PANE ALUMINUM WINDOWS. EXISTING VINYL REPLACEMENT WINDOWS TO REMAIN.



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
Revisio	Date	Descriptio
Revision Schedule		

**NOT FOR CONSTRUCTION**

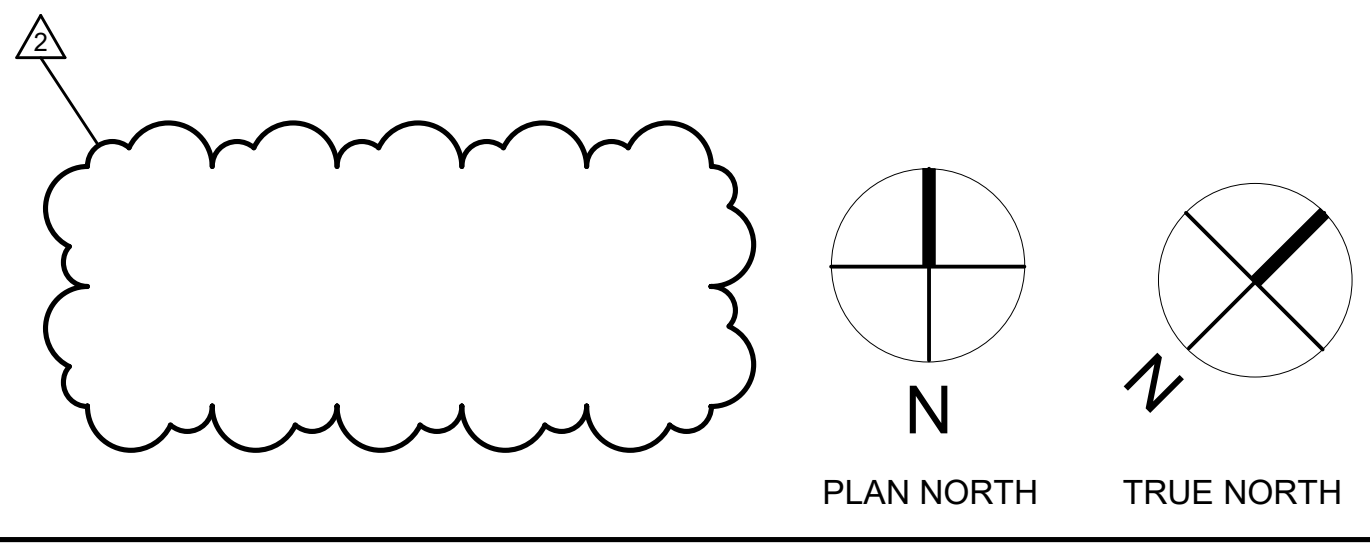
JOB NO.  
076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

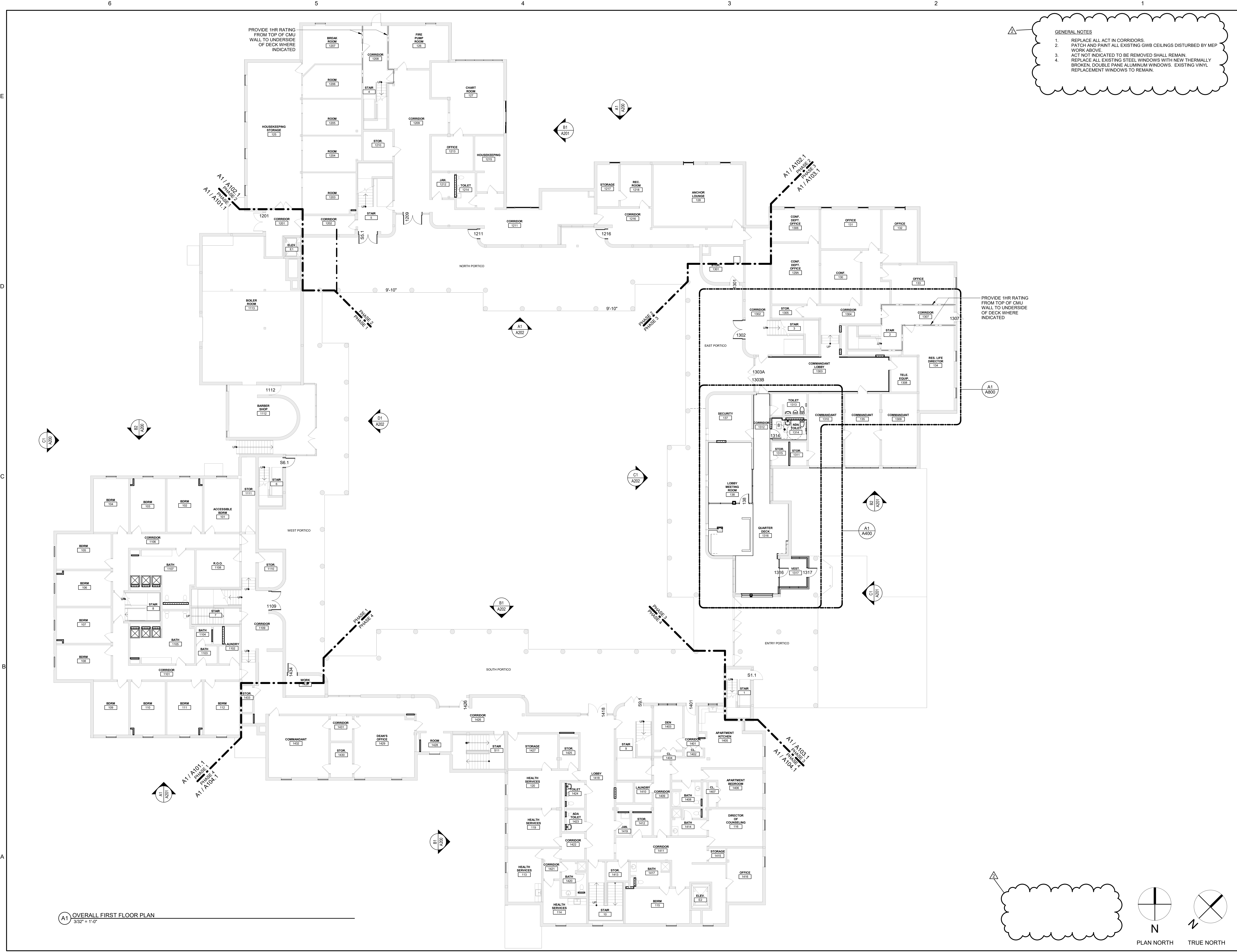
TITLE  
 OVERALL INTERMEDIATE FLOOR PLAN

SHEET  
**A010**

**A1** OVERALL INTERMEDIATE FLOOR PLAN  
 3/32" = 1'-0"







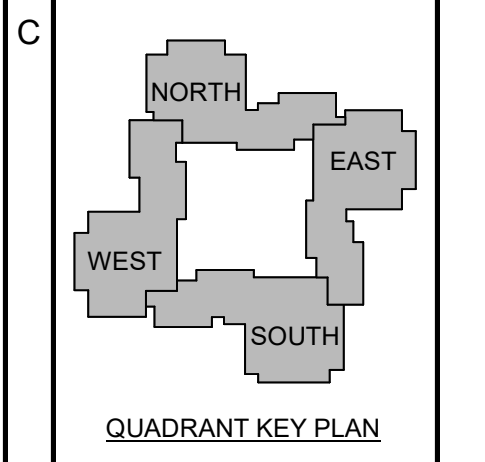
**GENERAL NOTES**

1. REPLACE ALL ACT IN CORRIDORS.
2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
3. ACT NOT INDICATED TO BE REMOVED SHALL REMAIN.
4. REPLACE ALL EXISTING STEEL WINDOWS WITH NEW THERMALLY BROKEN, DOUBLE PANE ALUMINUM WINDOWS. EXISTING VINYL REPLACEMENT WINDOWS TO REMAIN.



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
2	12-12-23	Addendum #3

**NOT FOR CONSTRUCTION**

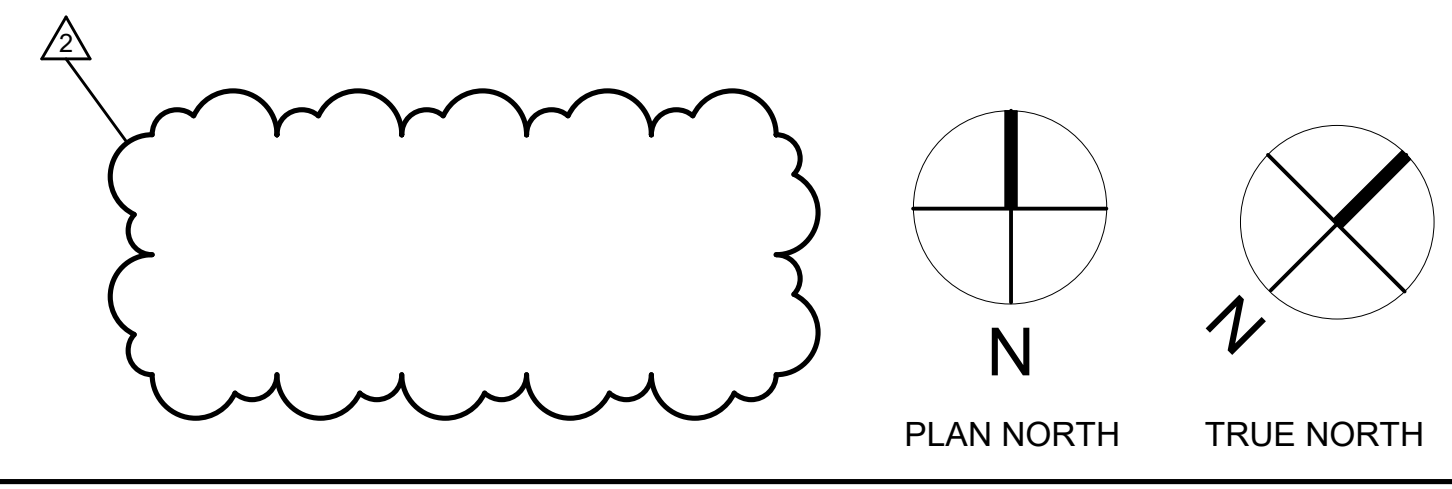
JOB NO.  
076982

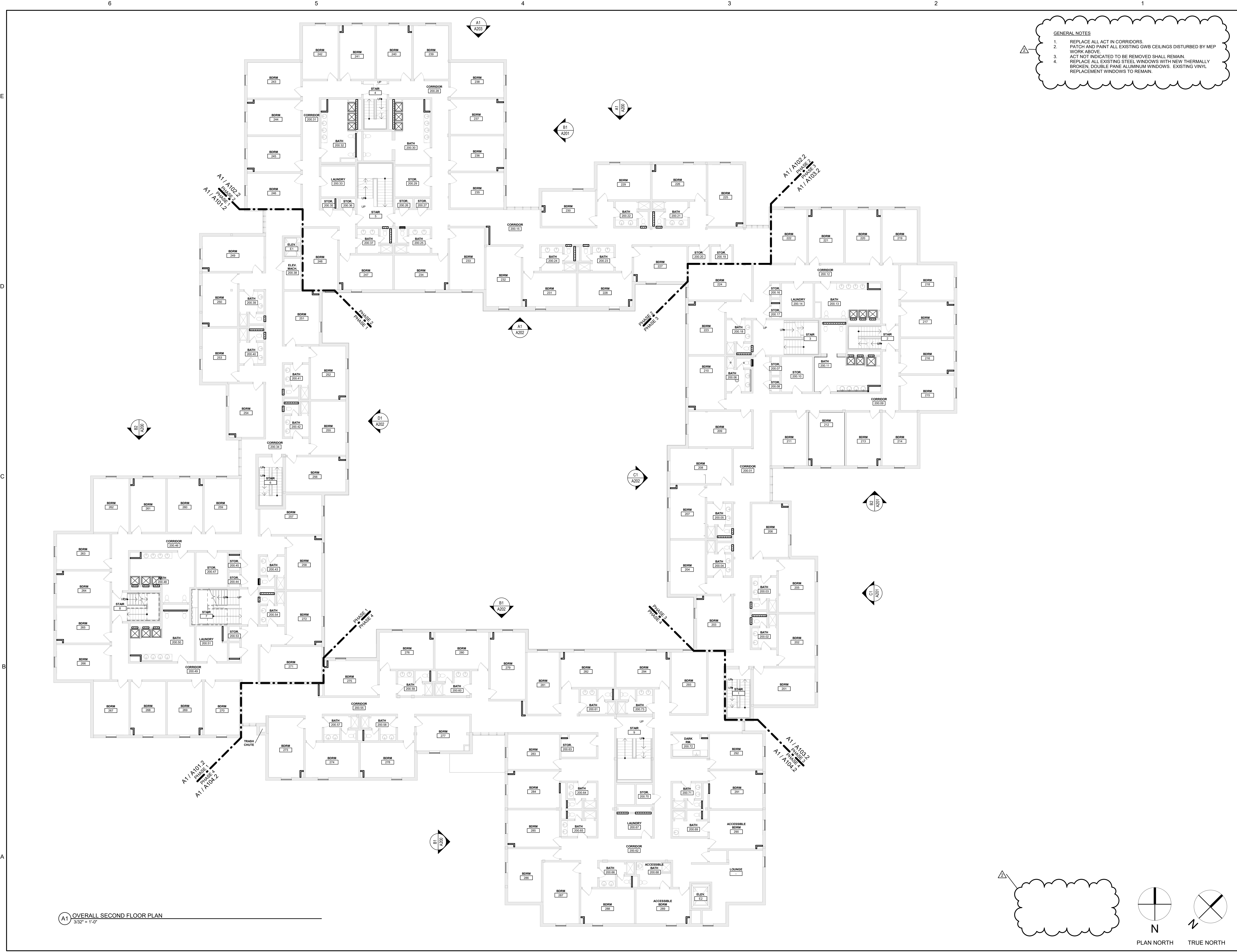
ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
OVERALL FIRST FLOOR PLAN

SHEET  
**A011**

**A1** OVERALL FIRST FLOOR PLAN  
 3/32" = 1'-0"





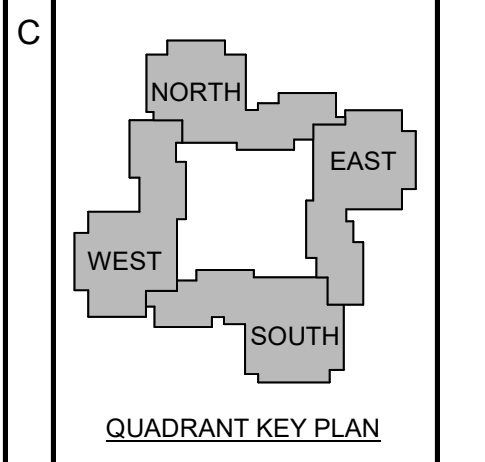
**GENERAL NOTES**

1. REPLACE ALL ACT IN CORRIDORS.
2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
3. ACT NOT INDICATED TO BE REMOVED SHALL REMAIN.
4. REPLACE ALL EXISTING STEEL WINDOWS WITH NEW THERMALLY BROKEN DOUBLE PANE ALUMINUM WINDOWS. EXISTING VINYL REPLACEMENT WINDOWS TO REMAIN.



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
2	12-12-23	Addendum #3

NOT FOR CONSTRUCTION

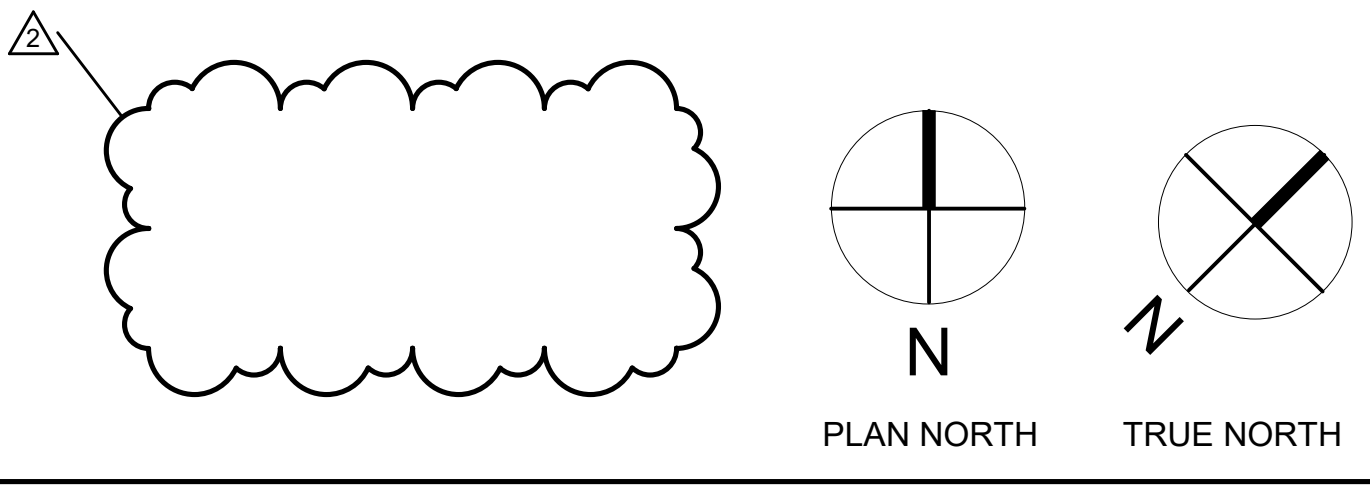
JOB NO.  
076982

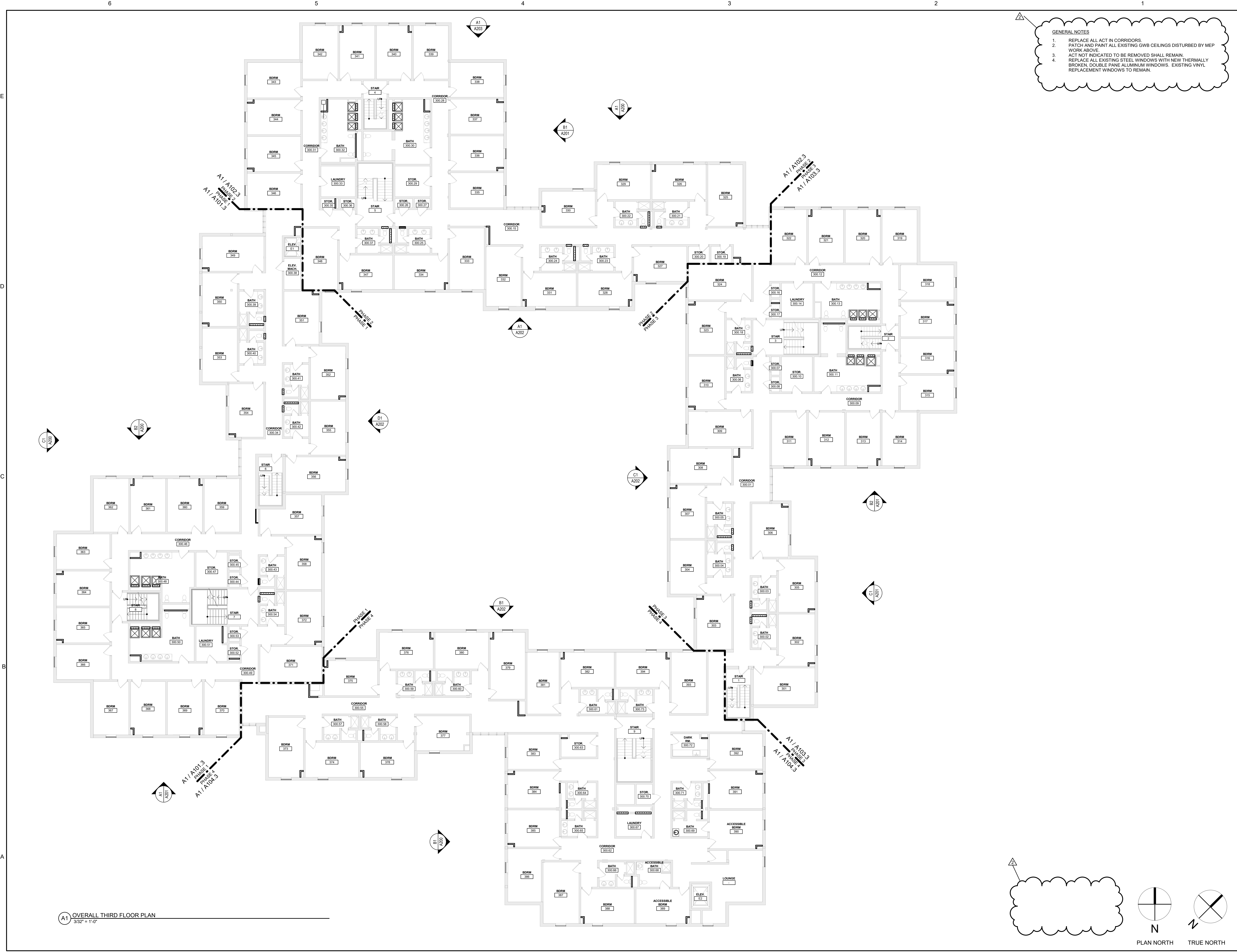
ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
OVERALL SECOND FLOOR PLAN

SHEET  
A012

A1 OVERALL SECOND FLOOR PLAN  
 3/32" = 1'-0"





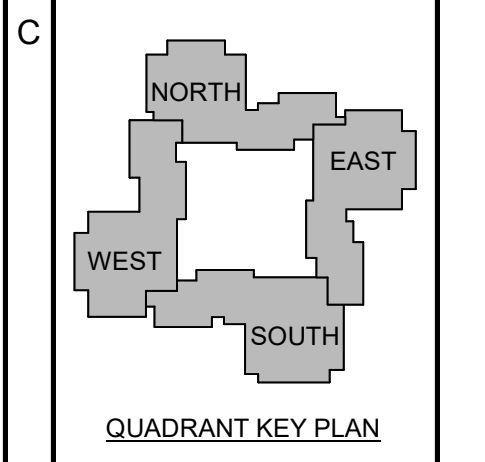
**GENERAL NOTES**

1. REPLACE ALL ACT IN CORRIDORS.
2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
3. ACT NOT INDICATED TO BE REMOVED SHALL REMAIN.
4. REPLACE ALL EXISTING STEEL WINDOWS WITH NEW THERMALLY BROKEN, DOUBLE PANE ALUMINUM WINDOWS. EXISTING VINYL REPLACEMENT WINDOWS TO REMAIN.



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
2	12-12-23	Addendum #3

NOT FOR CONSTRUCTION

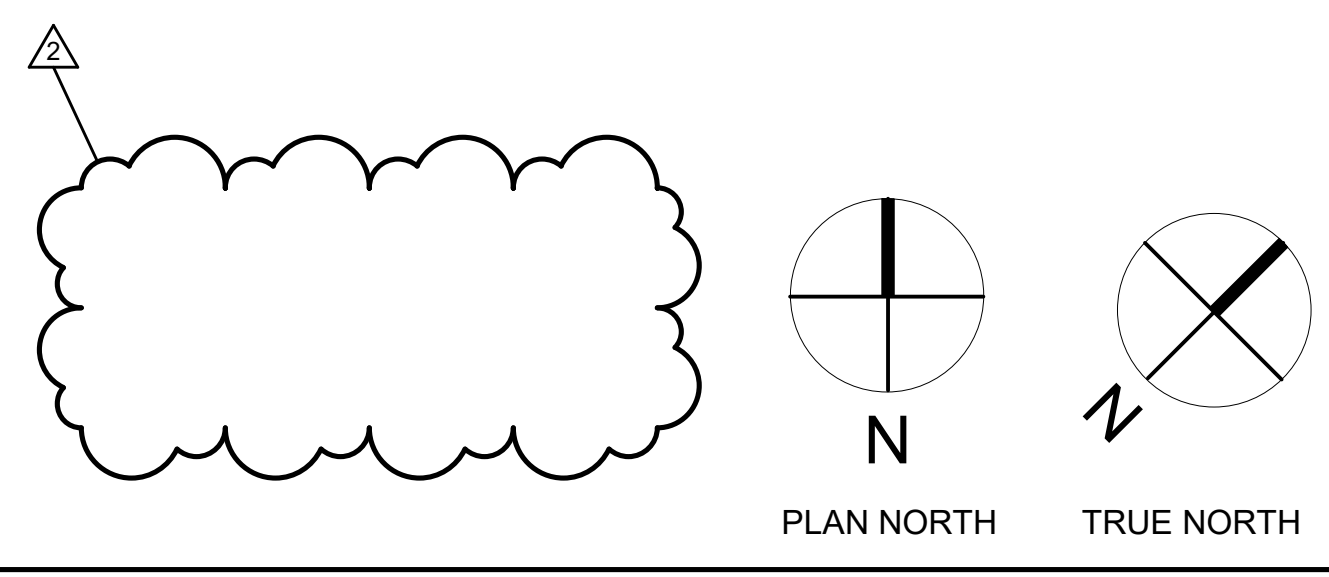
JOB NO.  
076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

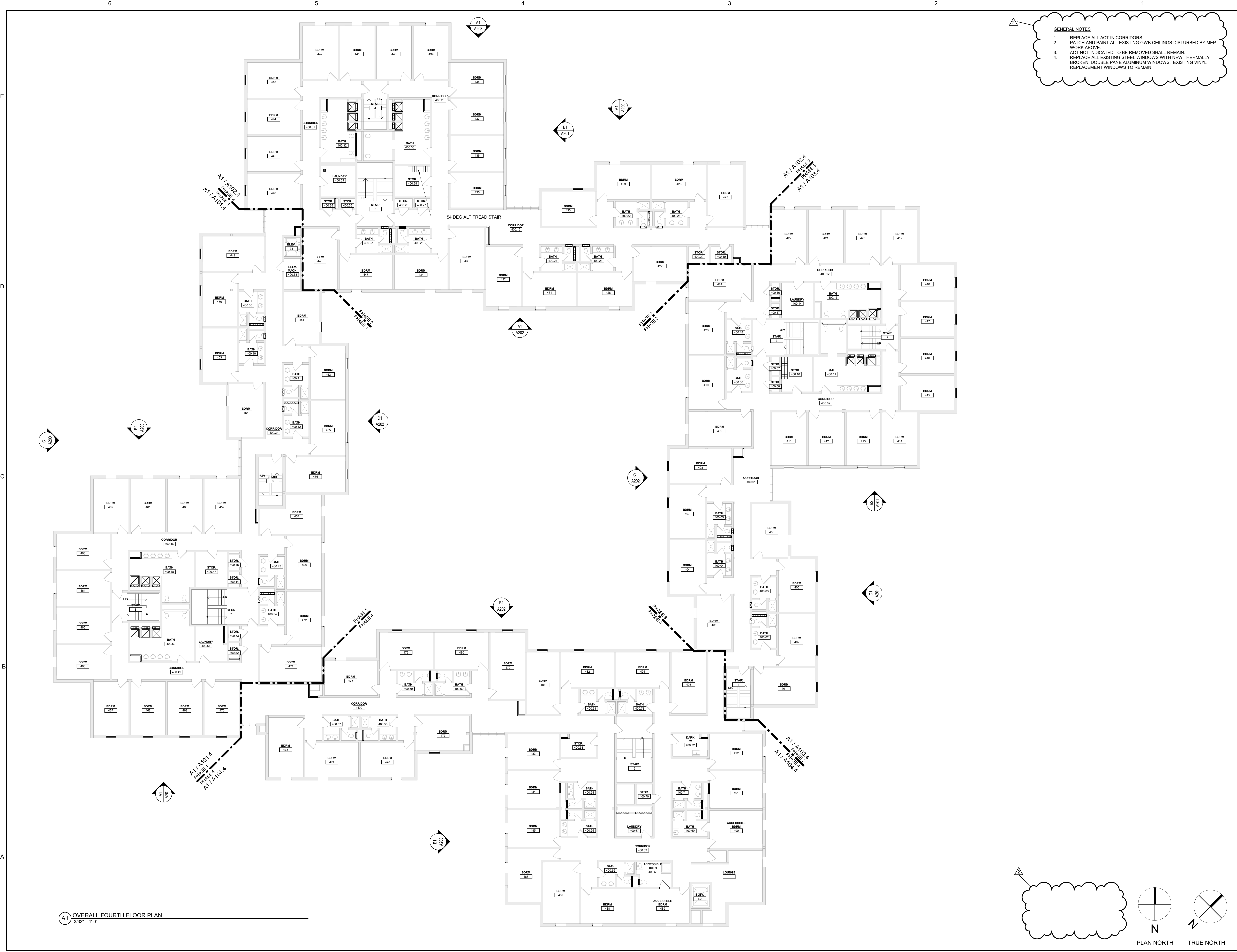
TITLE  
OVERALL THIRD FLOOR PLAN

SHEET  
A013

A1) OVERALL THIRD FLOOR PLAN  
 3/32" = 1'-0"





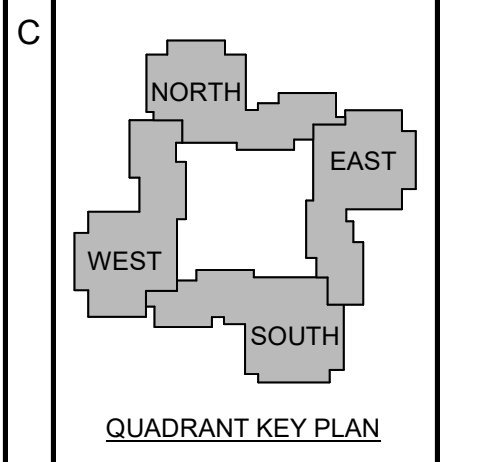


- GENERAL NOTES**
1. REPLACE ALL ACT IN CORRIDORS.
  2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
  3. ACT NOT INDICATED TO BE REMOVED SHALL REMAIN.
  4. REPLACE ALL EXISTING STEEL WINDOWS WITH NEW THERMALLY BROKEN, DOUBLE PANE ALUMINUM WINDOWS. EXISTING VINYL REPLACEMENT WINDOWS TO REMAIN.



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



NO.	Date	Description
2	12-12-23	Addendum #3

**NOT FOR CONSTRUCTION**

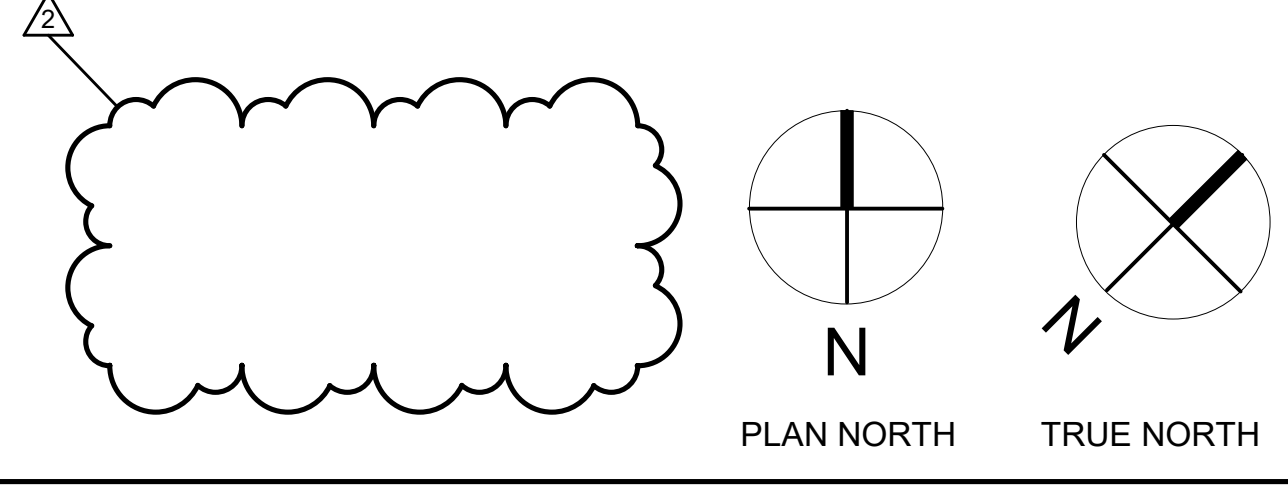
JOB NO.  
076982

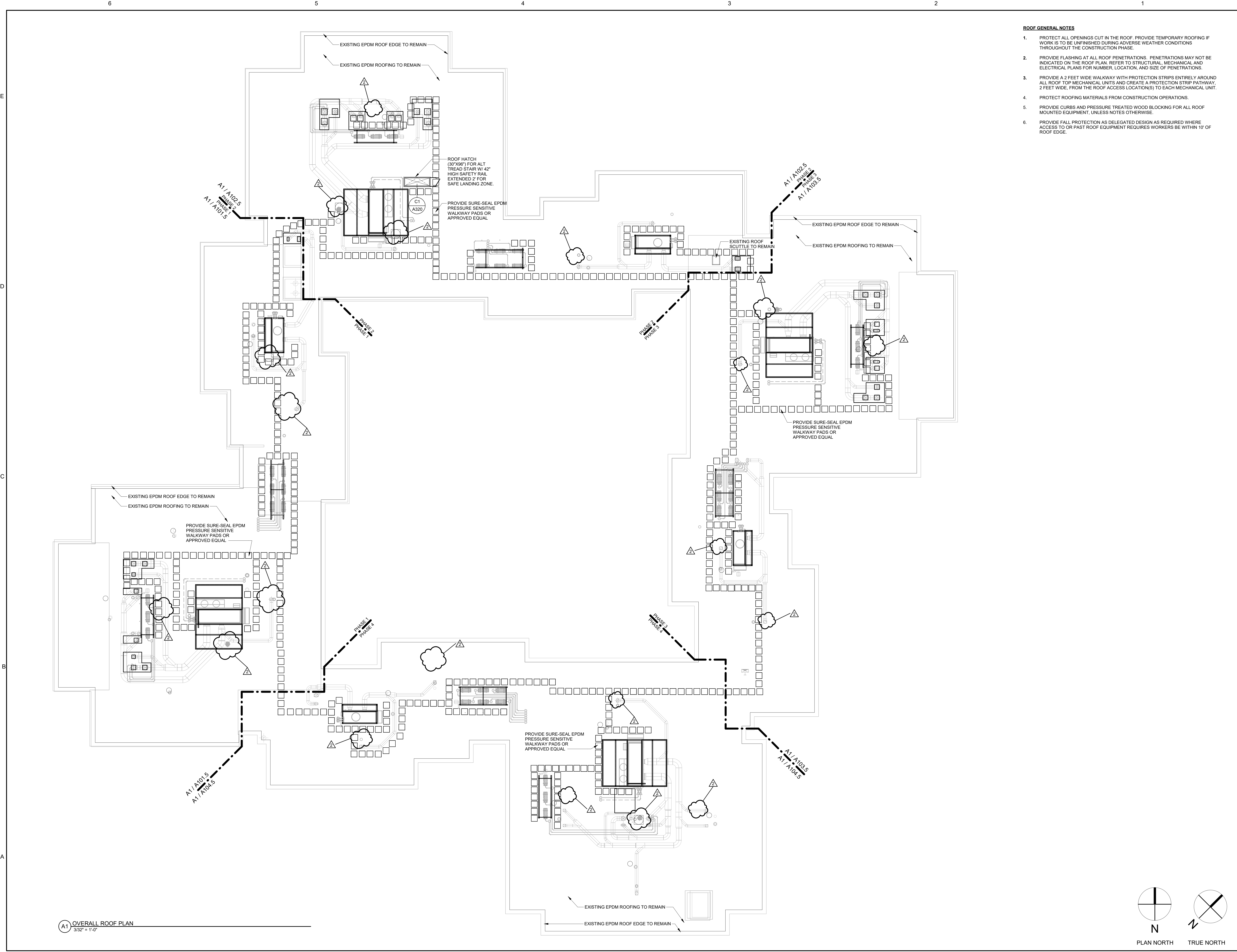
ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
OVERALL FOURTH FLOOR PLAN

SHEET  
**A014**

**A1** OVERALL FOURTH FLOOR PLAN  
 3/32" = 1'-0"



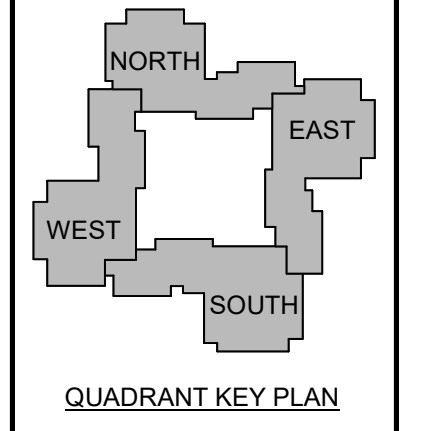


- ROOF GENERAL NOTES**
- PROTECT ALL OPENINGS CUT IN THE ROOF. PROVIDE TEMPORARY ROOFING IF WORK IS TO BE UNFINISHED DURING ADVERSE WEATHER CONDITIONS THROUGHOUT THE CONSTRUCTION PHASE.
  - PROVIDE FLASHING AT ALL ROOF PENETRATIONS. PENETRATIONS MAY NOT BE INDICATED ON THE ROOF PLAN. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF PENETRATIONS.
  - PROVIDE A 2 FEET WIDE WALKWAY WITH PROTECTION STRIPS ENTIRELY AROUND ALL ROOF TOP MECHANICAL UNITS AND CREATE A PROTECTION STRIP PATHWAY 2 FEET WIDE, FROM THE ROOF ACCESS LOCATION(S) TO EACH MECHANICAL UNIT.
  - PROTECT ROOFING MATERIALS FROM CONSTRUCTION OPERATIONS.
  - PROVIDE CURBS AND PRESSURE TREATED WOOD BLOCKING FOR ALL ROOF MOUNTED EQUIPMENT, UNLESS NOTES OTHERWISE.
  - PROVIDE FALL PROTECTION AS DELEGATED DESIGN AS REQUIRED WHERE ACCESS TO OR PAST ROOF EQUIPMENT REQUIRES WORKERS BE WITHIN 10' OF ROOF EDGE.



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
Revisio	Date	Descriptio
Revision Schedule		

NOT FOR CONSTRUCTION

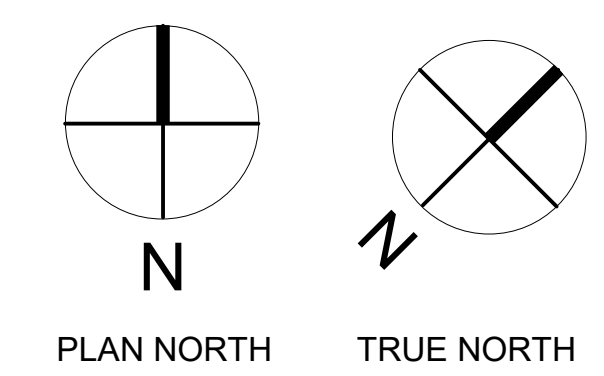
JOB NO.  
076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 OVERALL ROOF PLAN

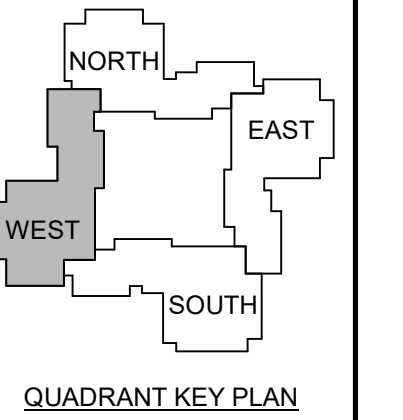
SHEET  
**A015**

**A1 OVERALL ROOF PLAN**  
 3/32" = 1'-0"









No.	Date	Description
2	12-12-23	Addendum #3

NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 INTERMEDIATE FLOOR PLAN AND DEMO PLAN - PHASE 1

SHEET  
**A101.0**

**PLAN GENERAL NOTES**

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
 CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
 METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**

- EXTERIOR DIMENSIONS ARE TO:  
 . CENTERLINE OF COLUMN  
 . FACE OF MASONRY  
 . FACE OF STUD  
 . FACE OF CONCRETE  
 . CENTERLINE OF WINDOW OPENING  
 . ROUGH OPENING  
 . MASONRY OPENING

- INTERIOR DIMENSIONS ARE TO:  
 . CENTERLINE OF COLUMN  
 . FACE OF MASONRY  
 . FACE OF STUD  
 . FACE OF EXISTING FINISH MATERIAL

- EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.

**TYPICAL DETAIL NOTES:**

- THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
- ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
- ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
- ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
- ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

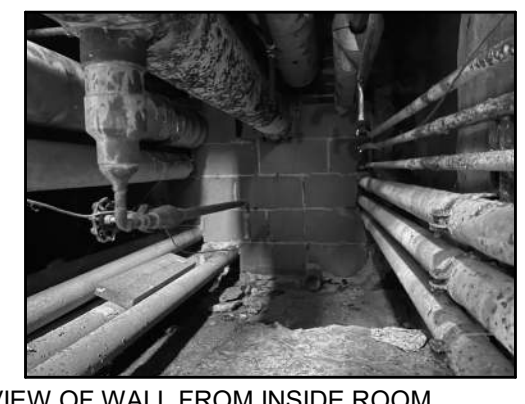
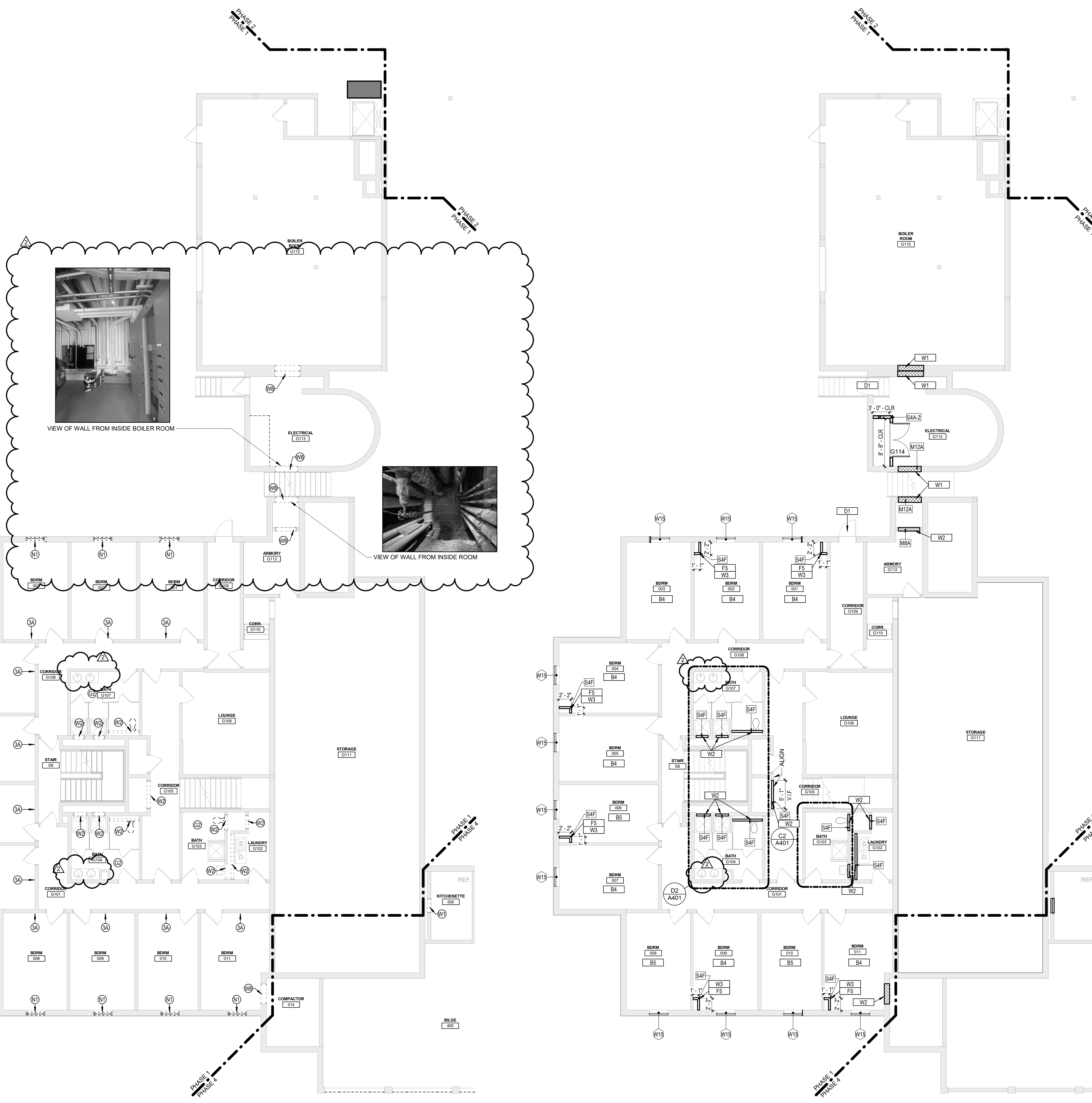
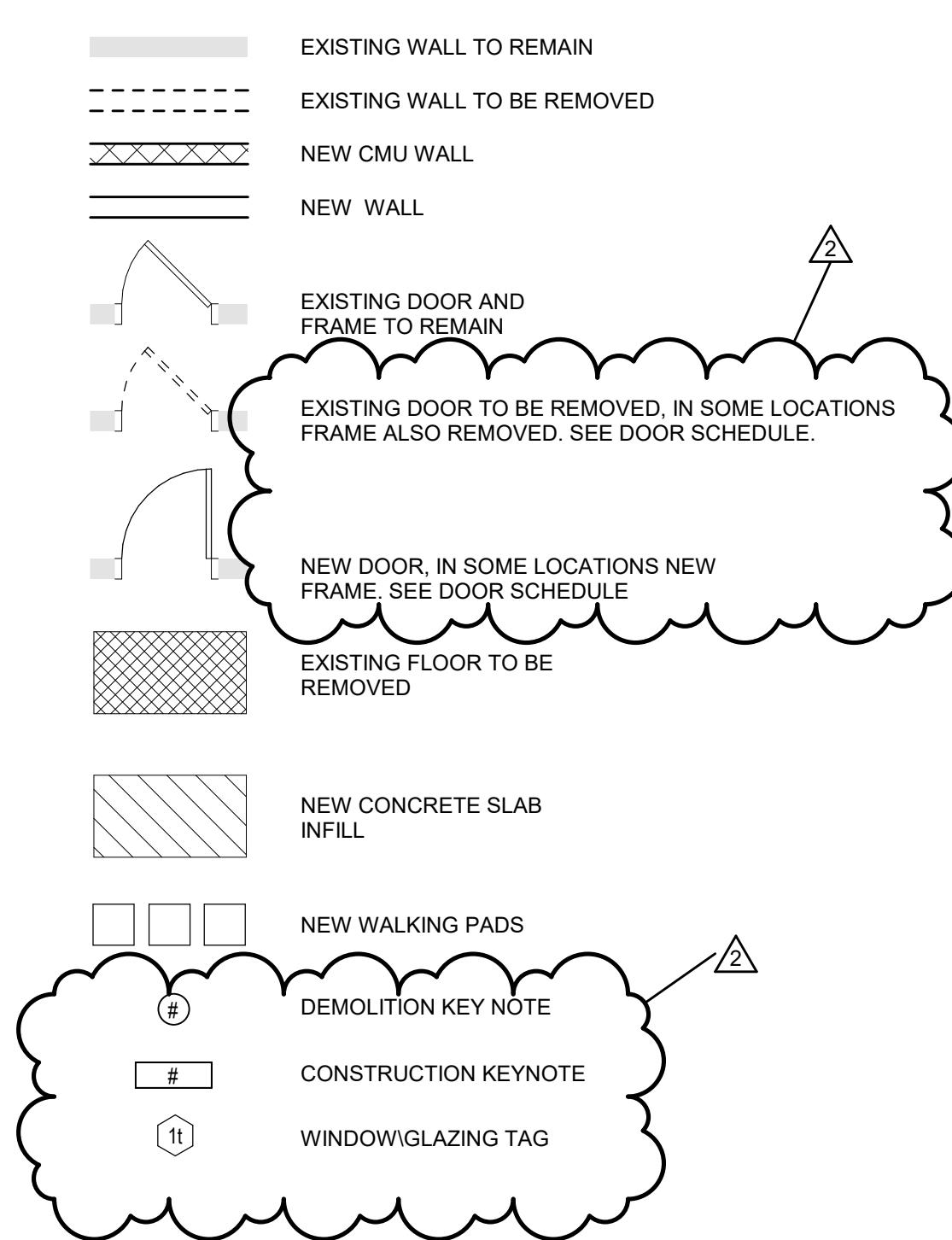
**ROOM NUMBER NOTE:**  
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

1ST DIGIT = FLOOR  
 2ND DIGIT = PHASE  
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**

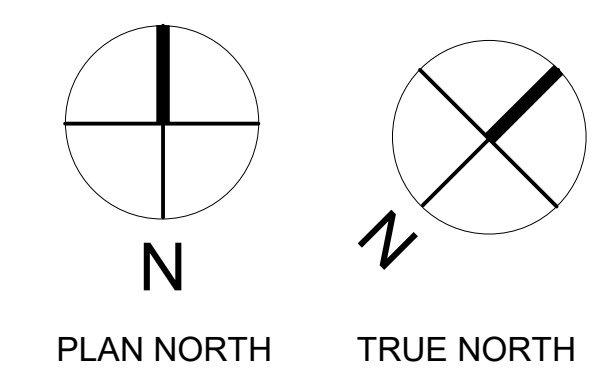
- REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
- REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.
- REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

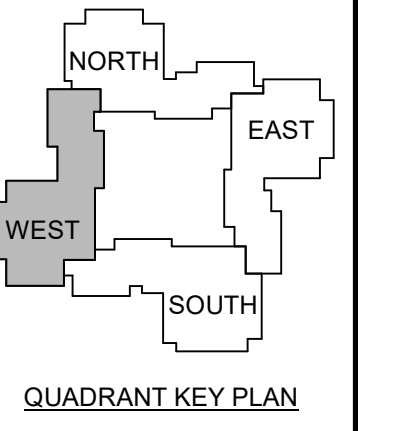
**PLAN GRAPHIC LEGEND**



**A2** INTERMEDIATE FLOOR DEMO PLAN - PHASE 1  
 1/8" = 1'-0"

**A1** INTERMEDIATE FLOOR PLAN - PHASE 1  
 1/8" = 1'-0"





2	12-12-23	Addendum #3
No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
FIRST FLOOR PLAN AND DEMO PLAN - PHASE 1

SHEET  
**A101.1**

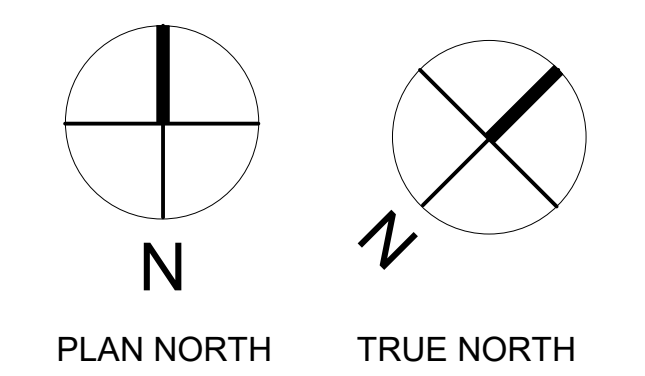
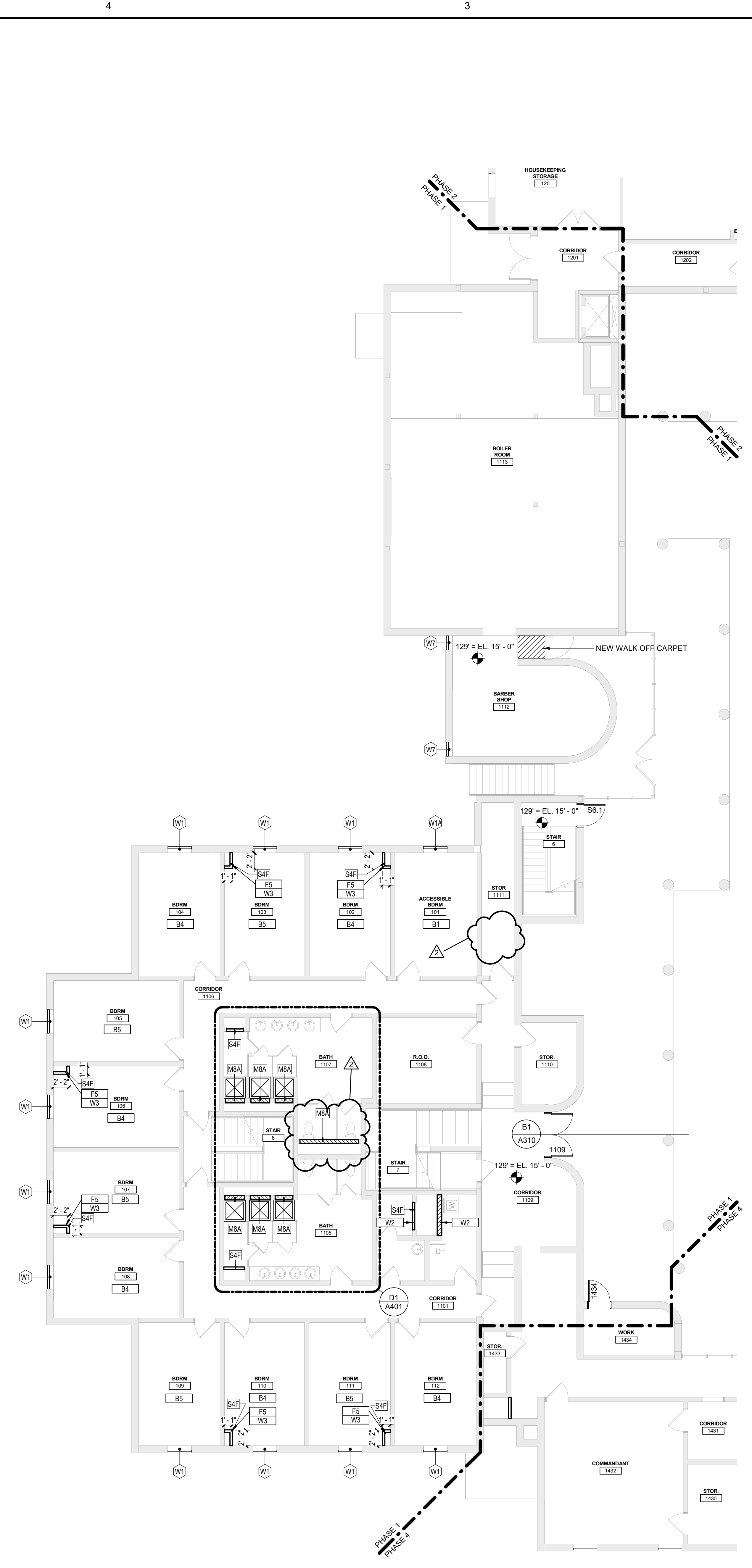
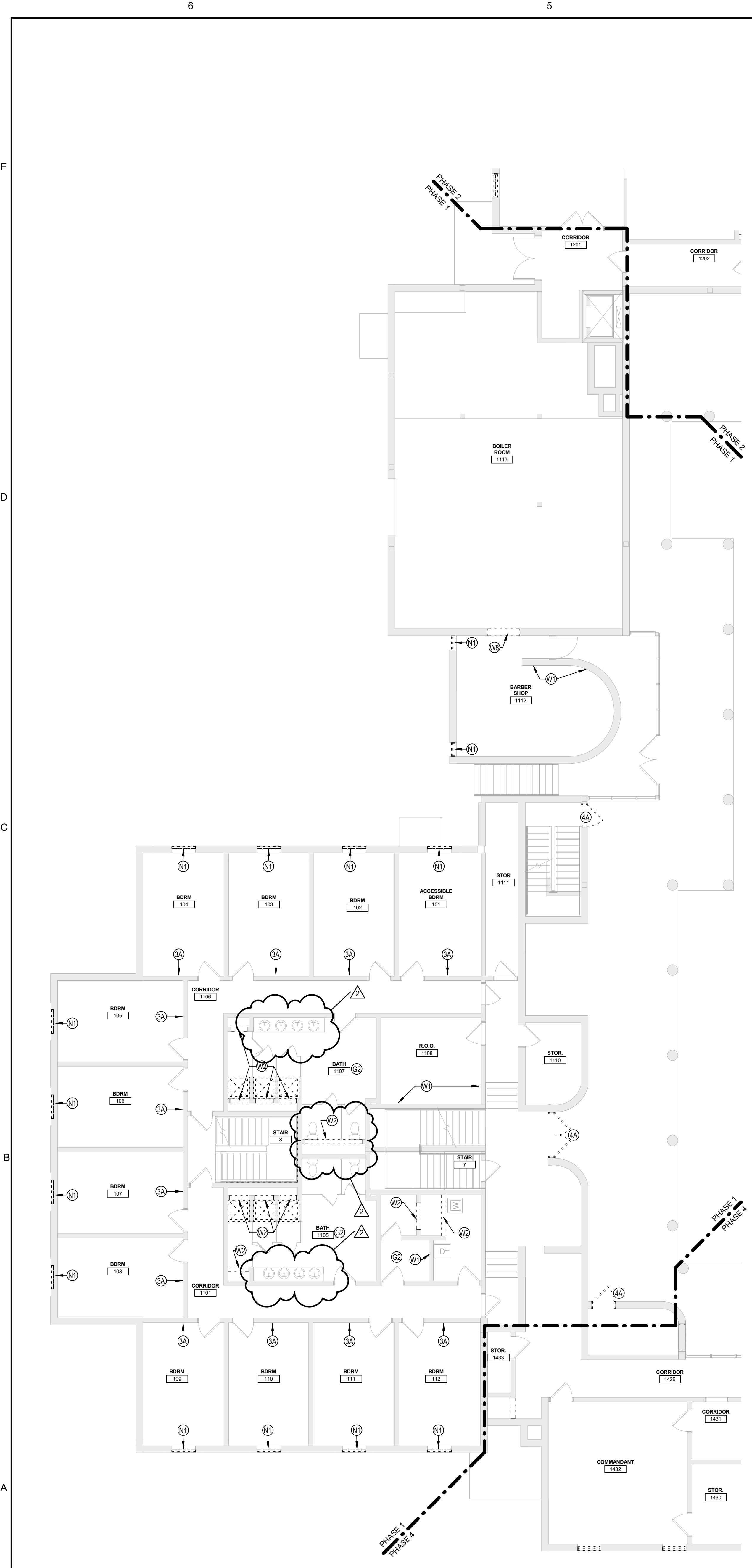
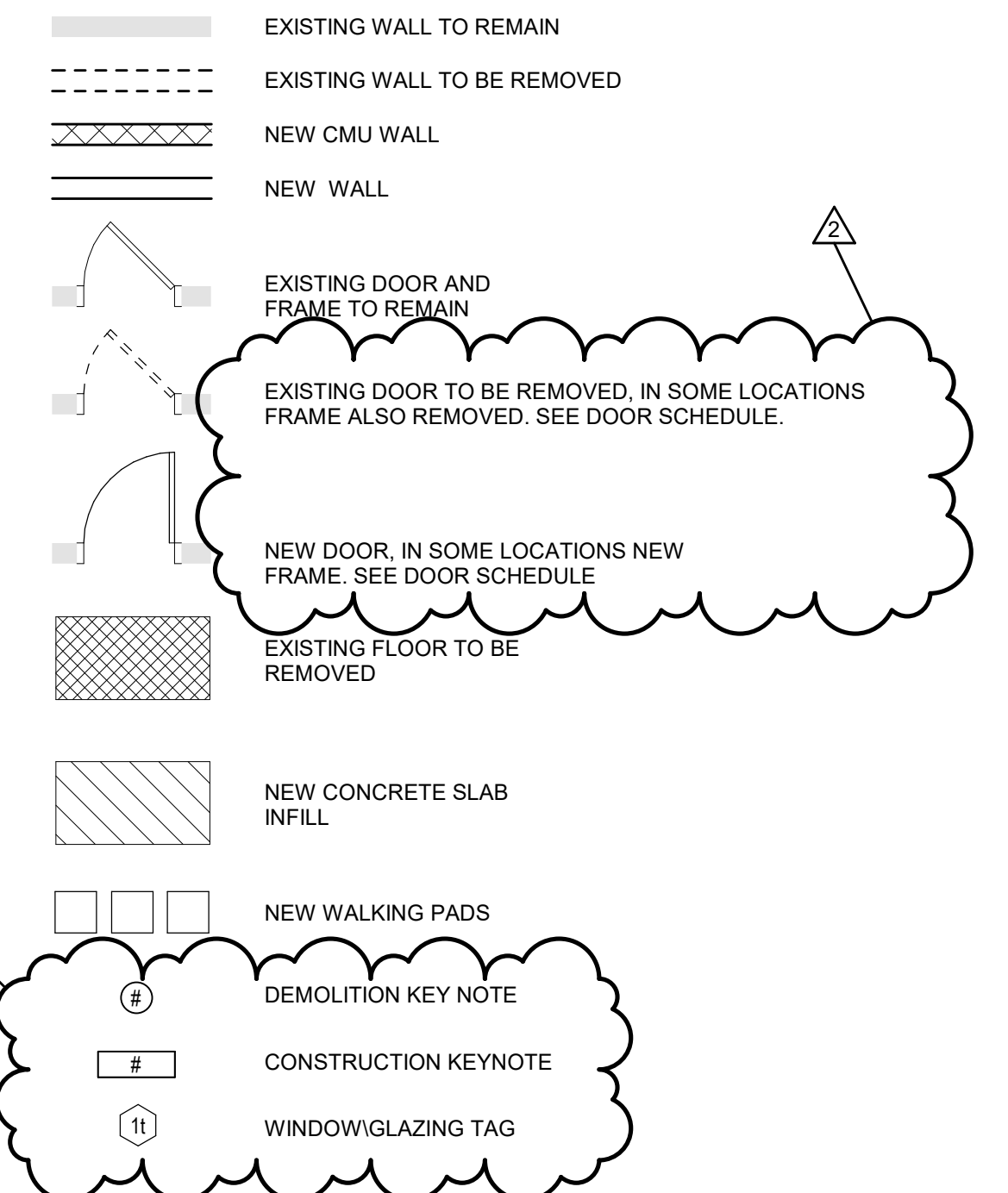
**PLAN GENERAL NOTES**

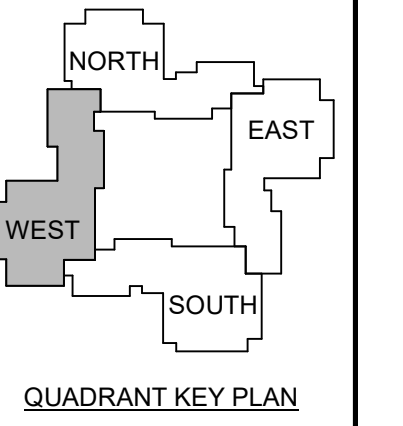
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
• CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
• METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**  
**EXTERIOR DIMENSIONS ARE TO:**  
• CENTERLINE OF COLUMN  
• FACE OF MASONRY  
• FACE OF STUD  
• FACE OF CONCRETE  
• CENTERLINE OF WINDOW OPENING  
• ROUGH OPENING  
• MASONRY OPENING  
**INTERIOR DIMENSIONS ARE TO:**  
• CENTERLINE OF COLUMN  
• FACE OF MASONRY  
• FACE OF STUD  
• FACE OF EXISTING FINISH MATERIAL  
**EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**  
• THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.  
• ALL GYW PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.  
• ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS  
• ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
• ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

**ROOM NUMBER NOTE:**  
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
1ST DIGIT = FLOOR  
2ND DIGIT = PHASE  
3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**  
1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

**PLAN GRAPHIC LEGEND**





2	12-12-23	Addendum #3
N	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 SECOND FLOOR PLAN AND DEMO PLAN - PHASE 1

SHEET  
**A101.2**

**PLAN GENERAL NOTES**

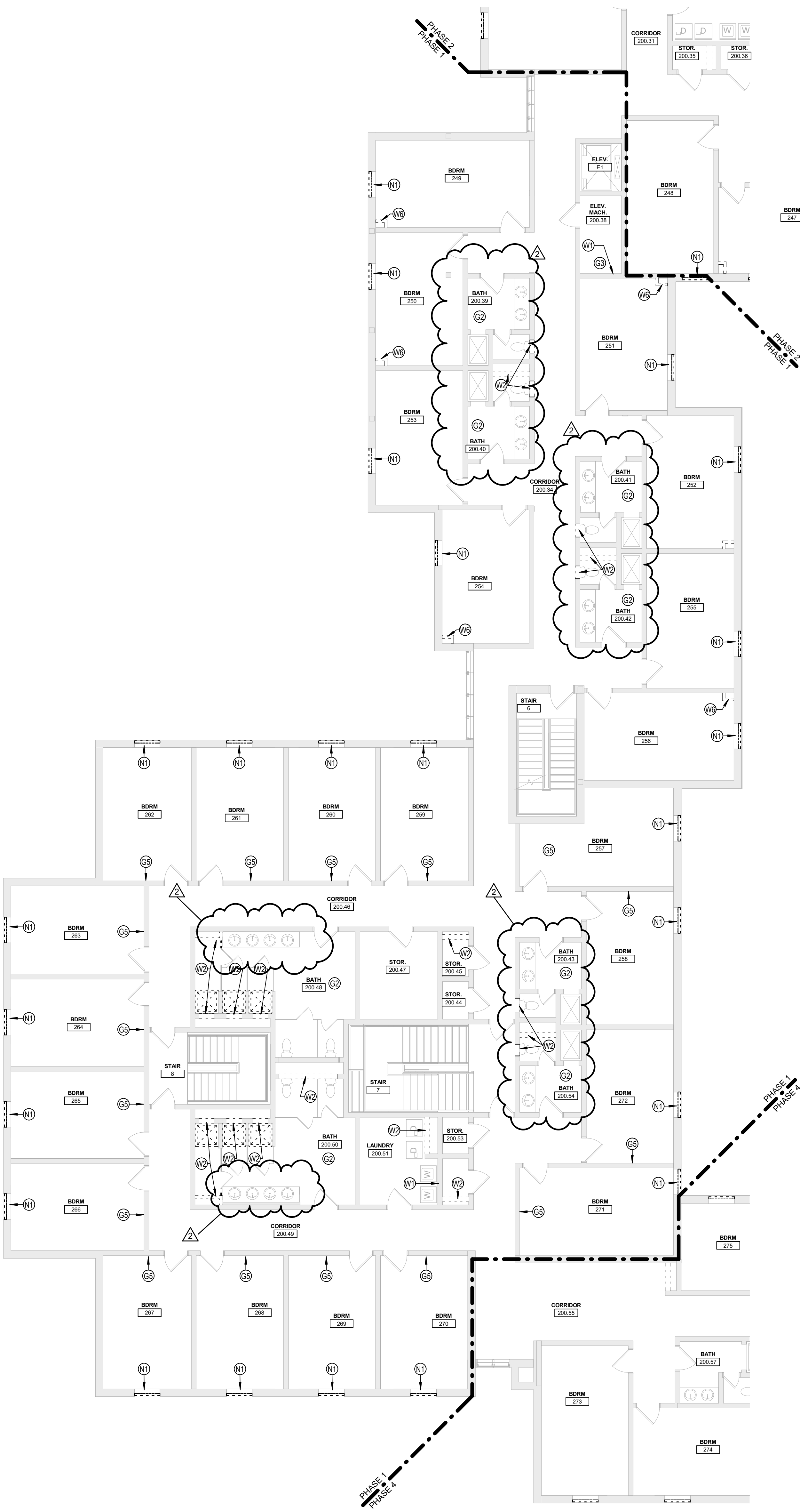
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**  
**EXTERIOR DIMENSIONS ARE TO:**  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF CONCRETE  
 • CENTERLINE OF WINDOW OPENING  
 • ROUGH OPENING  
 • MASONRY OPENING  
**INTERIOR DIMENSIONS ARE TO:**  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF EXISTING FINISH MATERIAL.  
**EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**  
 • THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.  
 • ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.  
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.  
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

**ROOM NUMBER NOTE:**  
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
 1ST DIGIT = FLOOR  
 2ND DIGIT = PHASE  
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

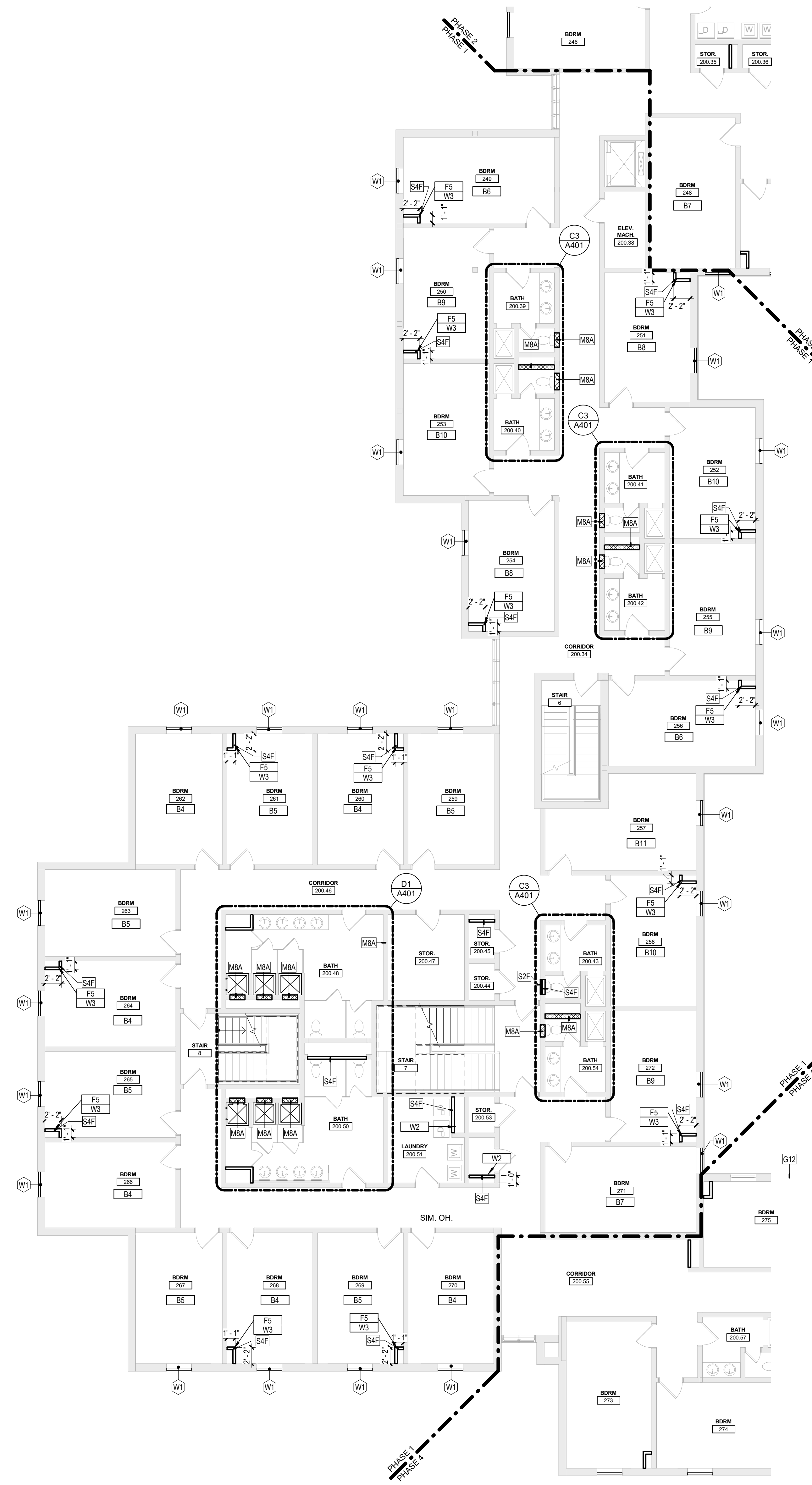
**GENERAL PLAN AND DEMO NOTES**  
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
 3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

**PLAN GRAPHIC LEGEND**

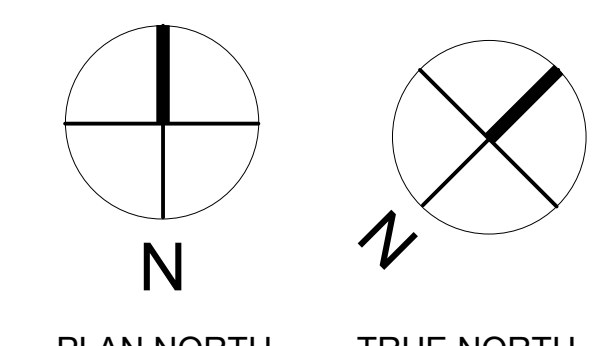
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR TO BE REMOVED, IN SOME LOCATIONS FRAME ALSO REMOVED. SEE DOOR SCHEDULE.
- NEW DOOR, IN SOME LOCATIONS NEW FRAME, SEE DOOR SCHEDULE
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS
- DEMOLITION KEY NOTE
- CONSTRUCTION KEYNOTE
- WINDOW/GLAZING TAG



**A2 SECOND FLOOR DEMO PLAN - PHASE 1**  
 1/8" = 1'-0"



**A1 SECOND FLOOR PLAN - PHASE 1**  
 1/8" = 1'-0"

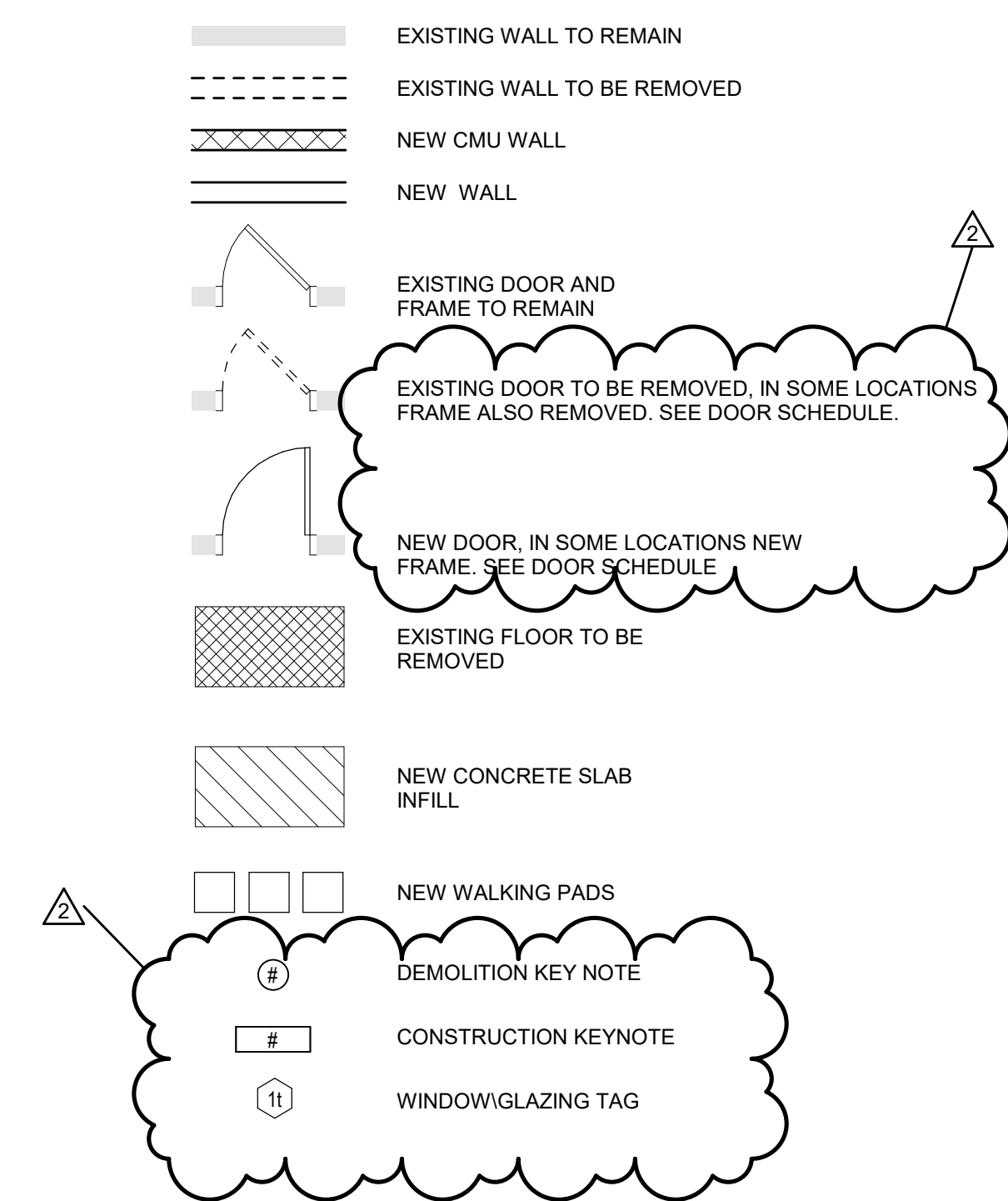




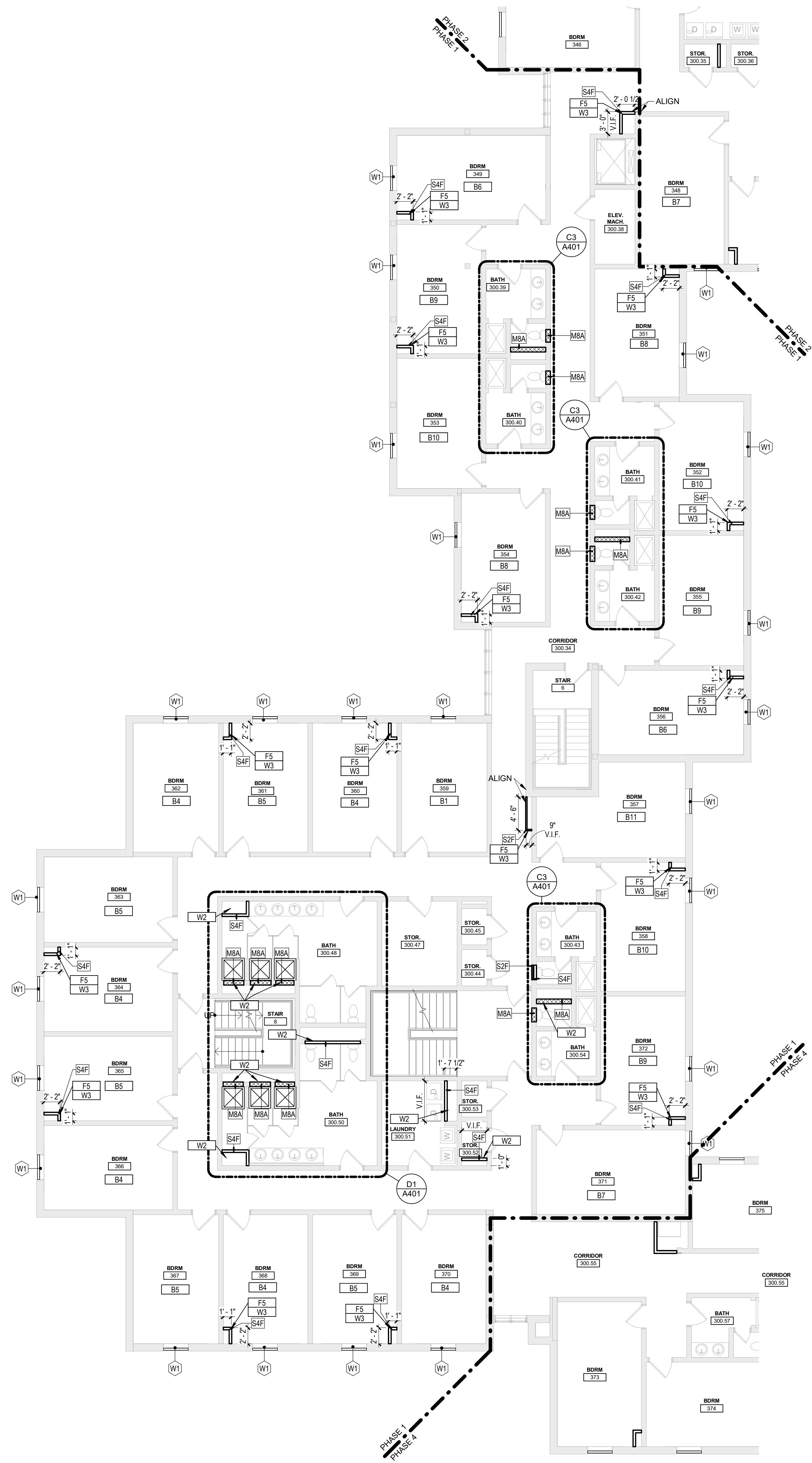
**PLAN GENERAL NOTES**

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
  - DO NOT SCALE THE DRAWINGS.
  - DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
  - UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
• CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
• METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
  - MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
  - DIMENSIONAL CONTROL:**
    - EXTERIOR DIMENSIONS ARE TO:**
      - CENTERLINE OF COLUMN
      - FACE OF MASONRY
      - FACE OF CONCRETE
      - CENTERLINE OF WINDOW OPENING
      - ROUGH OPENING
      - MASONRY OPENING
    - INTERIOR DIMENSIONS ARE TO:**
      - CENTERLINE OF COLUMN
      - FACE OF MASONRY
      - FACE OF STUD
      - FACE OF EXISTING FINISH MATERIAL
    - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
  - TYPICAL DETAIL NOTES:**
    - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:
    - ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
    - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
    - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
    - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.
- ROOM NUMBER NOTE:**  
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
- 1ST DIGIT = FLOOR  
2ND DIGIT = PHASE  
3RD AND 4TH DIGIT = ROOM IDENTIFIER
- GENERAL PLAN AND DEMO NOTES**
- REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
  - REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.
  - REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

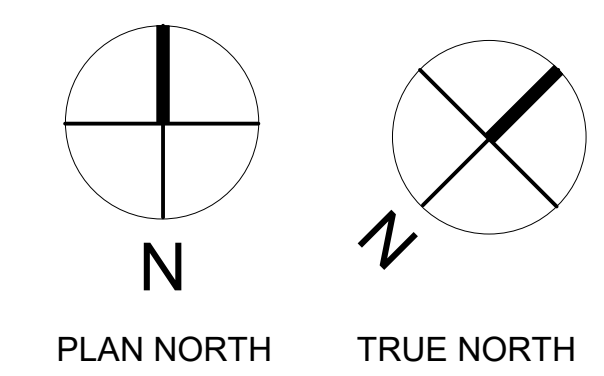
**PLAN GRAPHIC LEGEND**

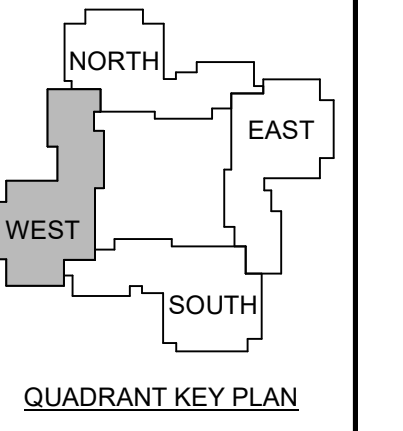


**A2** THIRD FLOOR DEMO PLAN - PHASE 1  
1/8" = 1'-0"



**A1** THIRD FLOOR PLAN - PHASE 1  
1/8" = 1'-0"





2	12-12-23	Addendum #3
N o.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
100%  
CONSTRUCTION  
DOCUMENTS -  
ISSUED FOR  
BIDDING  
11/22/2023

TITLE  
FOURTH FLOOR  
PLAN AND DEMO  
PLAN - PHASE 1

SHEET  
**A101.4**

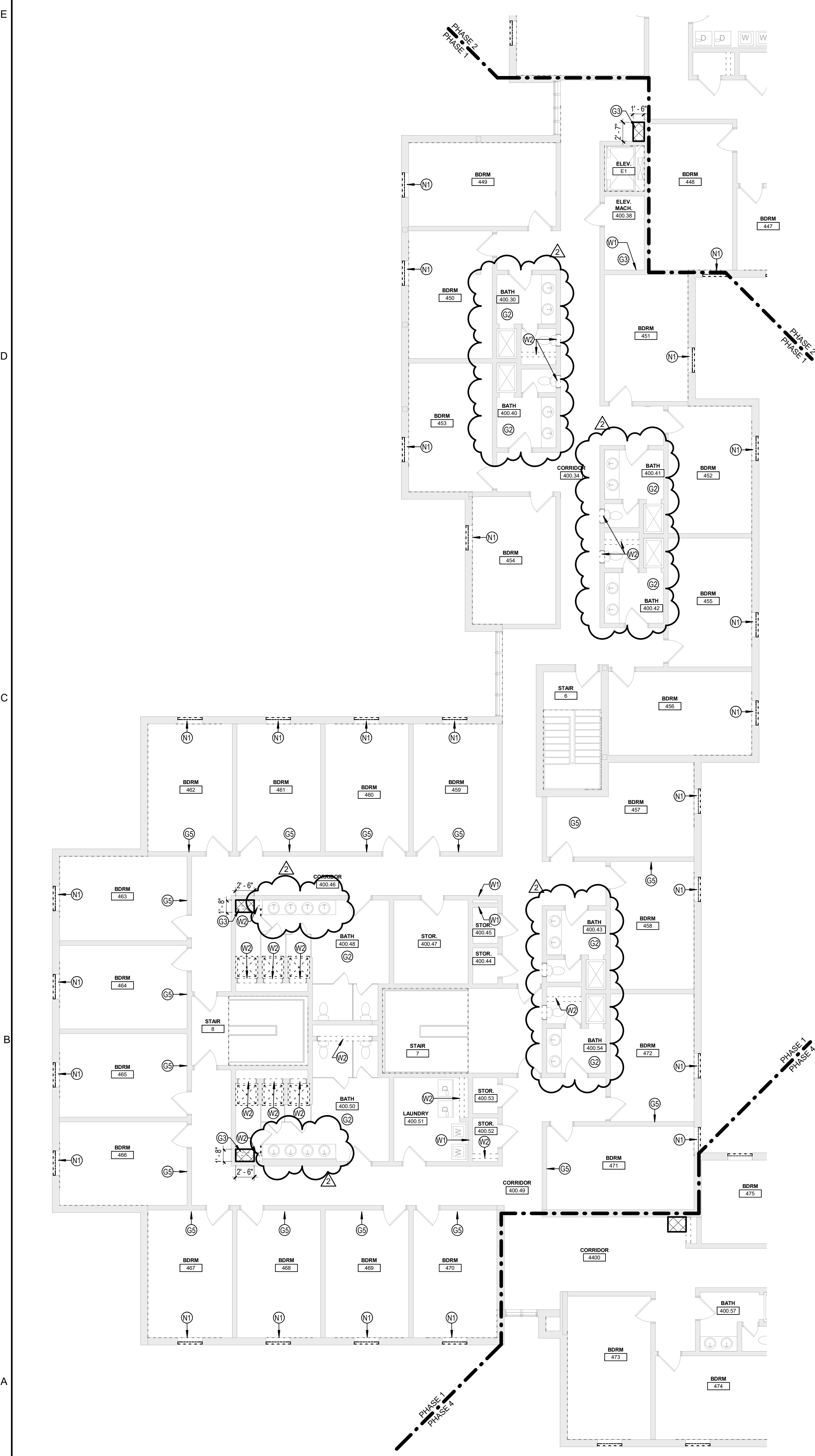
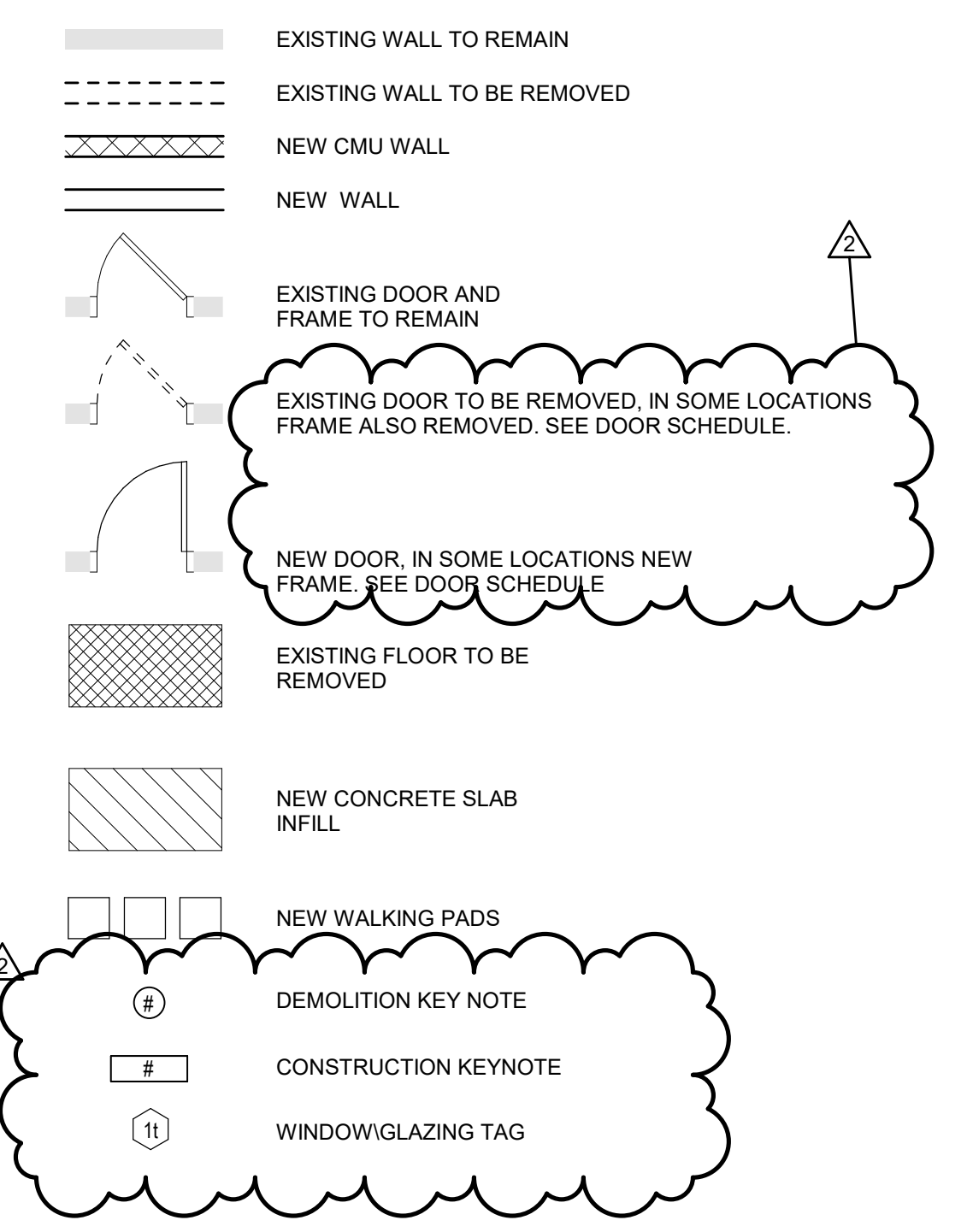
**PLAN GENERAL NOTES**

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
• CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
• METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**  
**EXTERIOR DIMENSIONS ARE TO:**  
• CENTERLINE OF COLUMN  
• FACE OF MASONRY  
• FACE OF STUD  
• FACE OF CONCRETE  
• CENTERLINE OF WINDOW OPENING  
• ROUGH OPENING  
• MASONRY OPENING  
**INTERIOR DIMENSIONS ARE TO:**  
• CENTERLINE OF COLUMN  
• FACE OF MASONRY  
• FACE OF STUD  
• FACE OF EXISTING FINISH MATERIAL.  
**EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**  
• THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.  
• ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.  
• ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.  
• ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
• ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

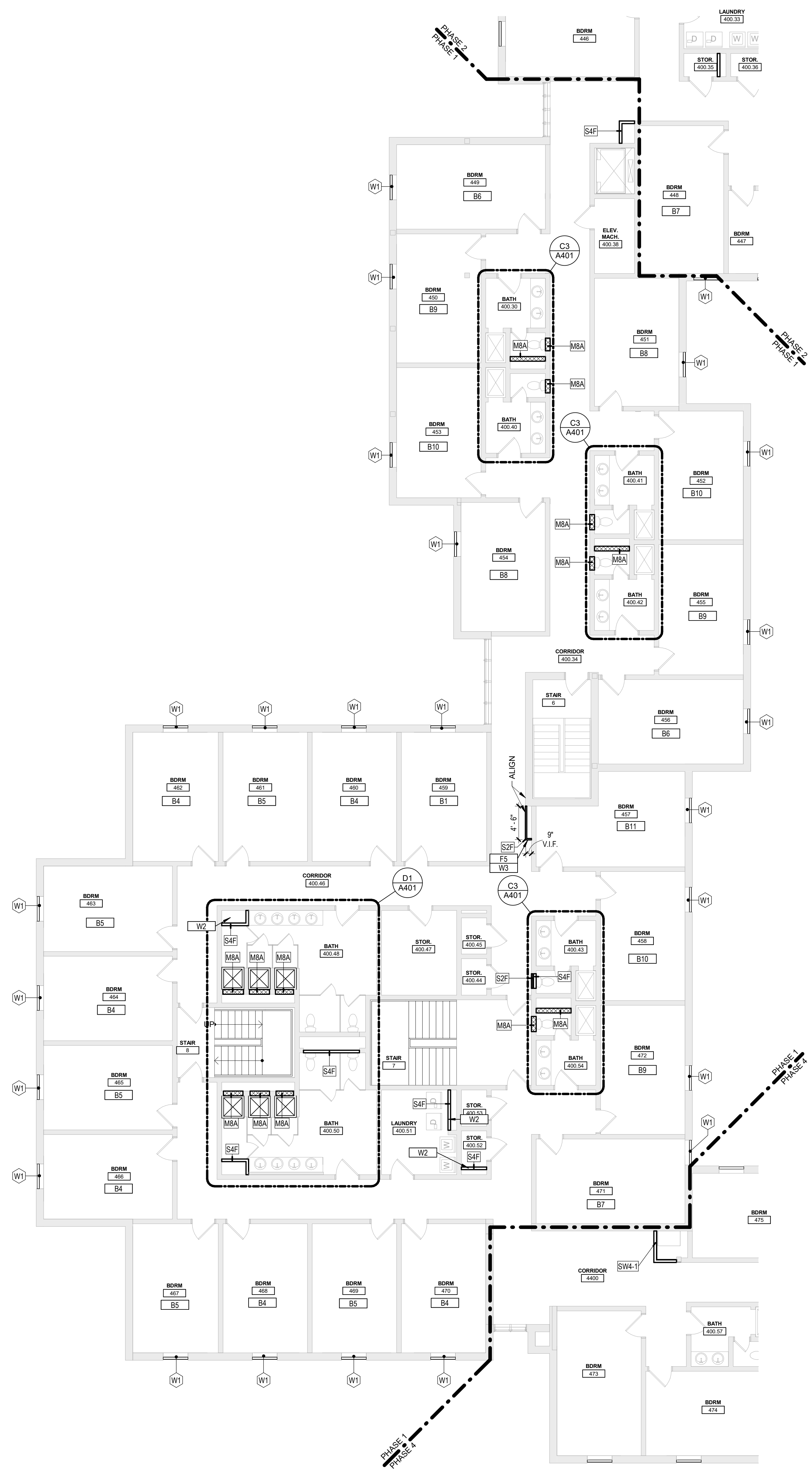
**ROOM NUMBER NOTE:**  
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
1ST DIGIT = FLOOR  
2ND DIGIT = PHASE  
3RD AND 4TH DIGIT = ROOM IDENTIFIER

- GENERAL PLAN AND DEMO NOTES**
- REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
  - REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.
  - REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

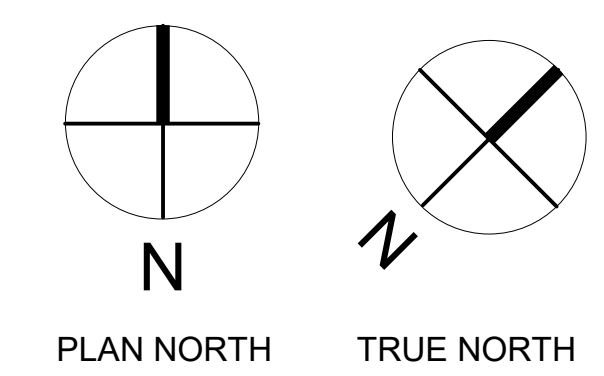
**PLAN GRAPHIC LEGEND**



**A2** FOURTH FLOOR DEMO PLAN - PHASE 1  
1/8" = 1'-0"

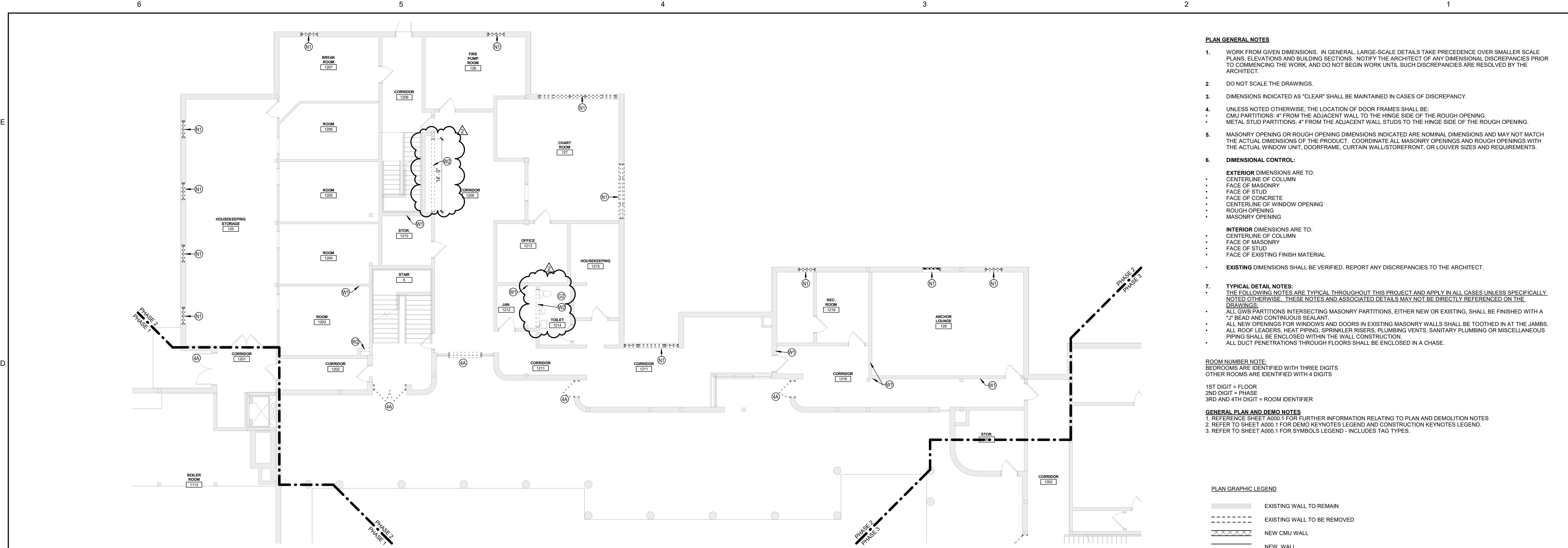


**A1** FOURTH FLOOR PLAN - PHASE 1  
1/8" = 1'-0"

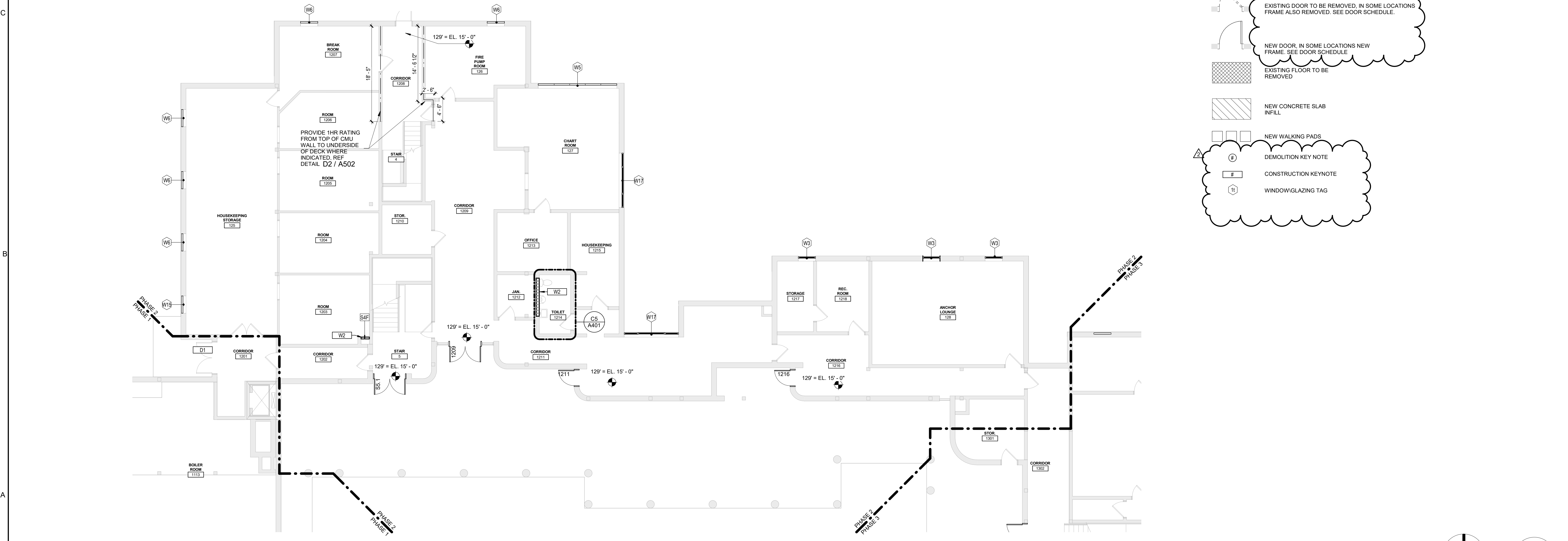








B1 FIRST FLOOR DEMO PLAN - PHASE 2  
1/8" = 1'-0"



A1 FIRST FLOOR PLAN - PHASE 2  
1/8" = 1'-0"

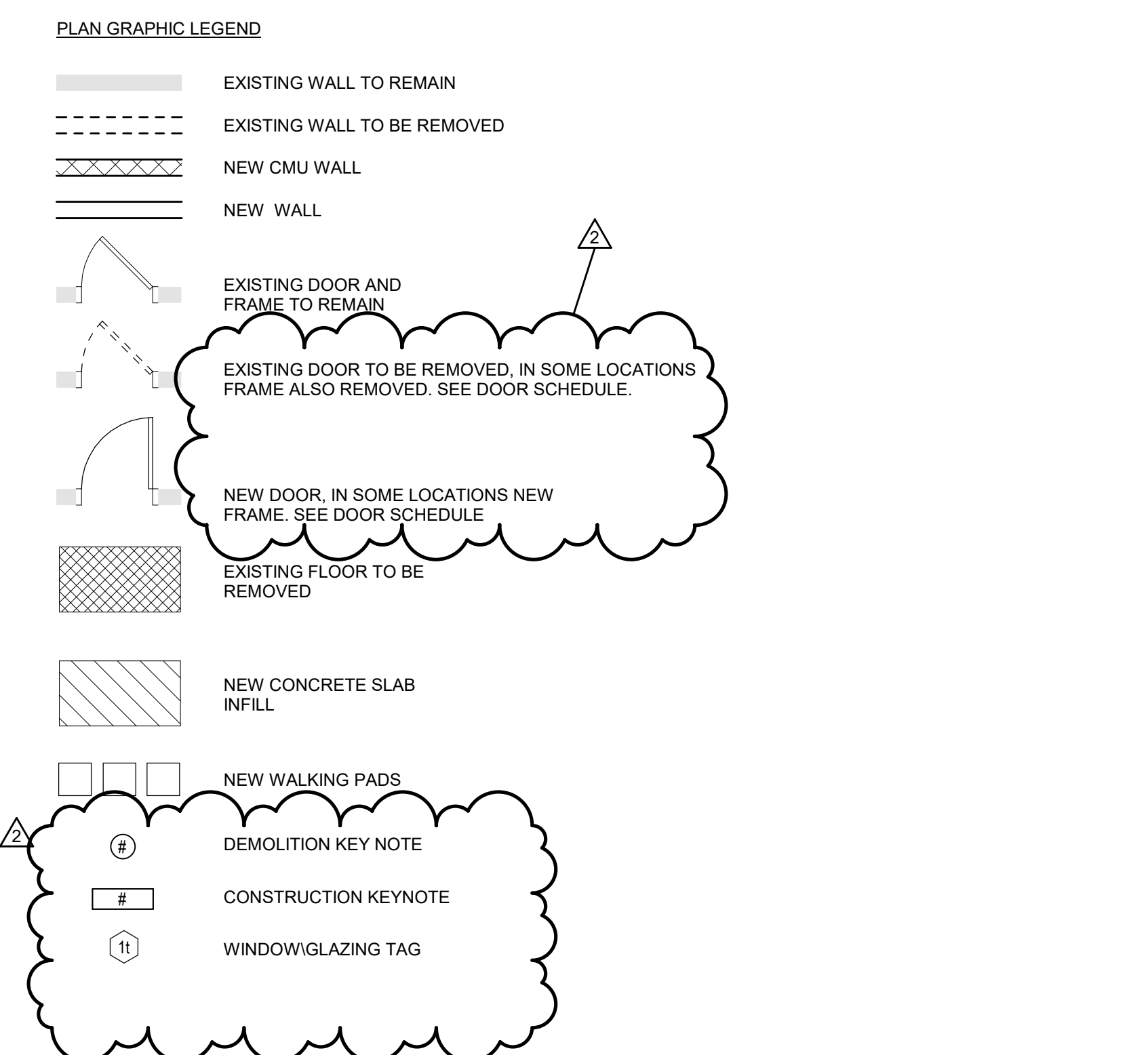
- PLAN GENERAL NOTES**
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
  - DO NOT SCALE THE DRAWINGS.
  - DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
  - UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
    - CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
    - METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
  - MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALLS/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
  - DIMENSIONAL CONTROL:**
    - EXTERIOR DIMENSIONS ARE TO:**
      - CENTERLINE OF COLUMN
      - FACE OF MASONRY
      - FACE OF STUD
      - FACE OF CONCRETE
      - CENTERLINE OF WINDOW OPENING
      - ROUGH OPENING
      - MASONRY OPENING
    - INTERIOR DIMENSIONS ARE TO:**
      - CENTERLINE OF COLUMN
      - FACE OF MASONRY
      - FACE OF STUD
      - FACE OF EXISTING FINISH MATERIAL
    - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
  - TYPICAL DETAIL NOTES:**
    - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
    - ALL GWS PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
    - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
    - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
    - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

**ROOM NUMBER NOTE:**  
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

1ST DIGIT = FLOOR  
2ND DIGIT = PHASE  
3RD AND 4TH DIGIT = ROOM IDENTIFIER

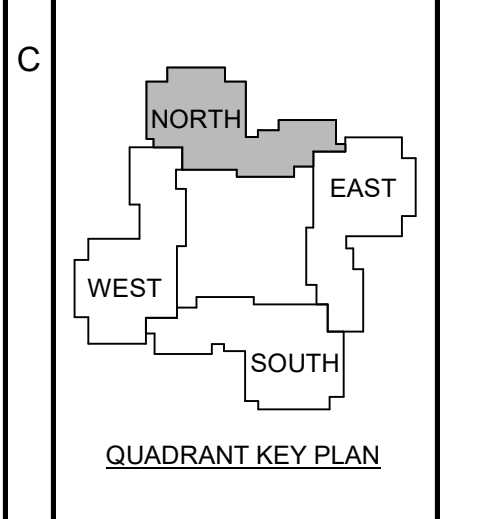
**GENERAL PLAN AND DEMO NOTES**

- REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
- REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.
- REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.



**COPYRIGHT**  
CHA Architecture  
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
2	12-12-23	Addendum #3

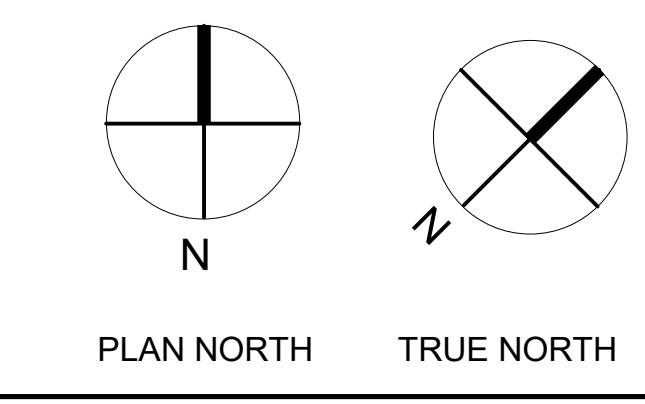
NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
FIRST FLOOR PLAN AND DEMO PLAN - PHASE 2

SHEET  
A102.1



2	12-12-23	Addendum #3
N o.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
SECOND FLOOR PLAN AND DEMO PLAN - PHASE 2

SHEET  
**A102.2**

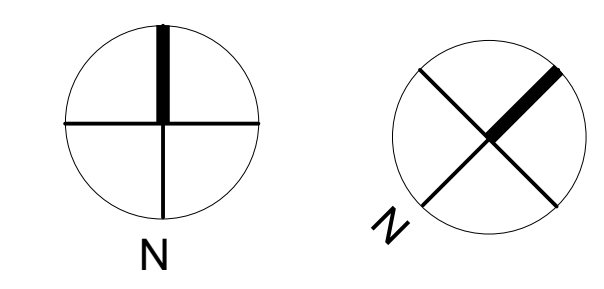
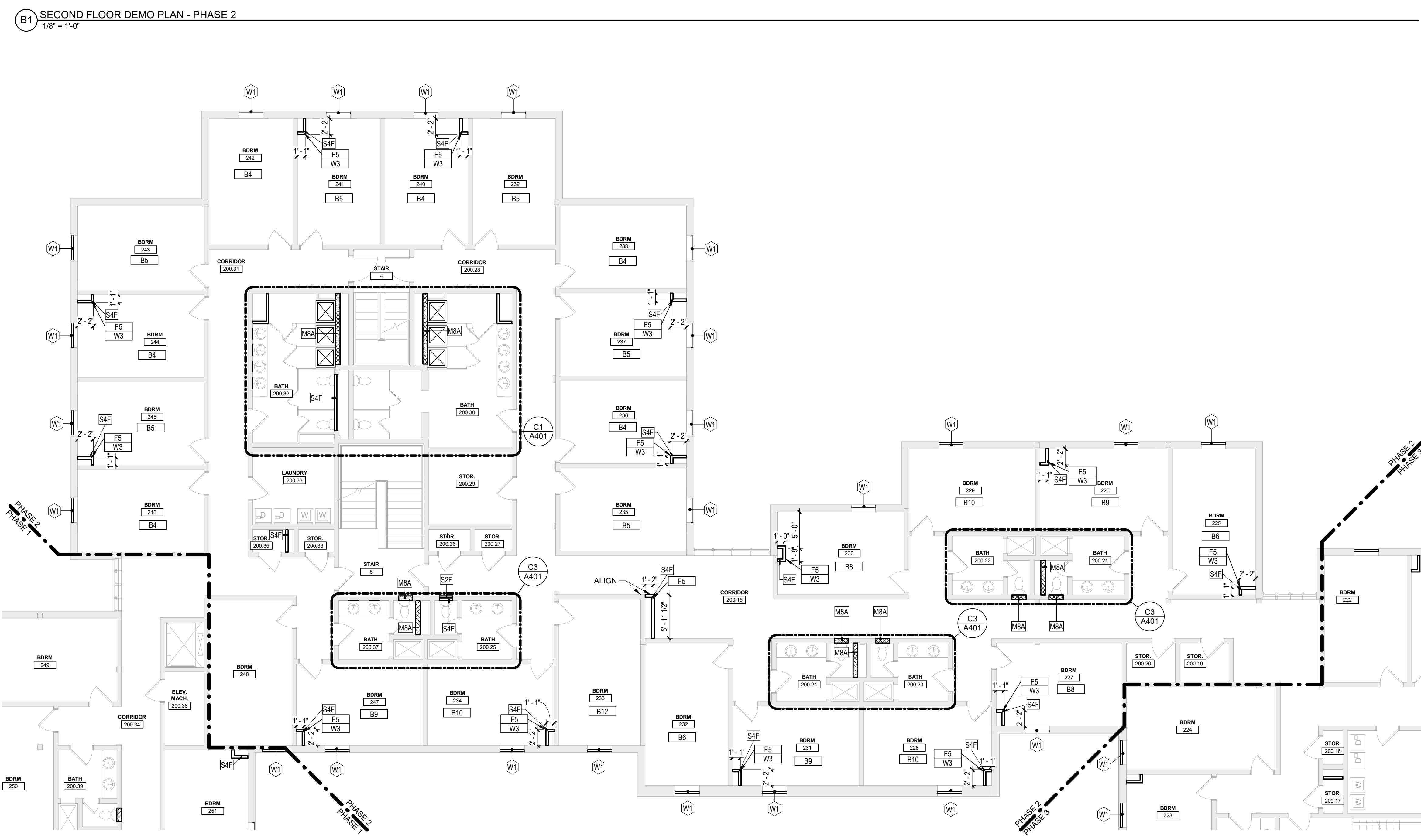
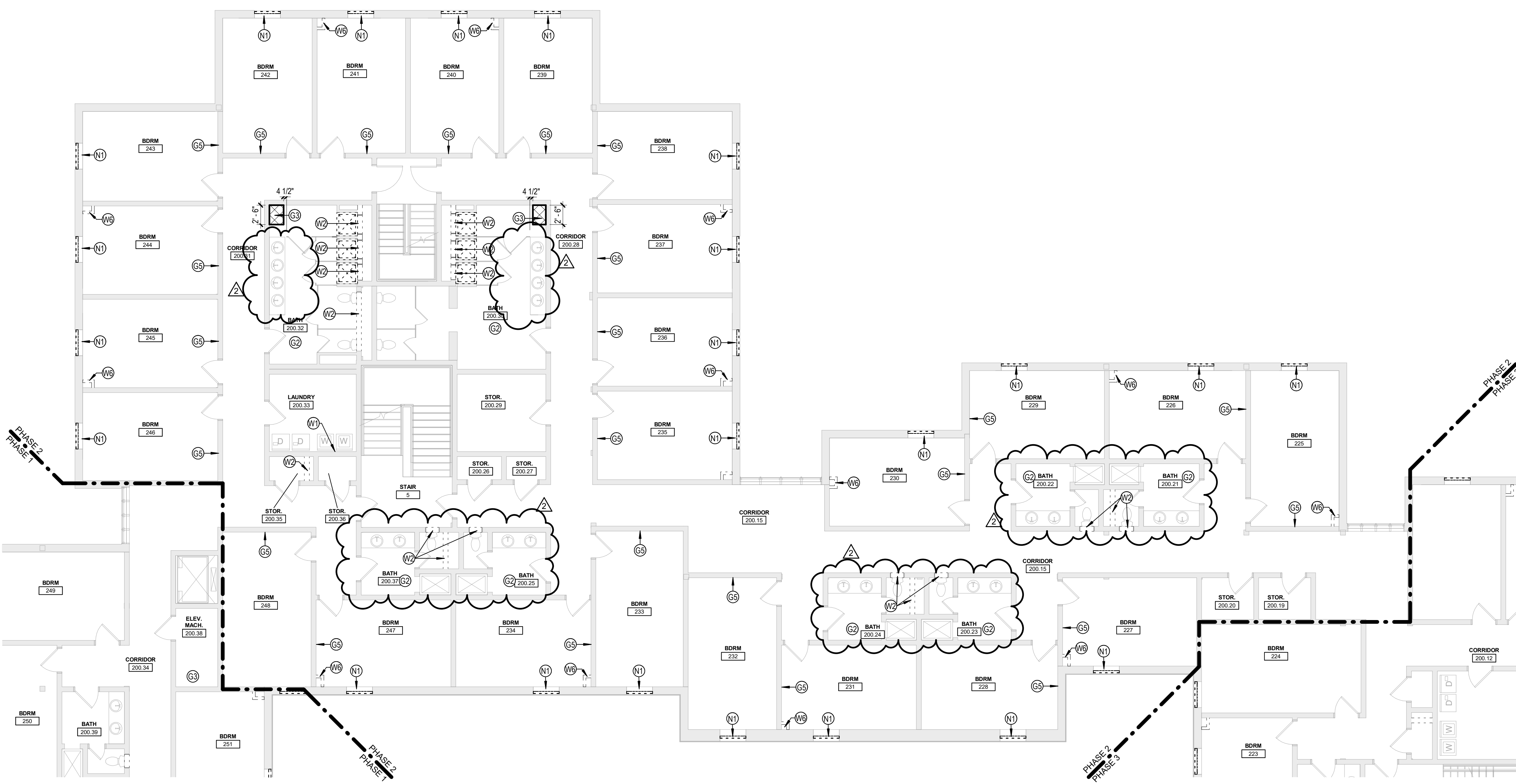
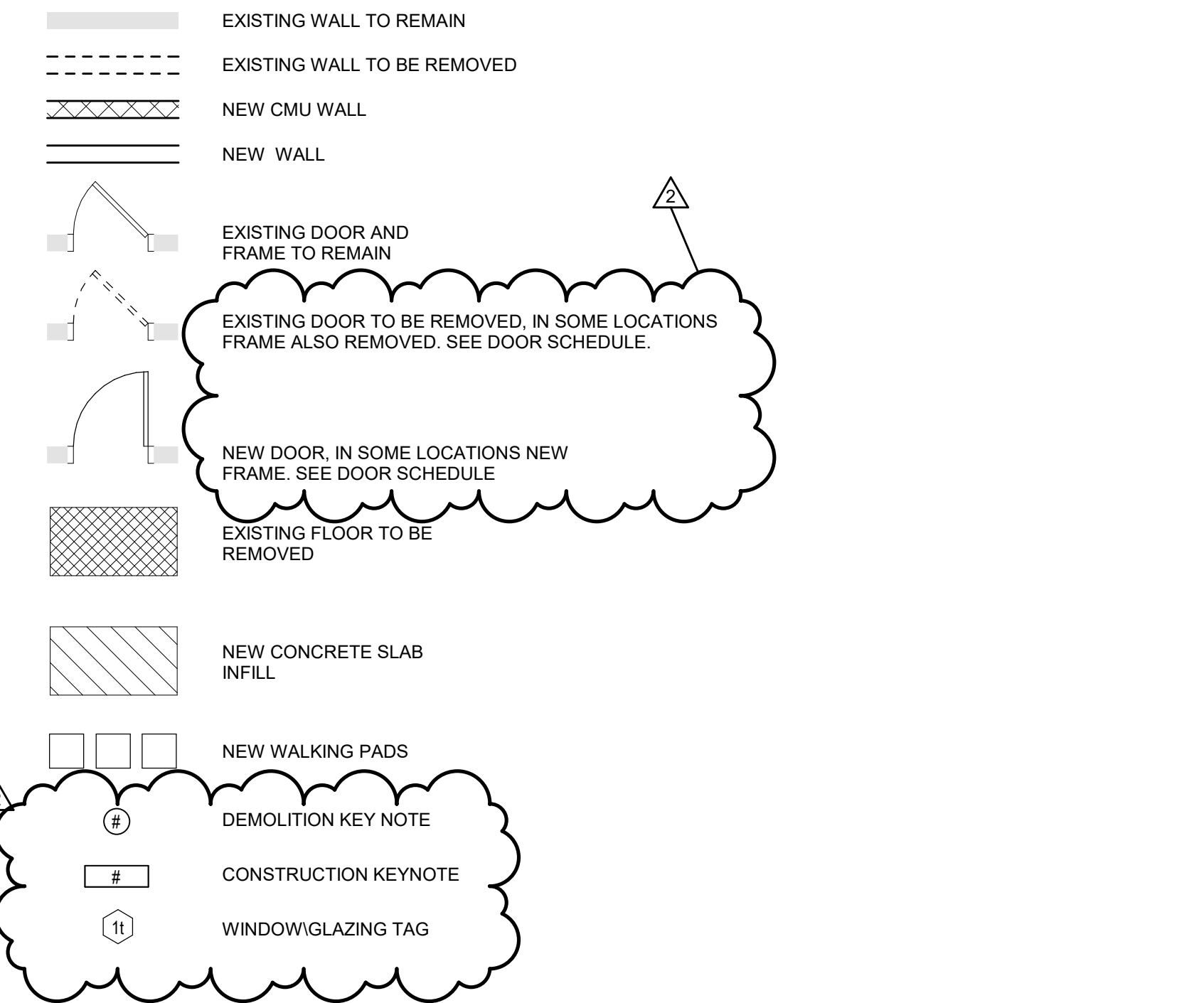
**PLAN GENERAL NOTES**

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
• CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
• METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
  - EXTERIOR DIMENSIONS ARE TO:
    - CENTERLINE OF COLUMN
    - FACE OF MASONRY
    - FACE OF STUD
    - FACE OF CONCRETE
    - CENTERLINE OF WINDOW OPENING
    - ROUGH OPENING
    - MASONRY OPENING
  - INTERIOR DIMENSIONS ARE TO:
    - CENTERLINE OF COLUMN
    - FACE OF MASONRY
    - FACE OF STUD
    - FACE OF EXISTING FINISH MATERIAL
  - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**
  - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:
    - ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
    - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
    - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
    - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

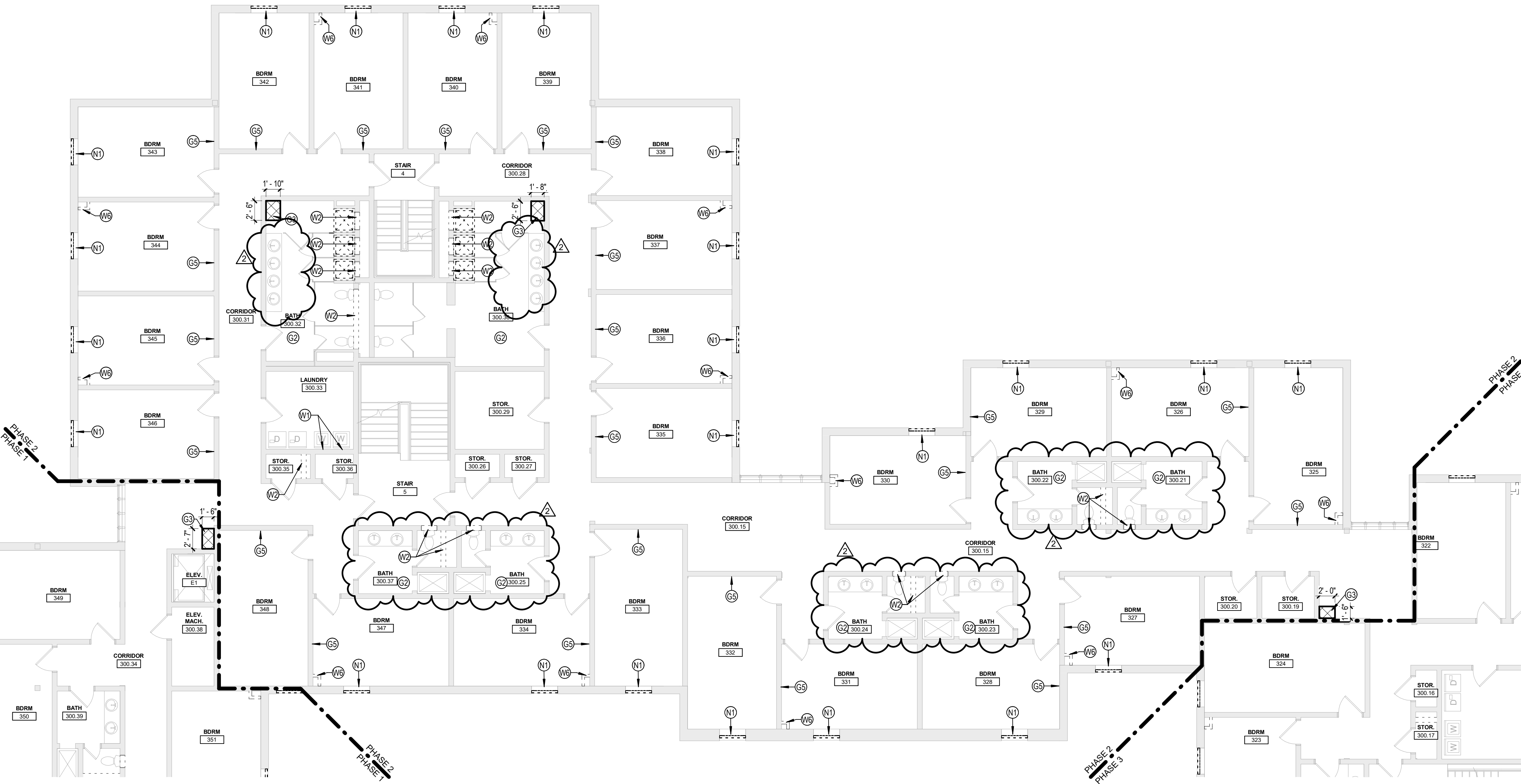
**ROOM NUMBER NOTE:**  
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
1ST DIGIT = FLOOR  
2ND DIGIT = PHASE  
3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**  
1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

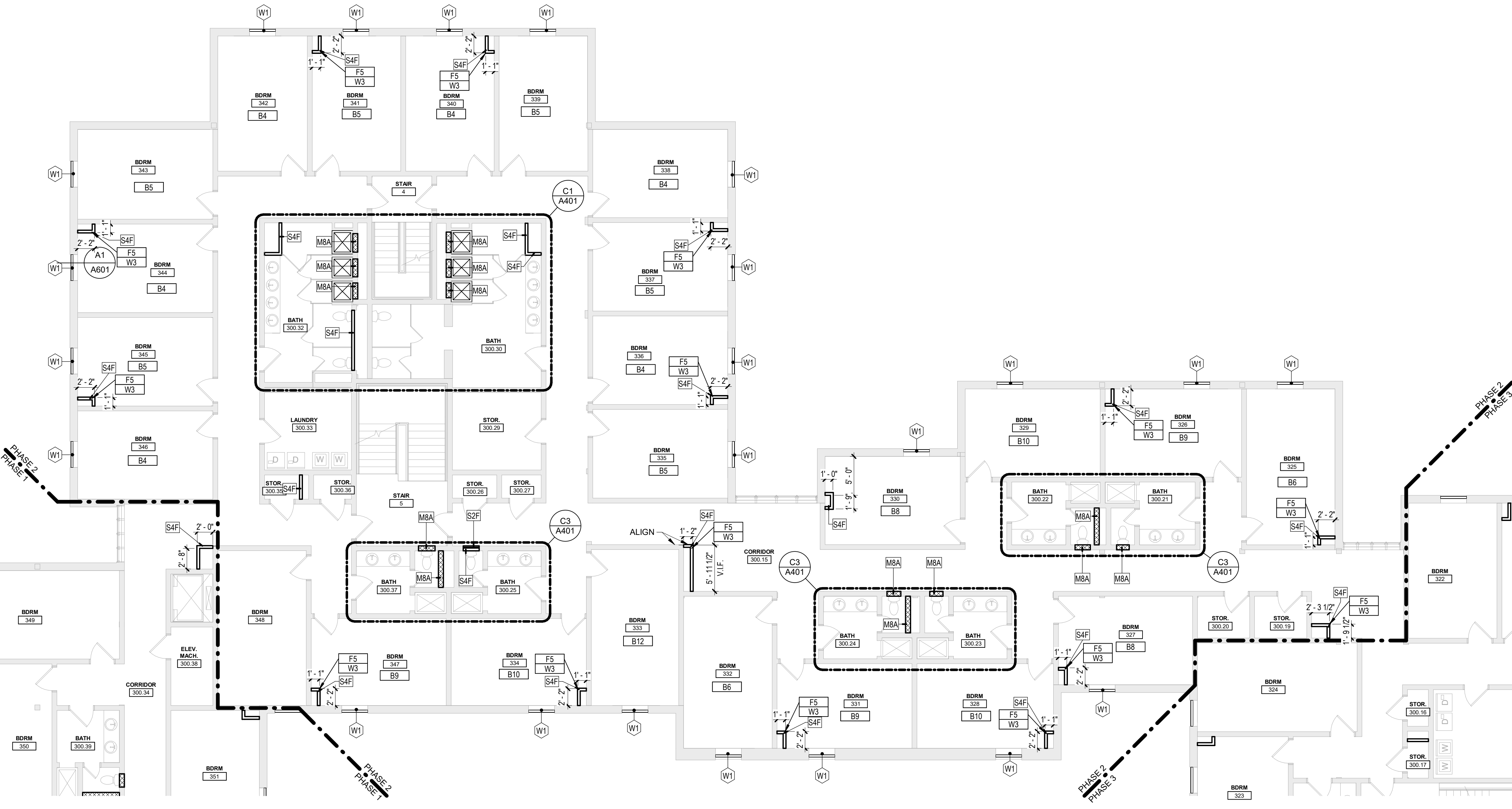
**PLAN GRAPHIC LEGEND**



**A1 SECOND FLOOR PLAN - PHASE 2**  
1/8" = 1'-0"



B1 THIRD FLOOR DEMO PLAN - PHASE 2  
1/8" = 1'-0"

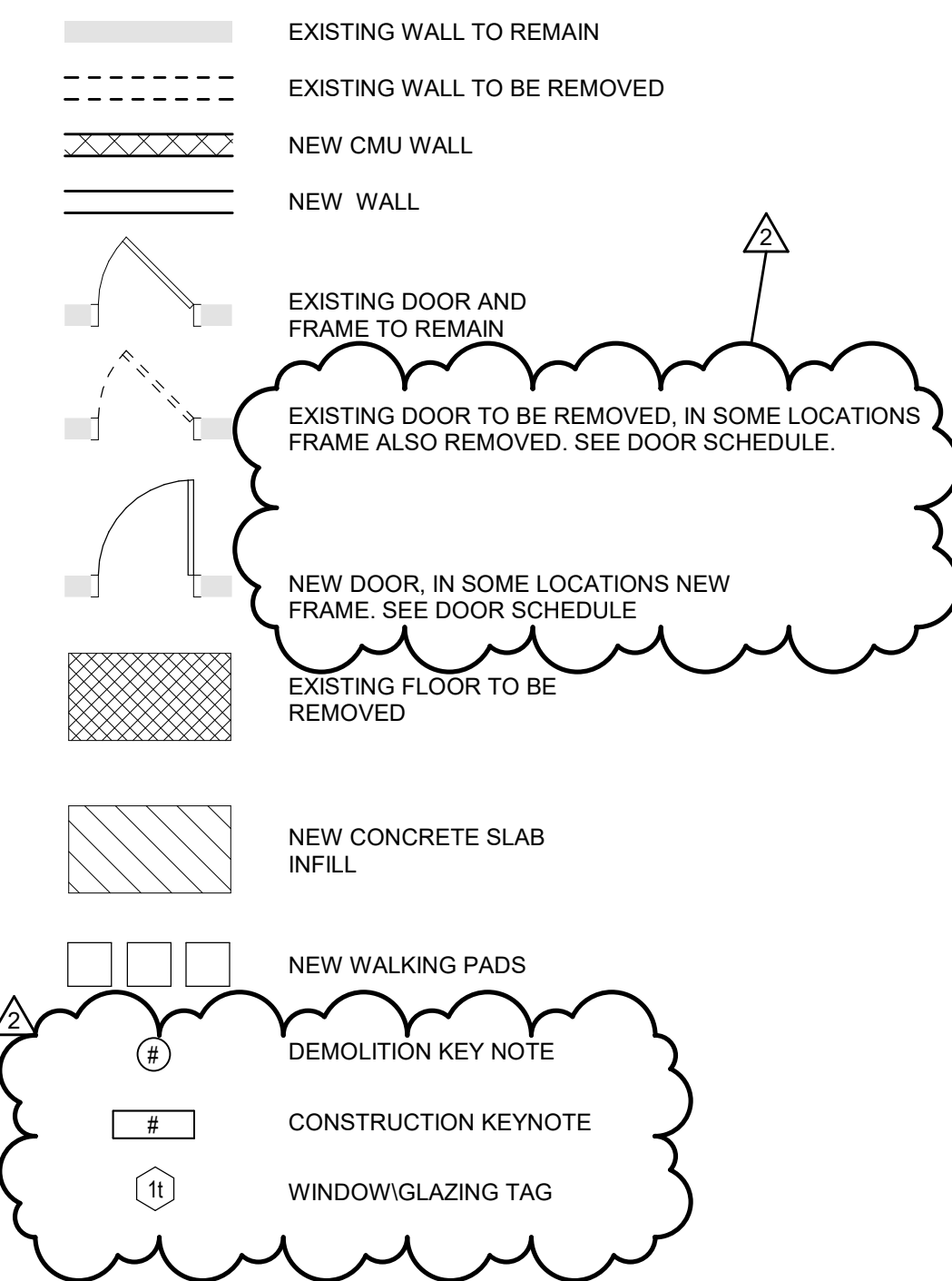


A1 THIRD FLOOR PLAN - PHASE 2  
1/8" = 1'-0"

**PLAN GENERAL NOTES**

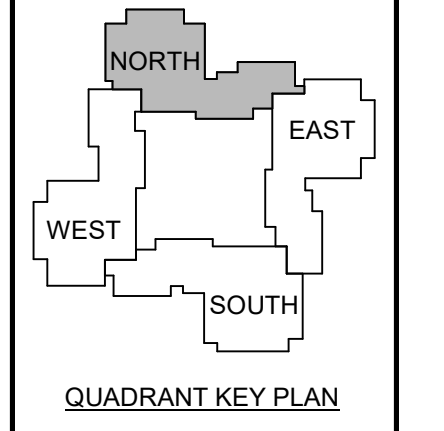
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
  - DO NOT SCALE THE DRAWINGS.
  - DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
  - UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE: CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING. METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
  - MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
  - DIMENSIONAL CONTROL:**
    - EXTERIOR DIMENSIONS ARE TO:**
      - CENTERLINE OF COLUMN
      - FACE OF MASONRY
      - FACE OF STUD
      - FACE OF CONCRETE
      - CENTERLINE OF WINDOW OPENING
      - ROUGH OPENING
      - MASONRY OPENING
    - INTERIOR DIMENSIONS ARE TO:**
      - CENTERLINE OF COLUMN
      - FACE OF MASONRY
      - FACE OF STUD
      - FACE OF EXISTING FINISH MATERIAL
    - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
  - TYPICAL DETAIL NOTES:**
    - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:
    - ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A 1/2" BEAD AND CONTINUOUS SEALANT.
    - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
    - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
    - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.
- ROOM NUMBER NOTE:**  
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
- 1ST DIGIT = FLOOR**  
**2ND DIGIT = PHASE**  
**3RD AND 4TH DIGIT = ROOM IDENTIFIER**
- GENERAL PLAN AND DEMO NOTES**
- REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
  - REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.
  - REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

**PLAN GRAPHIC LEGEND**



**COPYRIGHT**  
CHA Architecture  
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421



Revisio	Date	Descriptio
2	12-23	Addendum #3

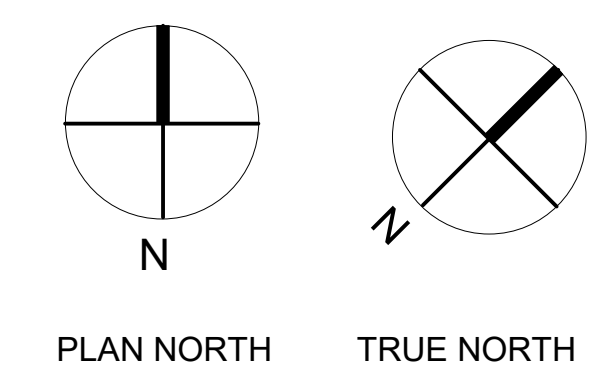
NOT FOR CONSTRUCTION

JOB NO. 076982

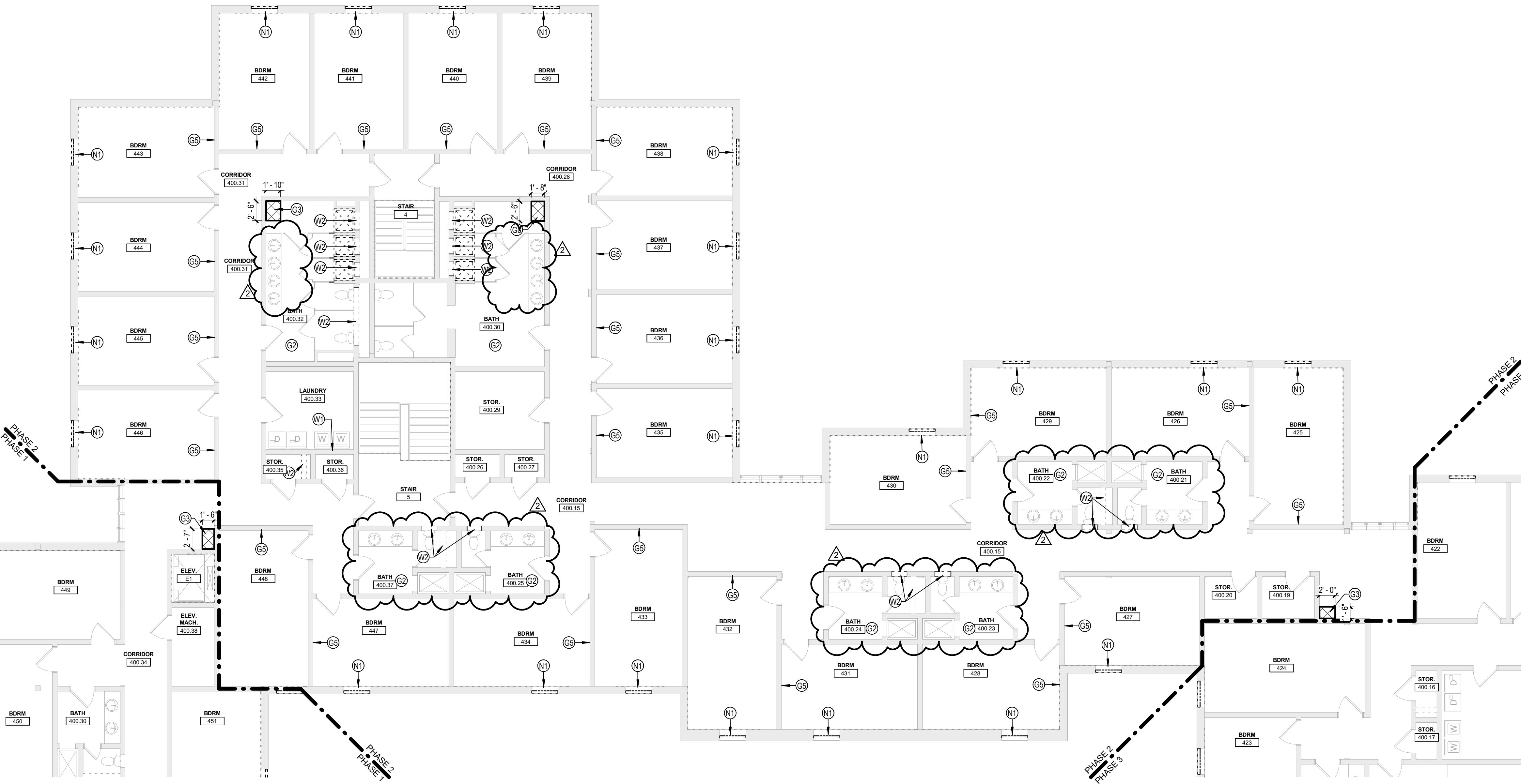
ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
THIRD FLOOR PLAN AND DEMO PLAN - PHASE 2

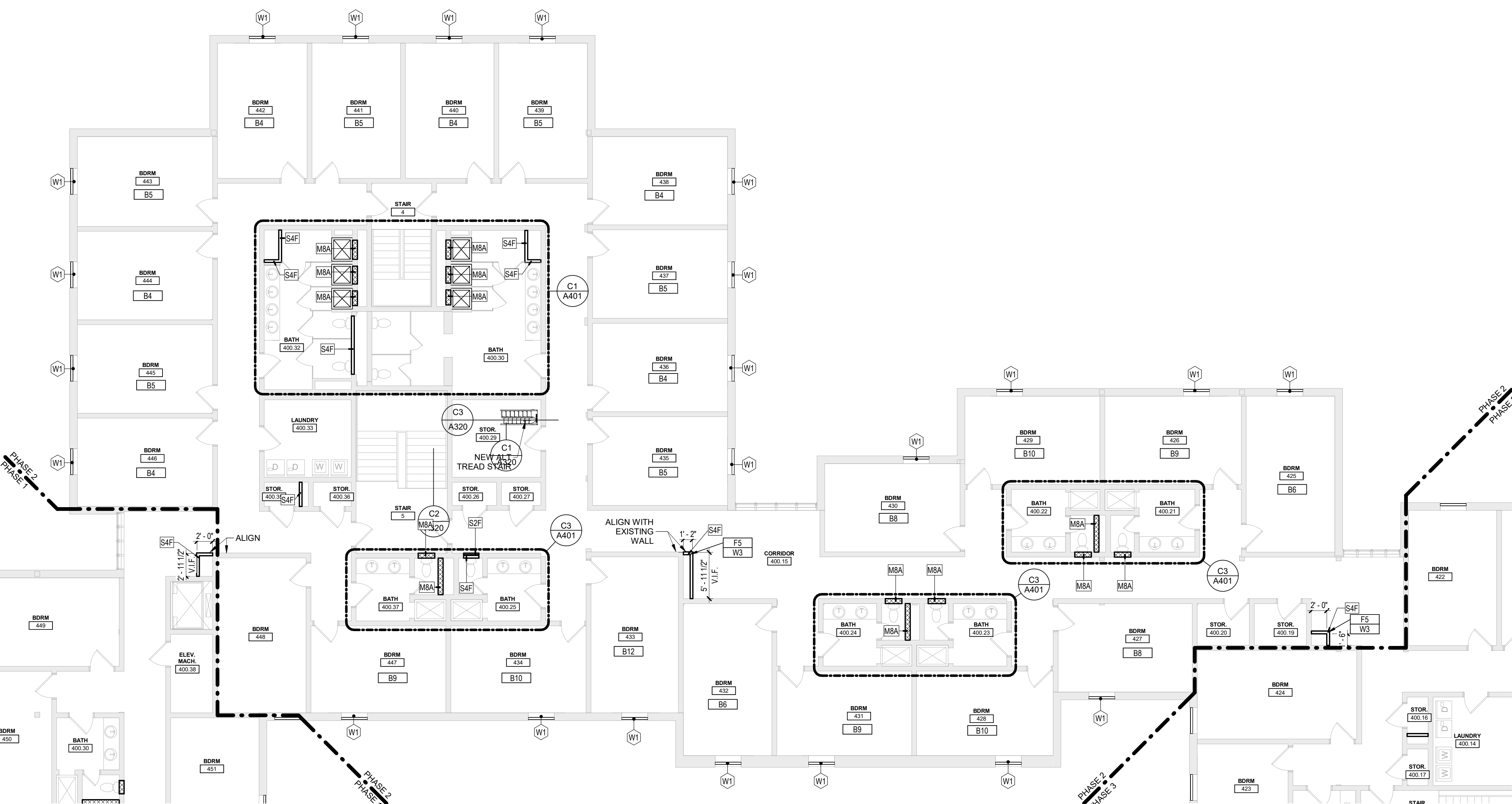
SHEET  
**A102.3**







B1 FOURTH FLOOR DEMO PLAN - PHASE 2  
1/8" = 1'-0"



A1 FOURTH FLOOR PLAN - PHASE 2  
1/8" = 1'-0"

**PLAN GENERAL NOTES**

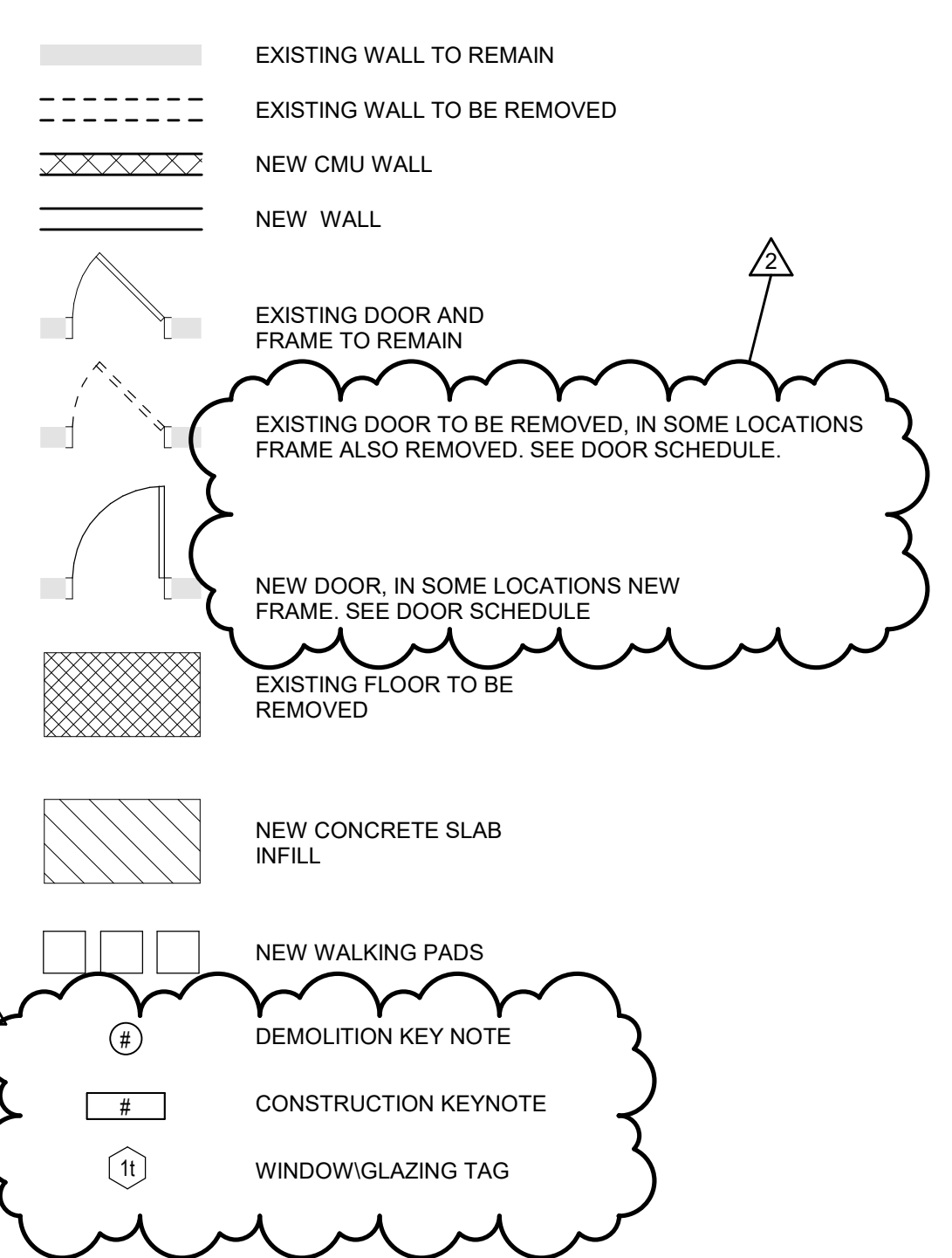
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**  
 EXTERIOR DIMENSIONS ARE TO:  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF CONCRETE  
 • CENTERLINE OF WINDOW OPENING  
 • ROUGH OPENINGS  
 • MASONRY OPENING  
 INTERIOR DIMENSIONS ARE TO:  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF EXISTING FINISH MATERIAL  
 EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**  
 THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.  
 • ALL CMU PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.  
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.  
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:  
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

1ST DIGIT = FLOOR  
 2ND DIGIT = PHASE  
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

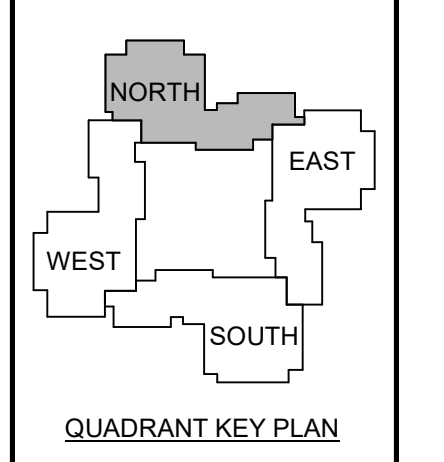
**GENERAL PLAN AND DEMO NOTES**  
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
 3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

**PLAN GRAPHIC LEGEND**



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
No.	Date	Description
Revision Schedule		

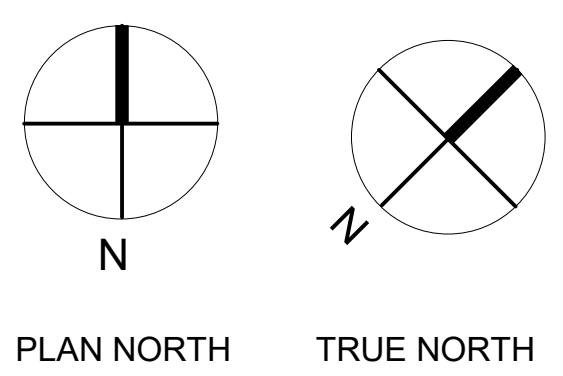
NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

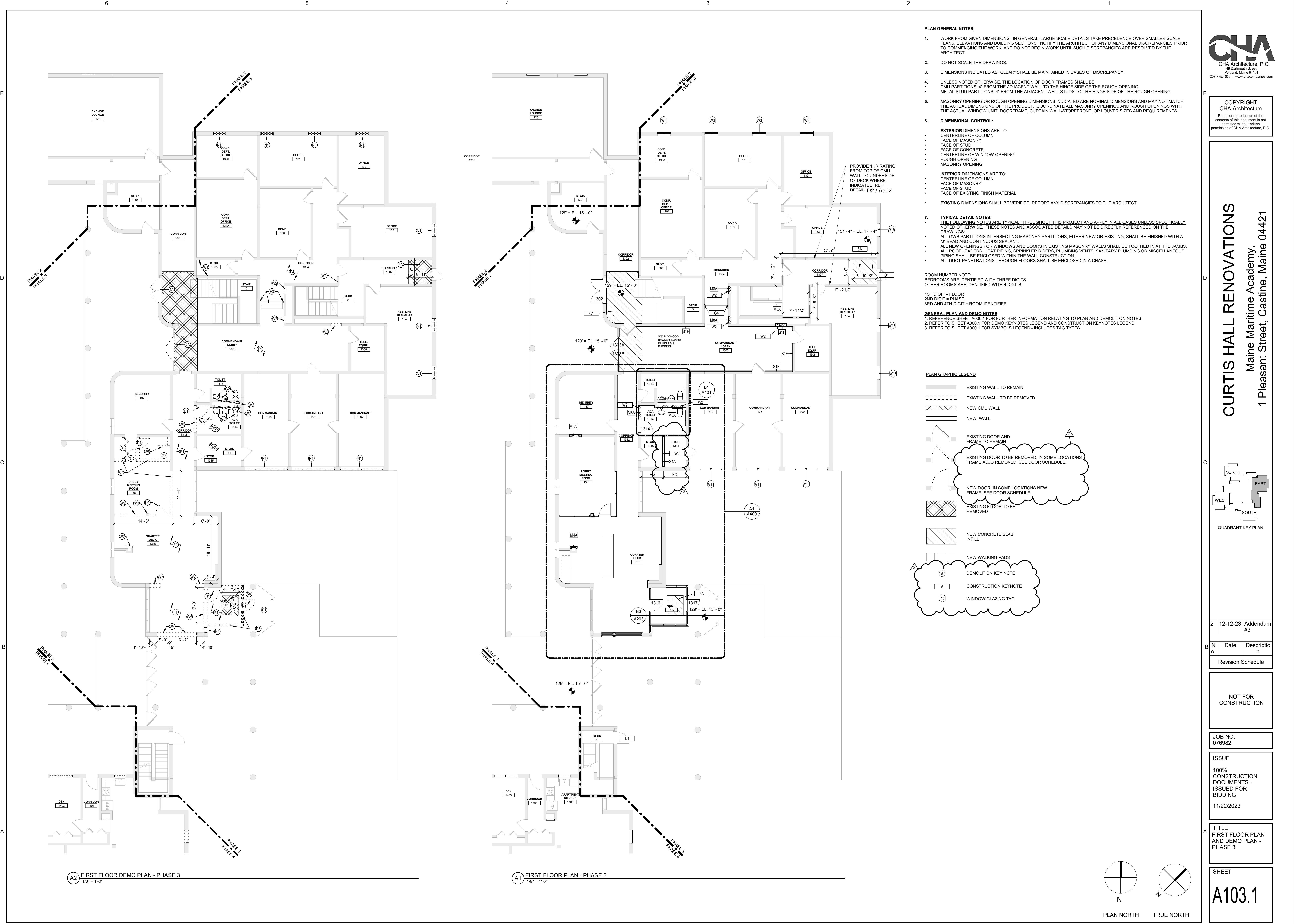
TITLE  
 FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 2

SHEET  
**A102.4**

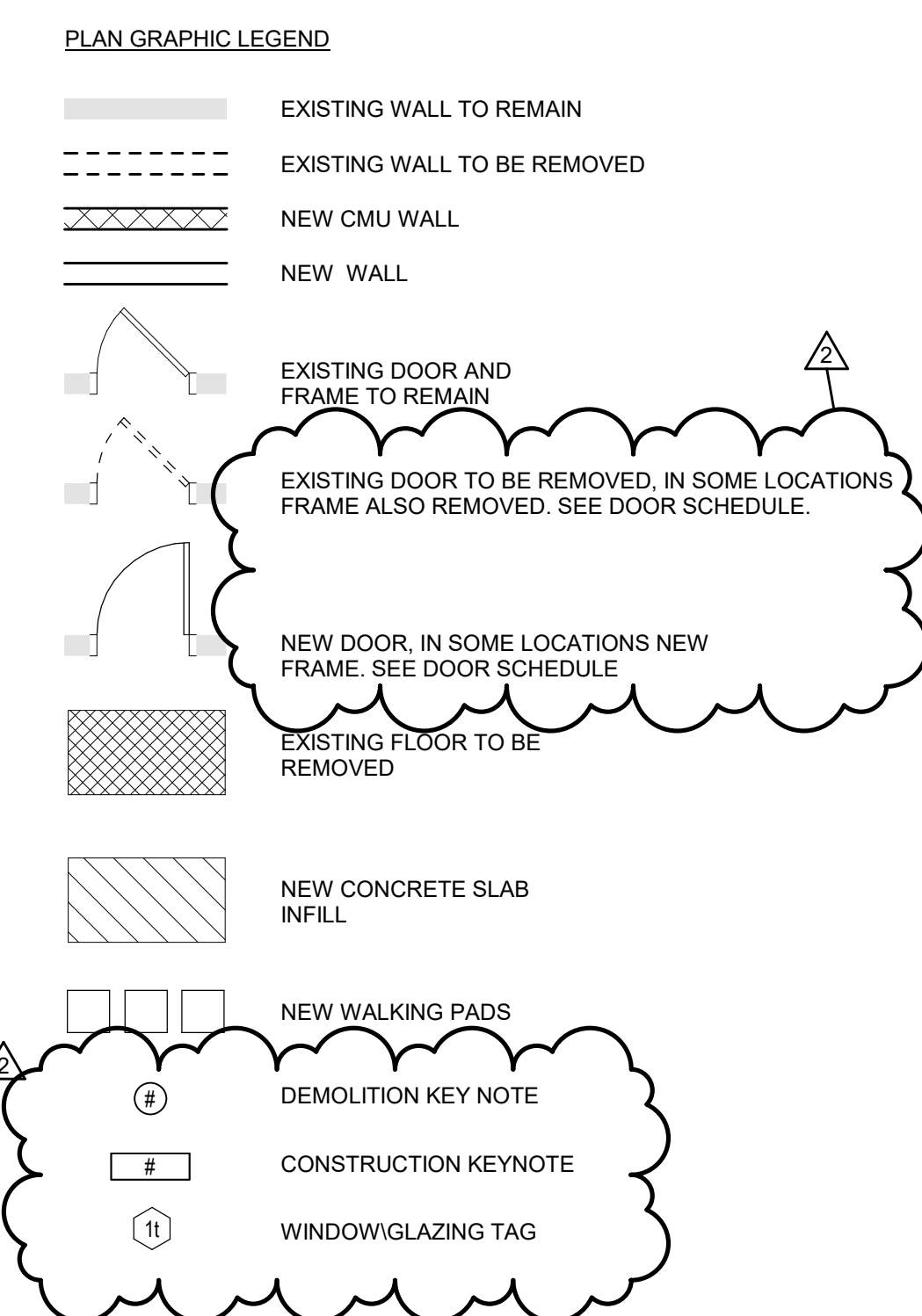






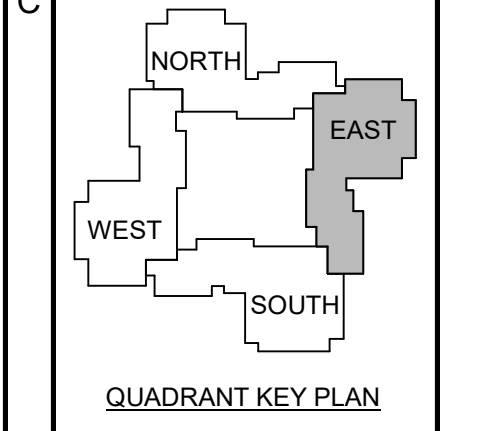


- PLAN GENERAL NOTES**
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
  - DO NOT SCALE THE DRAWINGS.
  - DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
  - UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
    - CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
    - METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
  - MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
  - DIMENSIONAL CONTROL:**
    - EXTERIOR DIMENSIONS ARE TO:**
      - CENTERLINE OF COLUMN
      - FACE OF MASONRY
      - FACE OF STUD
      - FACE OF CONCRETE
      - CENTERLINE OF WINDOW OPENING
      - ROUGH OPENING
      - MASONRY OPENING
    - INTERIOR DIMENSIONS ARE TO:**
      - CENTERLINE OF COLUMN
      - FACE OF MASONRY
      - FACE OF STUD
      - FACE OF EXISTING FINISH MATERIAL
    - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
  - TYPICAL DETAIL NOTES:**
    - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
    - ALL GNB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
    - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS, ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
    - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.
- ROOM NUMBER NOTATION:**  
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
- 1ST DIGIT = FLOOR  
 2ND DIGIT = PHASE  
 3RD AND 4TH DIGIT = ROOM IDENTIFIER
- GENERAL PLAN AND DEMO NOTES**
- REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
  - REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND
  - REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
2	12-12-23	Addendum #3

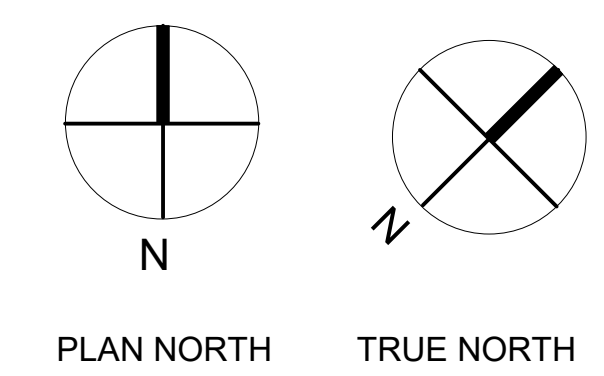
NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 FIRST FLOOR PLAN AND DEMO PLAN - PHASE 3

SHEET  
**A103.1**



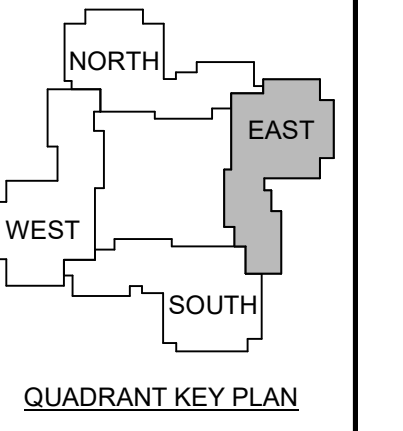
**A2** FIRST FLOOR DEMO PLAN - PHASE 3  
 1/8" = 1'-0"

**A1** FIRST FLOOR PLAN - PHASE 3  
 1/8" = 1'-0"



**COPYRIGHT**  
CHA Architecture  
Reuse or reproduction of the  
contents of this document is not  
permitted without written  
permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
100%  
CONSTRUCTION  
DOCUMENTS -  
ISSUED FOR  
BIDDING  
11/22/2023

TITLE  
SECOND FLOOR  
PLAN AND DEMO  
PLAN - PHASE 3

SHEET  
**A103.2**

**PLAN GENERAL NOTES**

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
• CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
• METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
  - EXTERIOR DIMENSIONS ARE TO:**
    - CENTERLINE OF COLUMN
    - FACE OF MASONRY
    - FACE OF STUD
    - FACE OF CONCRETE
    - CENTERLINE OF WINDOW OPENING
    - ROUGH OPENING
    - MASONRY OPENING
  - INTERIOR DIMENSIONS ARE TO:**
    - CENTERLINE OF COLUMN
    - FACE OF MASONRY
    - FACE OF STUD
    - FACE OF EXISTING FINISH MATERIAL
  - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**
  - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:
  - ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
  - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
  - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
  - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

**ROOM NUMBER NOTE:**

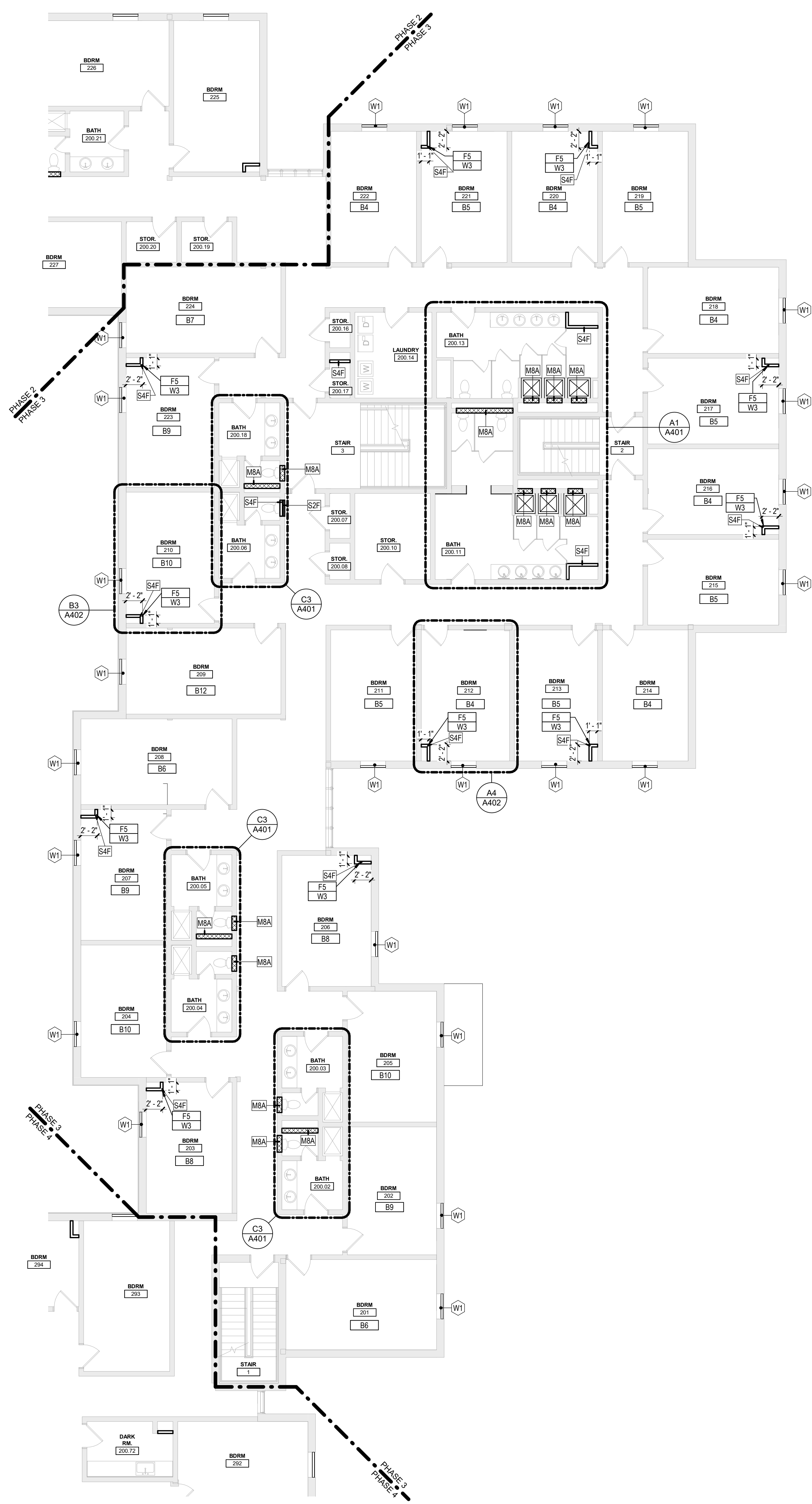
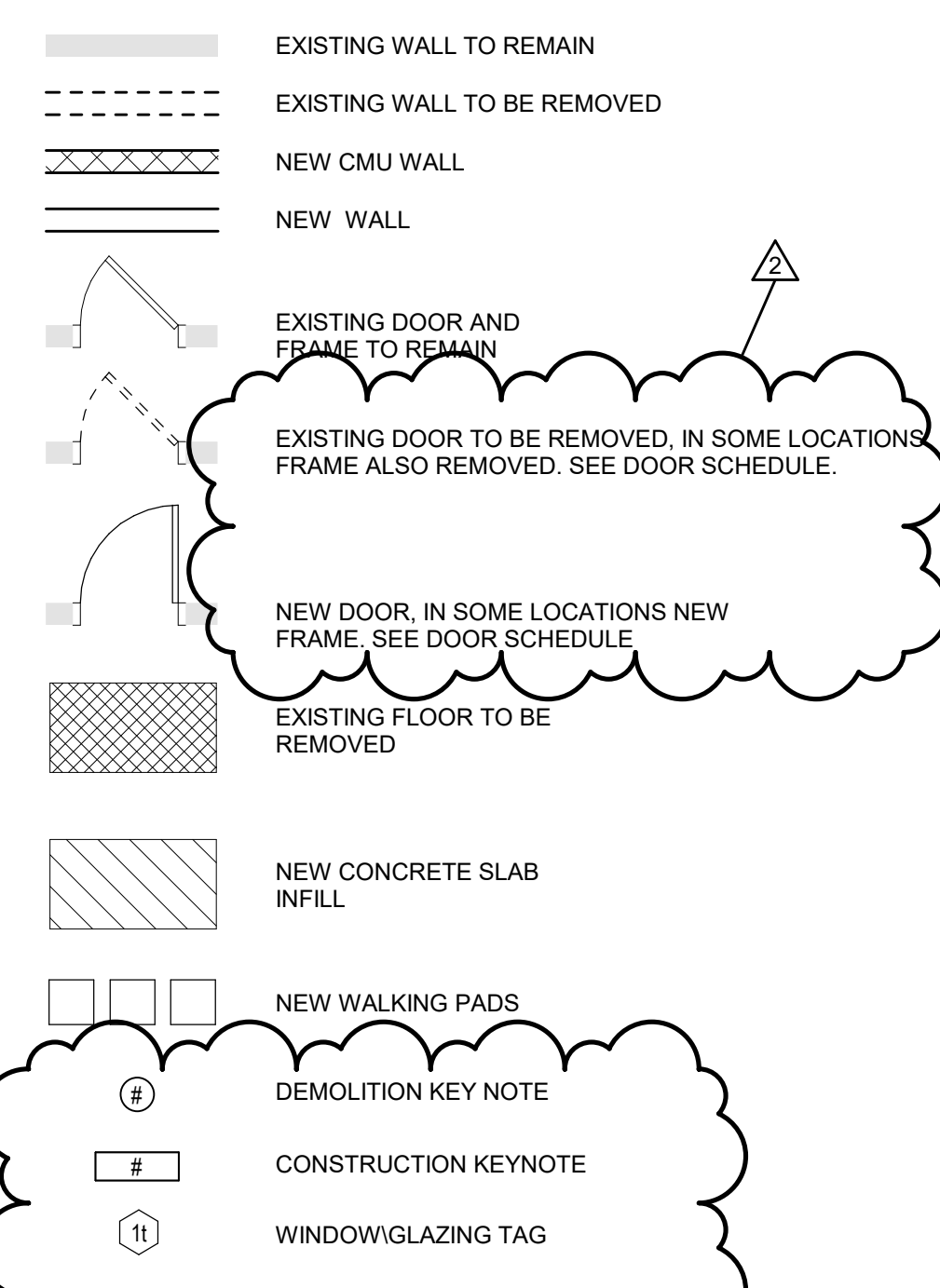
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

1ST DIGIT = FLOOR  
2ND DIGIT = PHASE  
3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**

- REFER TO SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
- REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.
- REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

**PLAN GRAPHIC LEGEND**

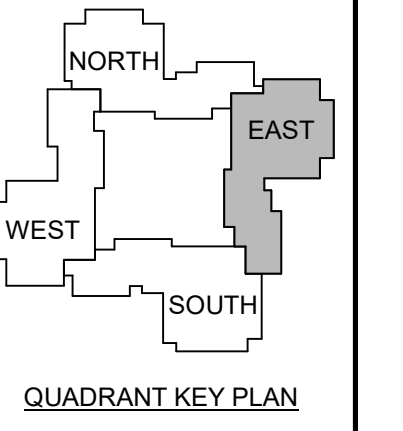






**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the  
 contents of this document is not  
 permitted without written  
 permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 THIRD FLOOR PLAN AND DEMO PLAN - PHASE 3

SHEET  
**A103.3**

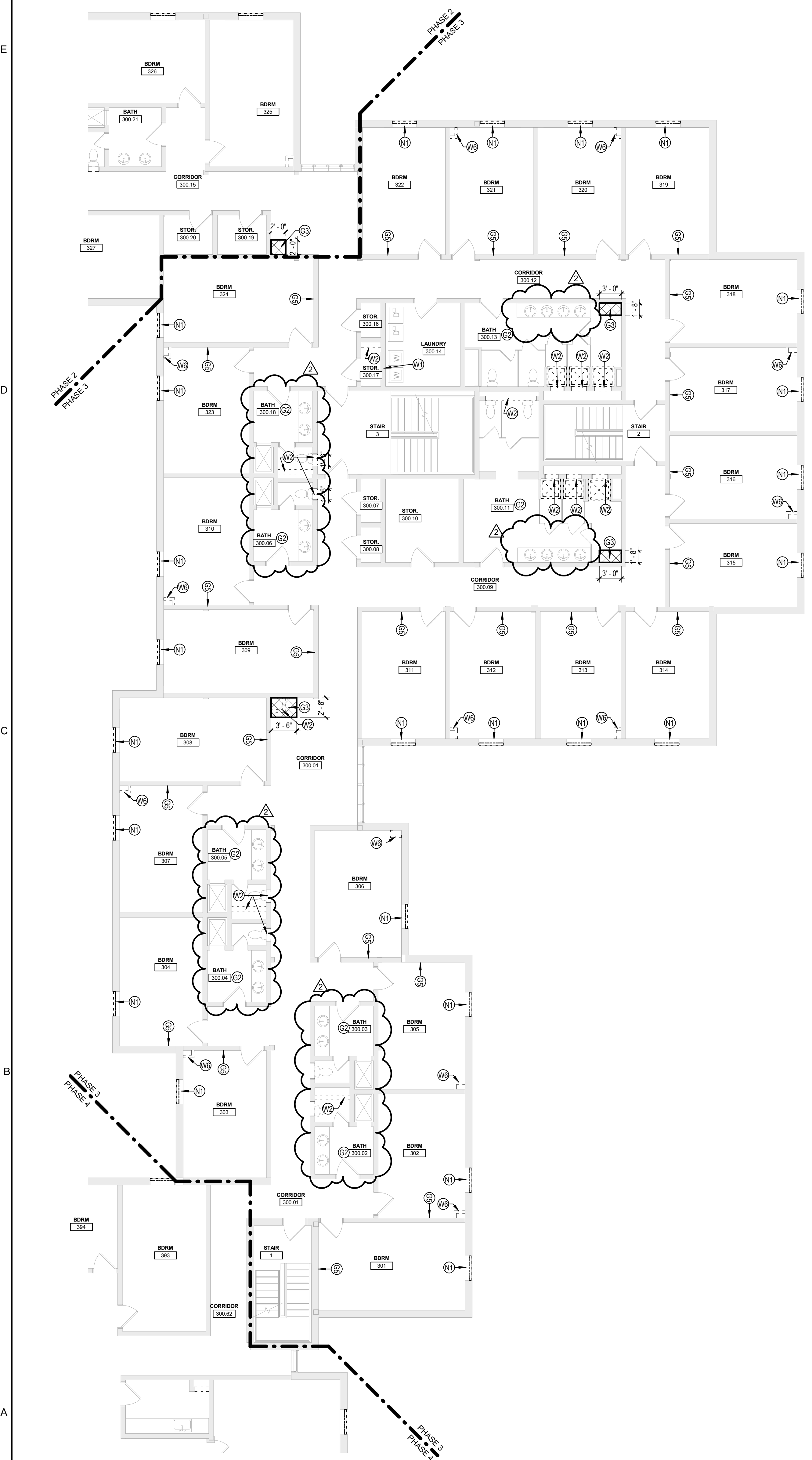
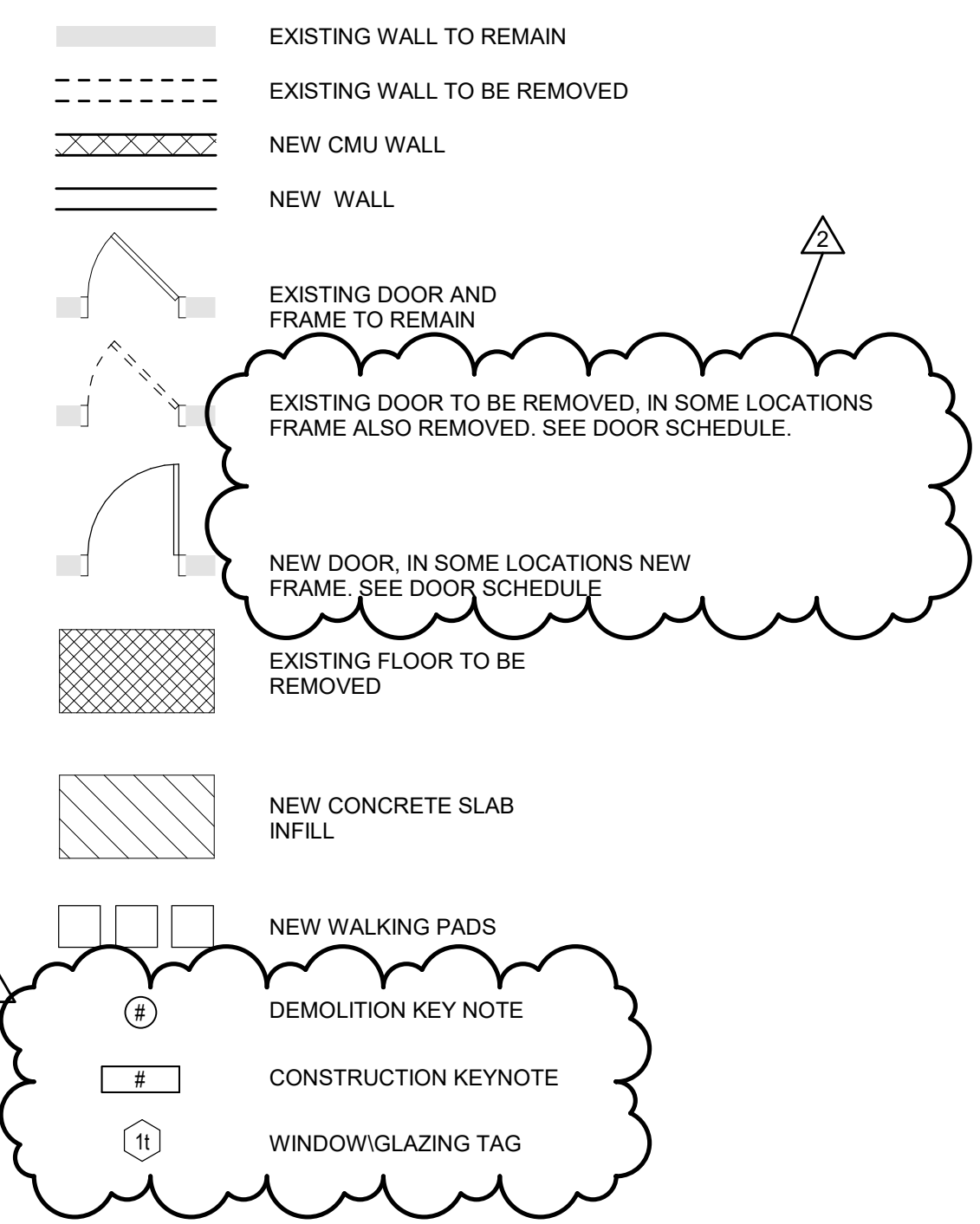
**PLAN GENERAL NOTES**

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
  - CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
  - METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
  - EXTERIOR DIMENSIONS ARE TO:**
    - CENTERLINE OF COLUMN
    - FACE OF MASONRY
    - FACE OF STUD
    - FACE OF CONCRETE
    - CENTERLINE OF WINDOW OPENING
    - ROUGH OPENING
    - MASONRY OPENING
  - INTERIOR DIMENSIONS ARE TO:**
    - CENTERLINE OF COLUMN
    - FACE OF MASONRY
    - FACE OF STUD
    - FACE OF EXISTING FINISH MATERIAL
  - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**
  - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
  - ALL CMU PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
  - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
  - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
  - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

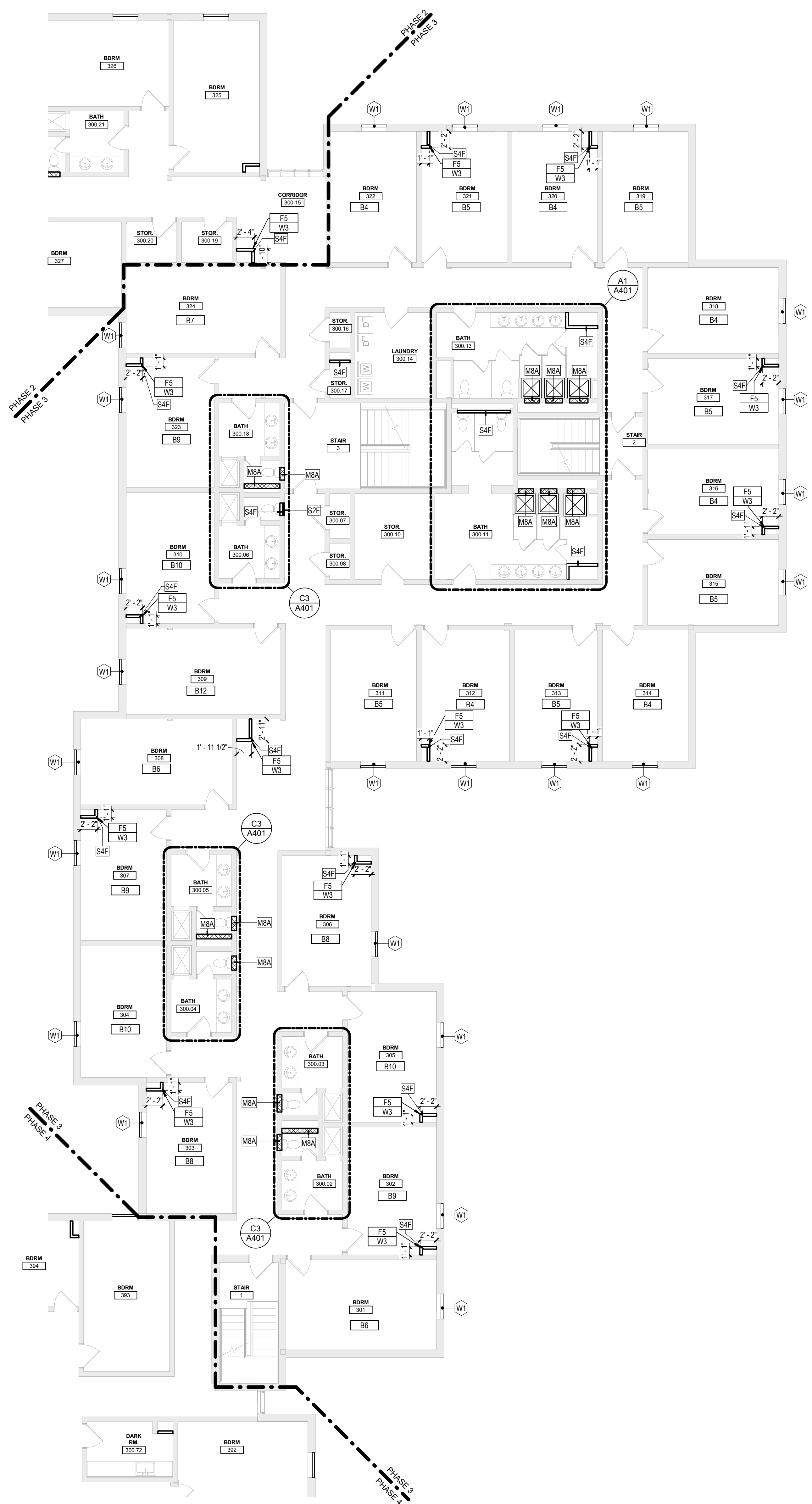
**ROOM NUMBER NOTE:**  
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
 1ST DIGIT = FLOOR  
 2ND DIGIT = PHASE  
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**  
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
 3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

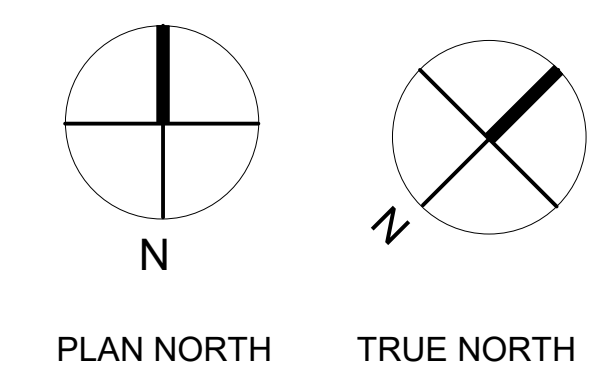
**PLAN GRAPHIC LEGEND**



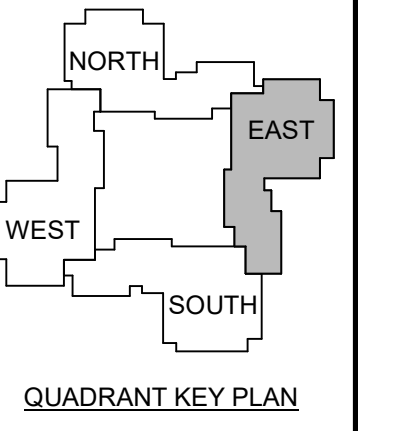
**A2 THIRD FLOOR DEMO PLAN - PHASE 3**  
 1/8" = 1'-0"



**A1 THIRD FLOOR PLAN - PHASE 3**  
 1/8" = 1'-0"







2	12-12-23	Addendum #3
N	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 3

SHEET  
**A103.4**

**PLAN GENERAL NOTES**

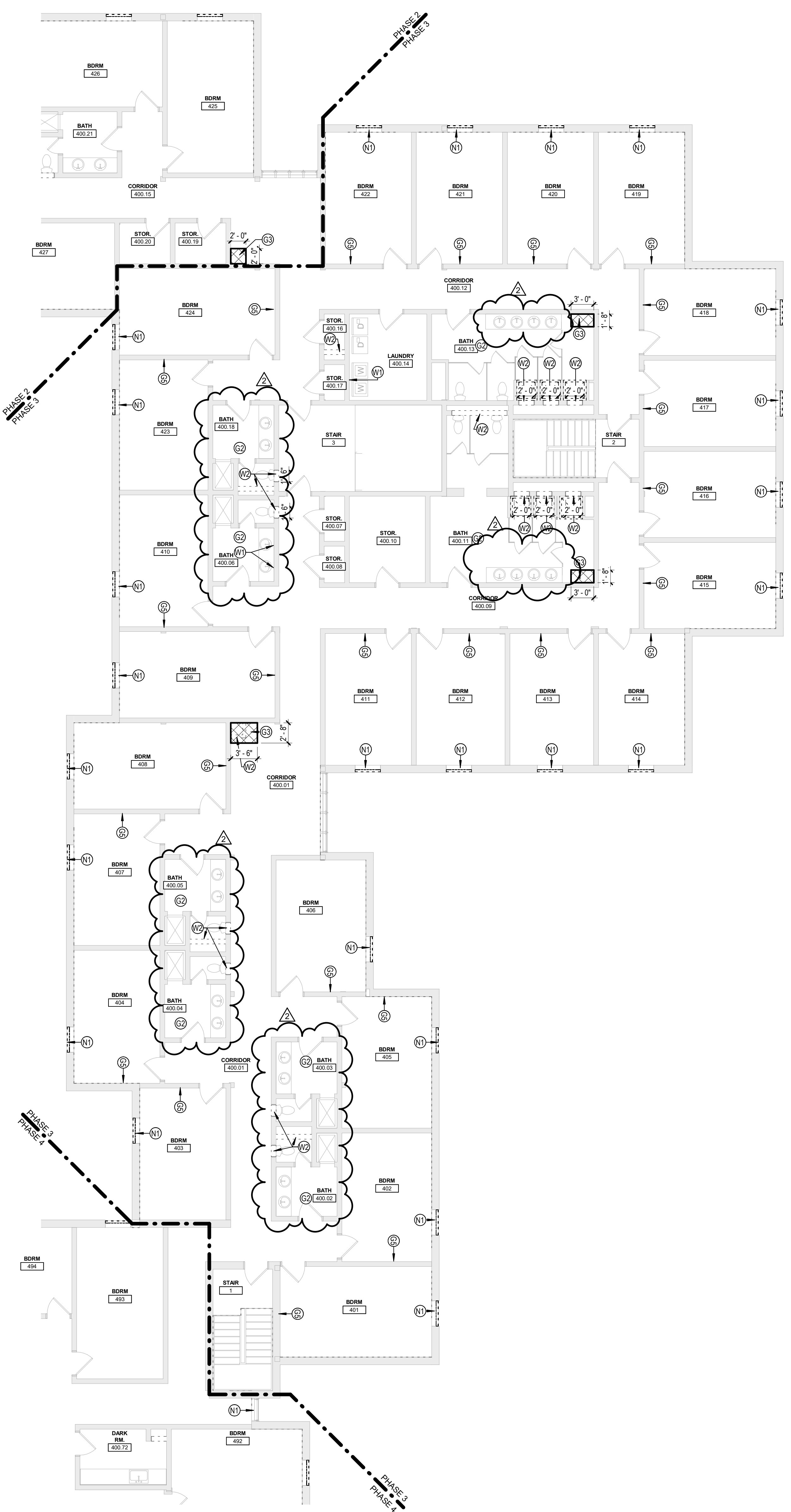
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**  
**EXTERIOR DIMENSIONS ARE TO:**  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF CONCRETE  
 • CENTERLINE OF WINDOW OPENING  
 • ROUGH OPENING  
 • MASONRY OPENING  
**INTERIOR DIMENSIONS ARE TO:**  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF EXISTING FINISH MATERIAL  
**EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**  
 THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:  
 • ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.  
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.  
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

**ROOM NUMBER NOTE:**  
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
 1ST DIGIT = FLOOR  
 2ND DIGIT = PHASE  
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

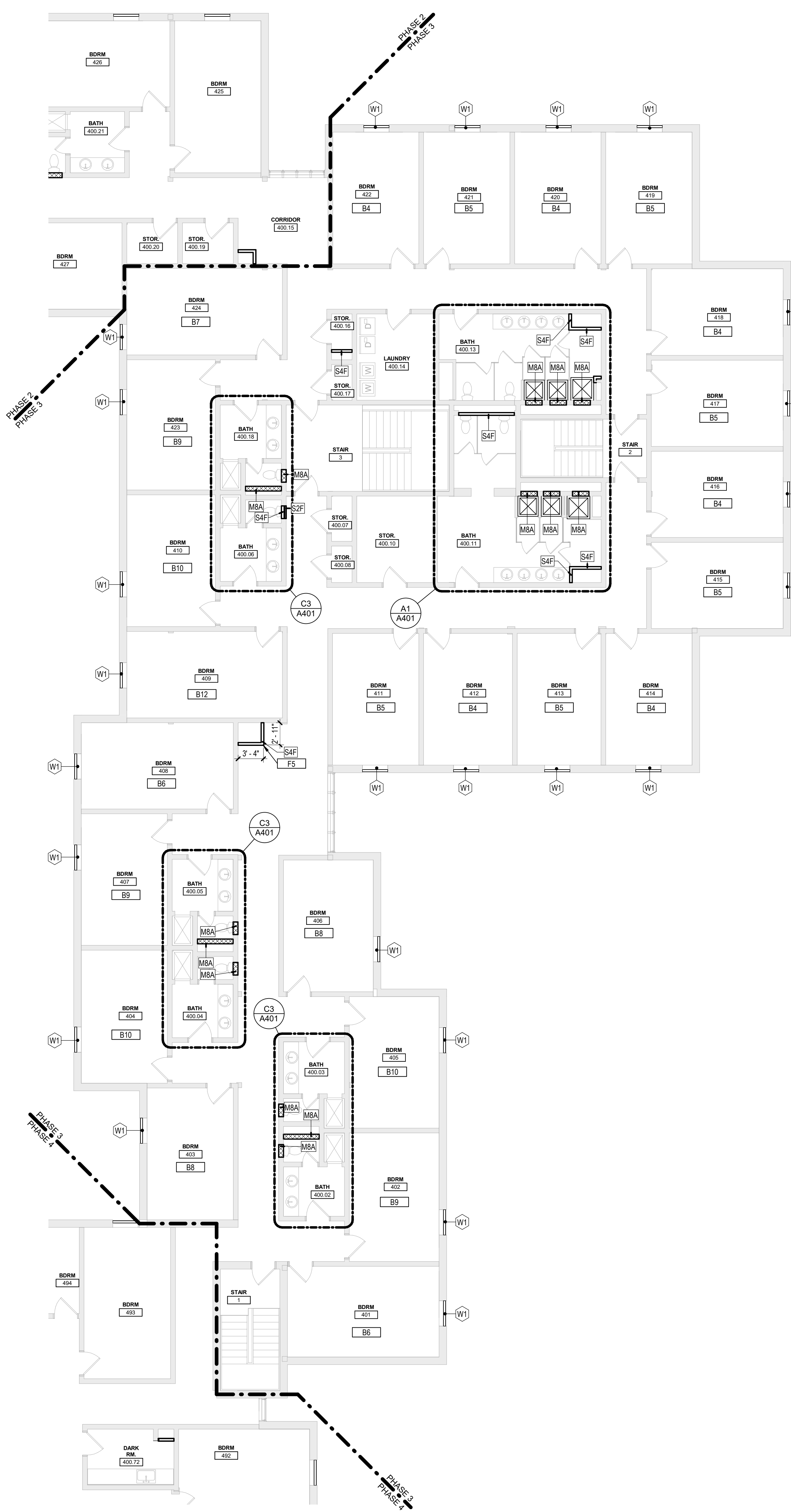
**GENERAL PLAN AND DEMO NOTES**  
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
 3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

**PLAN GRAPHIC LEGEND**

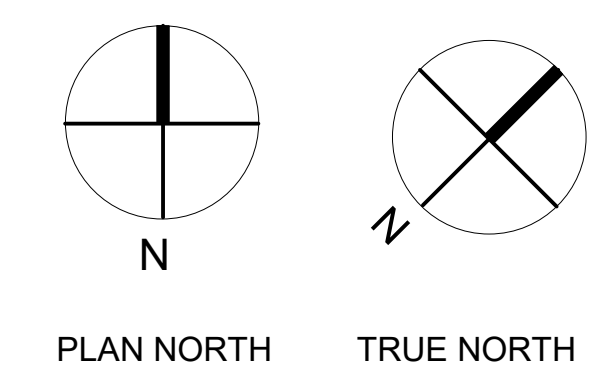
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR TO BE REMOVED. IN SOME LOCATIONS FRAME ALSO REMOVED. SEE DOOR SCHEDULE.
- NEW DOOR, IN SOME LOCATIONS NEW FRAME SEE DOOR SCHEDULE
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS
- DEMOLITION KEY NOTE
- CONSTRUCTION KEYNOTE
- WINDOW/GLAZING TAG

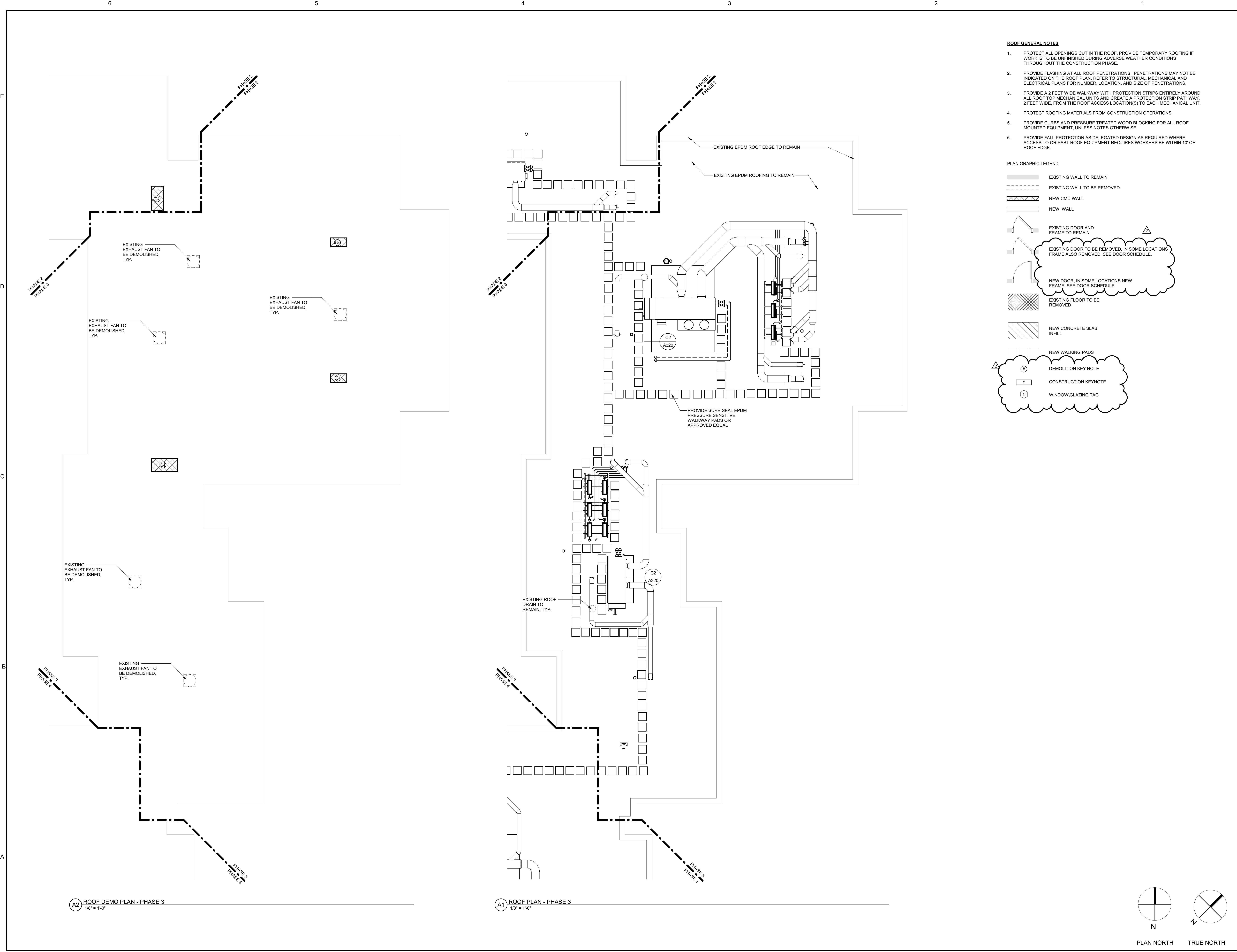


**A2** FOURTH FLOOR DEMO PLAN - PHASE 3  
 1/8" = 1'-0"



**A1** FOURTH FLOOR PLAN - PHASE 3  
 1/8" = 1'-0"





A2 ROOF DEMO PLAN - PHASE 3  
1/8" = 1'-0"

A1 ROOF PLAN - PHASE 3  
1/8" = 1'-0"

- ROOF GENERAL NOTES**
- PROTECT ALL OPENINGS CUT IN THE ROOF. PROVIDE TEMPORARY ROOFING IF WORK IS TO BE UNFINISHED DURING ADVERSE WEATHER CONDITIONS THROUGHOUT THE CONSTRUCTION PHASE.
  - PROVIDE FLASHING AT ALL ROOF PENETRATIONS. PENETRATIONS MAY NOT BE INDICATED ON THE ROOF PLAN. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF PENETRATIONS.
  - PROVIDE A 2 FEET WIDE WALKWAY WITH PROTECTION STRIPS ENTIRELY AROUND ALL ROOF TOP MECHANICAL UNITS AND CREATE A PROTECTION STRIP PATHWAY, 2 FEET WIDE, FROM THE ROOF ACCESS LOCATION(S) TO EACH MECHANICAL UNIT.
  - PROTECT ROOFING MATERIALS FROM CONSTRUCTION OPERATIONS.
  - PROVIDE CURBS AND PRESSURE TREATED WOOD BLOCKING FOR ALL ROOF MOUNTED EQUIPMENT, UNLESS NOTES OTHERWISE.
  - PROVIDE FALL PROTECTION AS DELEGATED DESIGN AS REQUIRED WHERE ACCESS TO OR PAST ROOF EQUIPMENT REQUIRES WORKERS BE WITHIN 10' OF ROOF EDGE.

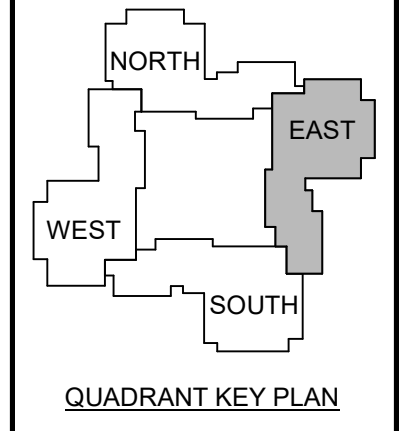
**PLAN GRAPHIC LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR TO BE REMOVED, IN SOME LOCATIONS FRAME ALSO REMOVED. SEE DOOR SCHEDULE.
- NEW DOOR, IN SOME LOCATIONS NEW FRAME. SEE DOOR SCHEDULE
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS
- DEMOLITION KEY NOTE
- CONSTRUCTION KEYNOTE
- WINDOW/GLAZING TAG



**COPYRIGHT**  
CHA Architecture  
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
No.	Date	Description
Revision Schedule		

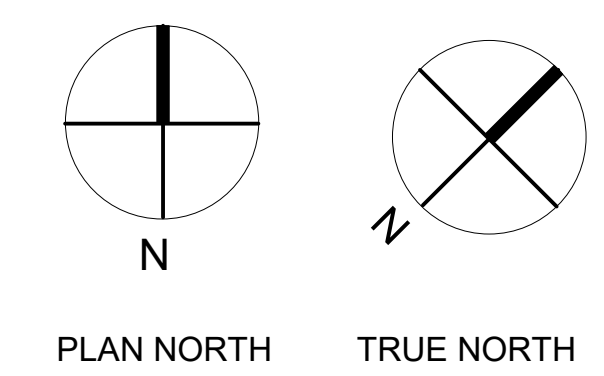
NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

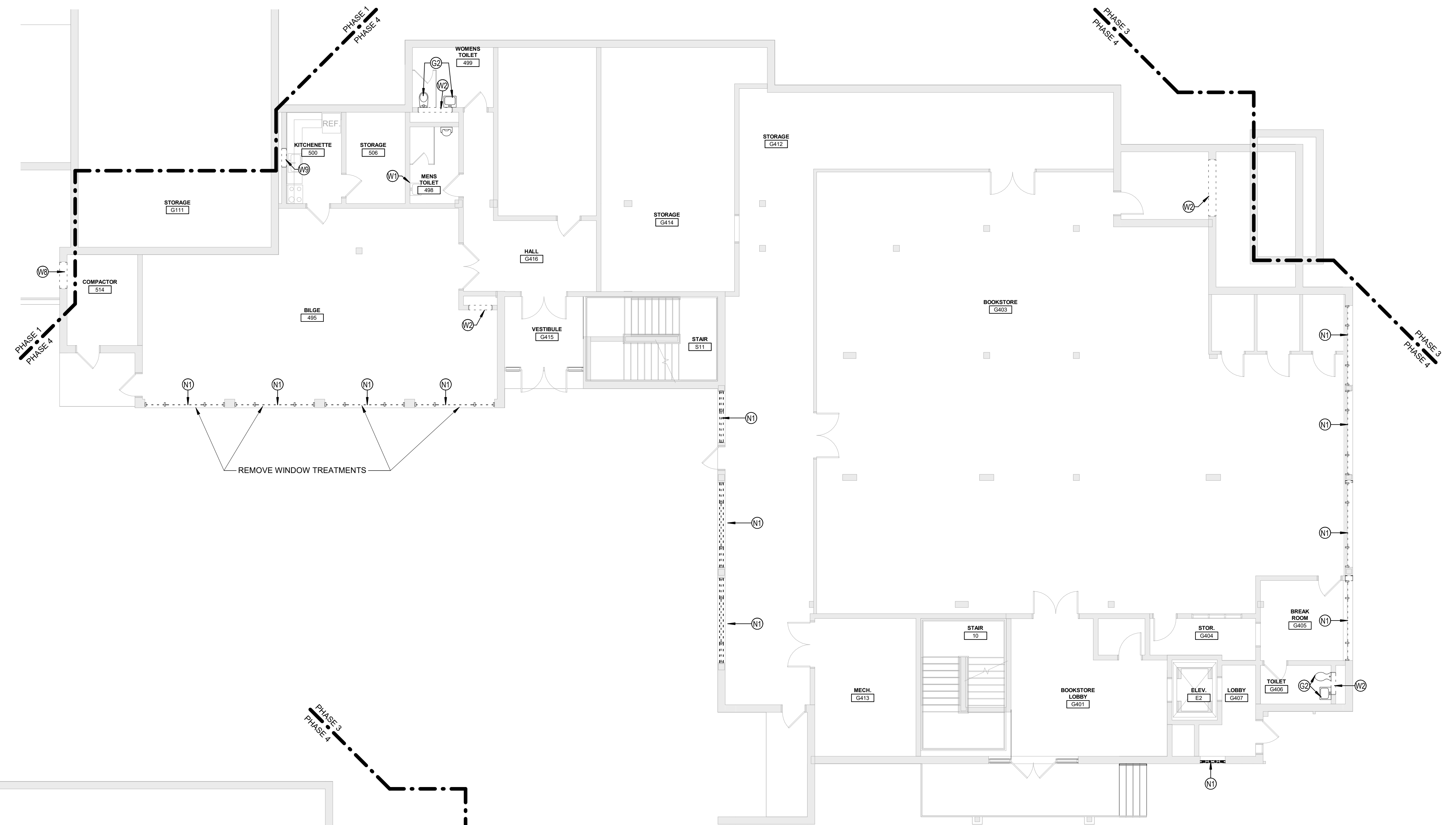
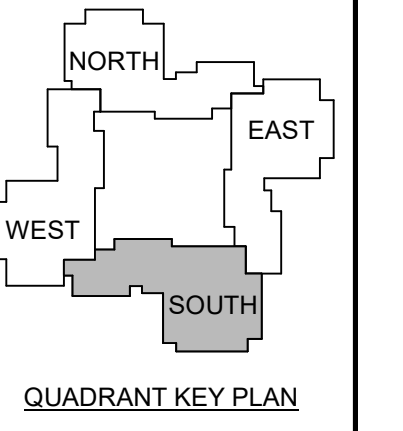
TITLE  
ROOF PLAN AND DEMO PLAN - PHASE 3

SHEET  
**A103.5**

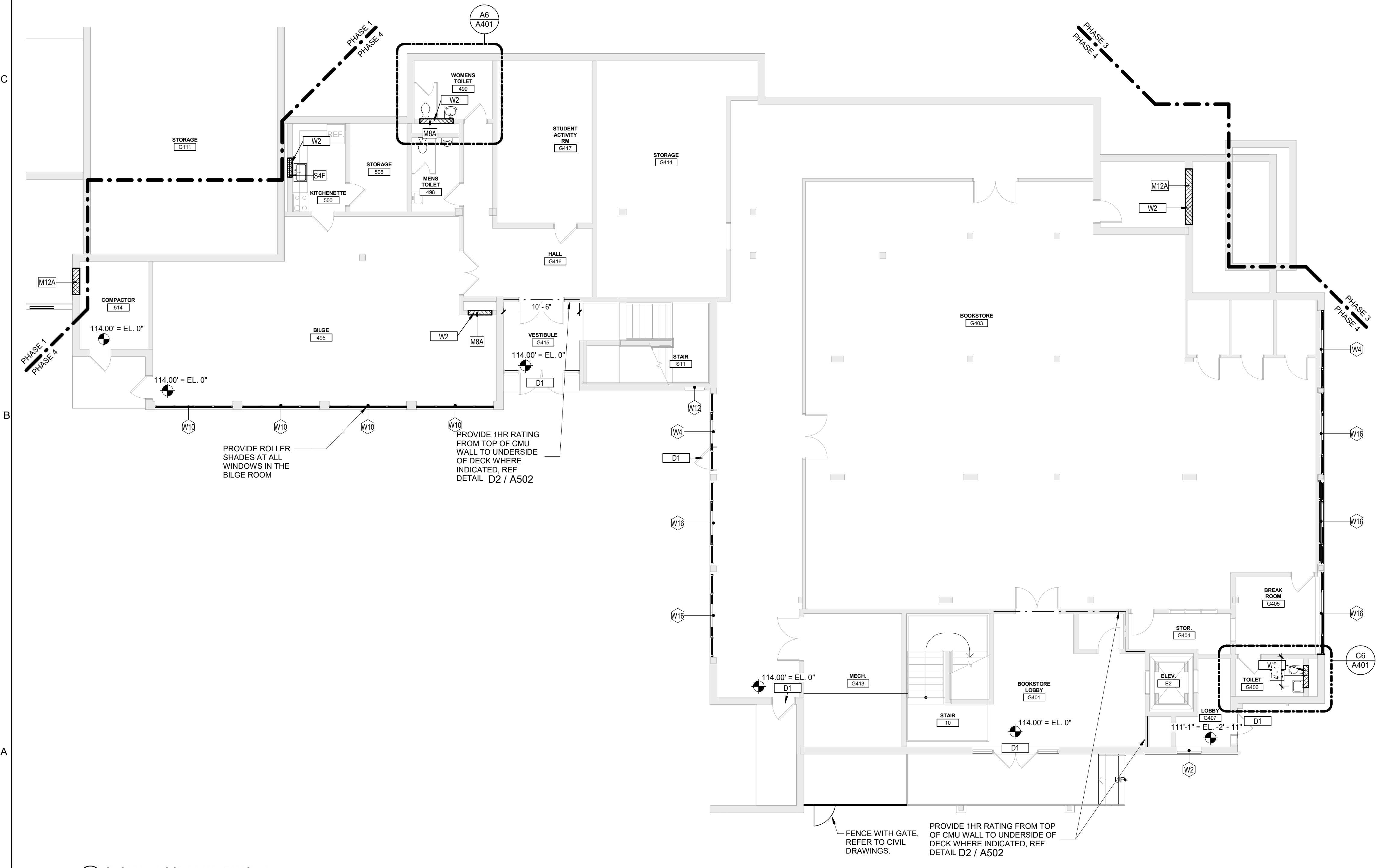


**COPYRIGHT**  
CHA Architecture  
Reuse or reproduction of the  
contents of this document is not  
permitted without written  
permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421



**B1** GROUND FLOOR DEMO PLAN - PHASE 4  
1/8" = 1'-0"



**A1** GROUND FLOOR PLAN - PHASE 4  
1/8" = 1'-0"

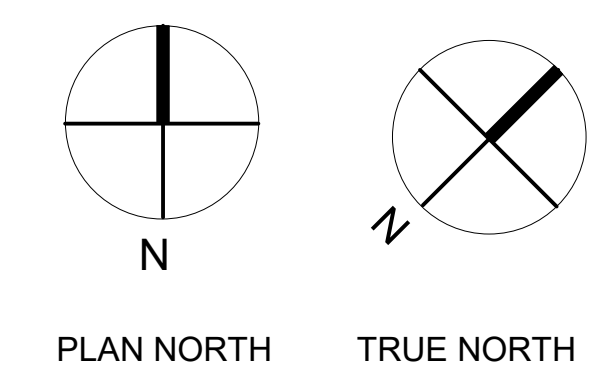
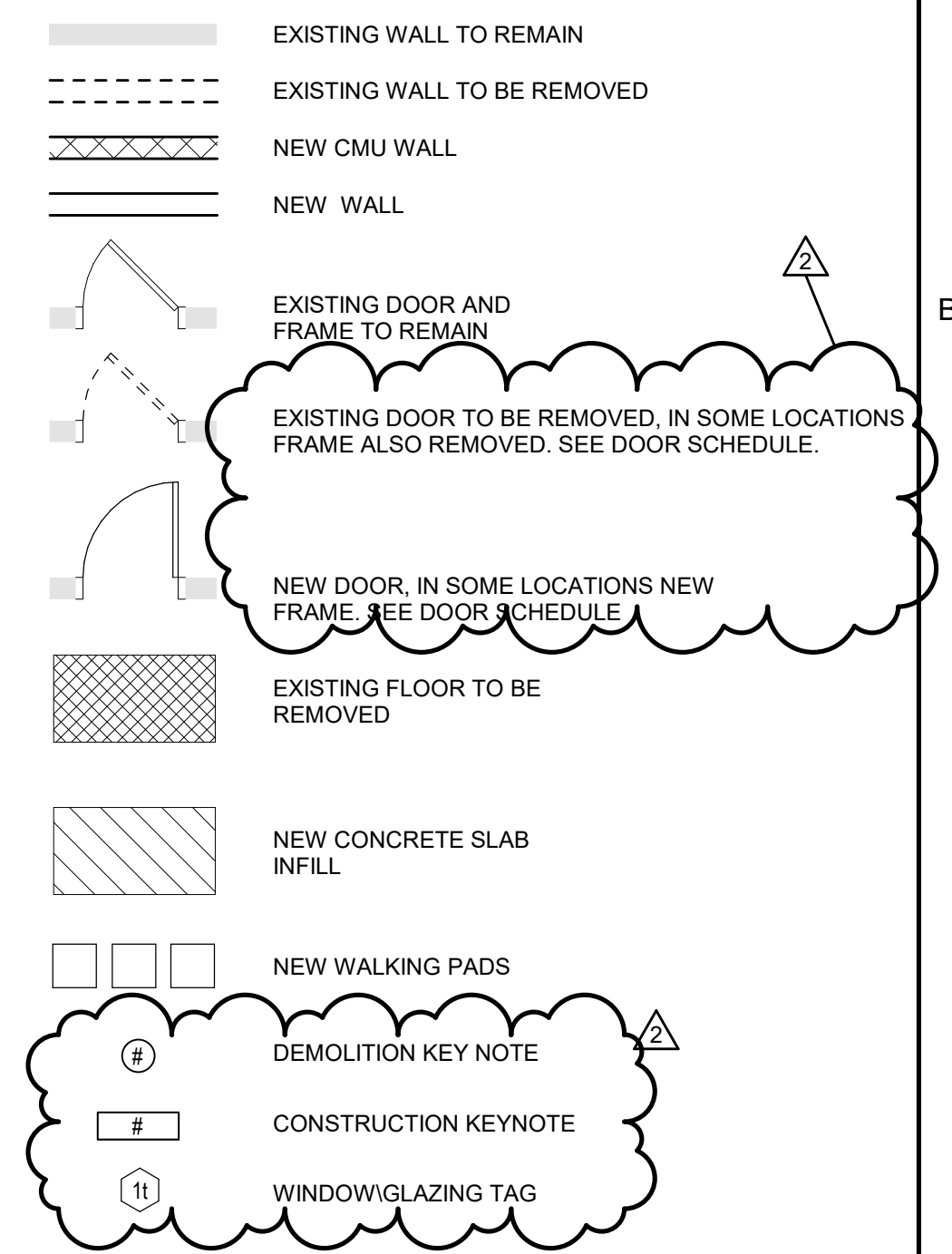
**PLAN GENERAL NOTES**

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
• CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
• METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**  
**EXTERIOR DIMENSIONS ARE TO:**  
• CENTERLINE OF COLUMN  
• FACE OF MASONRY  
• FACE OF STUD  
• FACE OF CONCRETE  
• CENTERLINE OF WINDOW OPENING  
• ROUGH OPENING  
• MASONRY OPENING  
**INTERIOR DIMENSIONS ARE TO:**  
• CENTERLINE OF COLUMN  
• FACE OF MASONRY  
• FACE OF STUD  
• FACE OF EXISTING FINISH MATERIAL  
**EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**  
**THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:**  
• ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.  
• ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.  
• ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
• ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

**ROOM NUMBER NOTE:**  
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
1ST DIGIT = FLOOR  
2ND DIGIT = PHASE  
3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**  
1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

**PLAN GRAPHIC LEGEND**



2	12-12-23	Addendum #3
N	Date	Description

Revision Schedule

NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

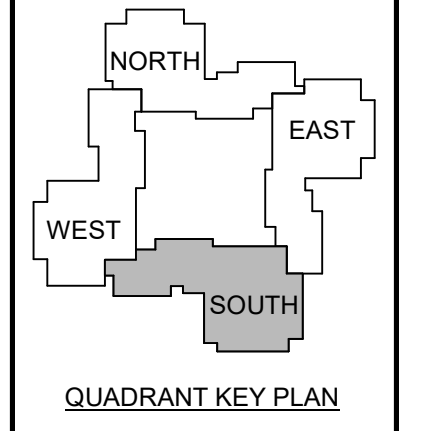
TITLE  
GROUND FLOOR PLAN AND DEMO PLAN - PHASE 4

SHEET  
**A104.G**



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the  
 contents of this document is not  
 permitted without written  
 permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
N	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 FIRST FLOOR PLAN AND DEMO PLAN - PHASE 4

SHEET  
**A104.1**

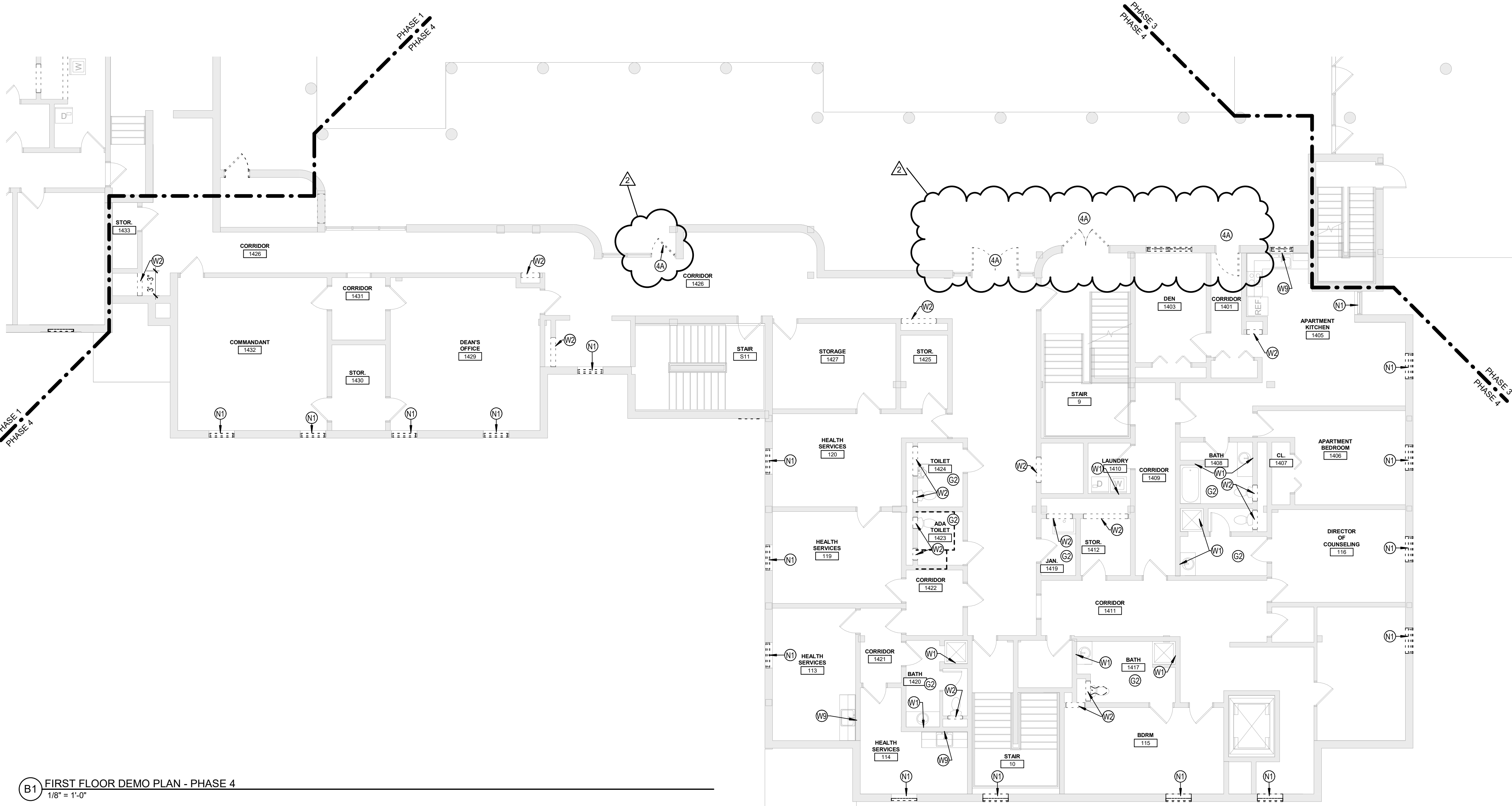
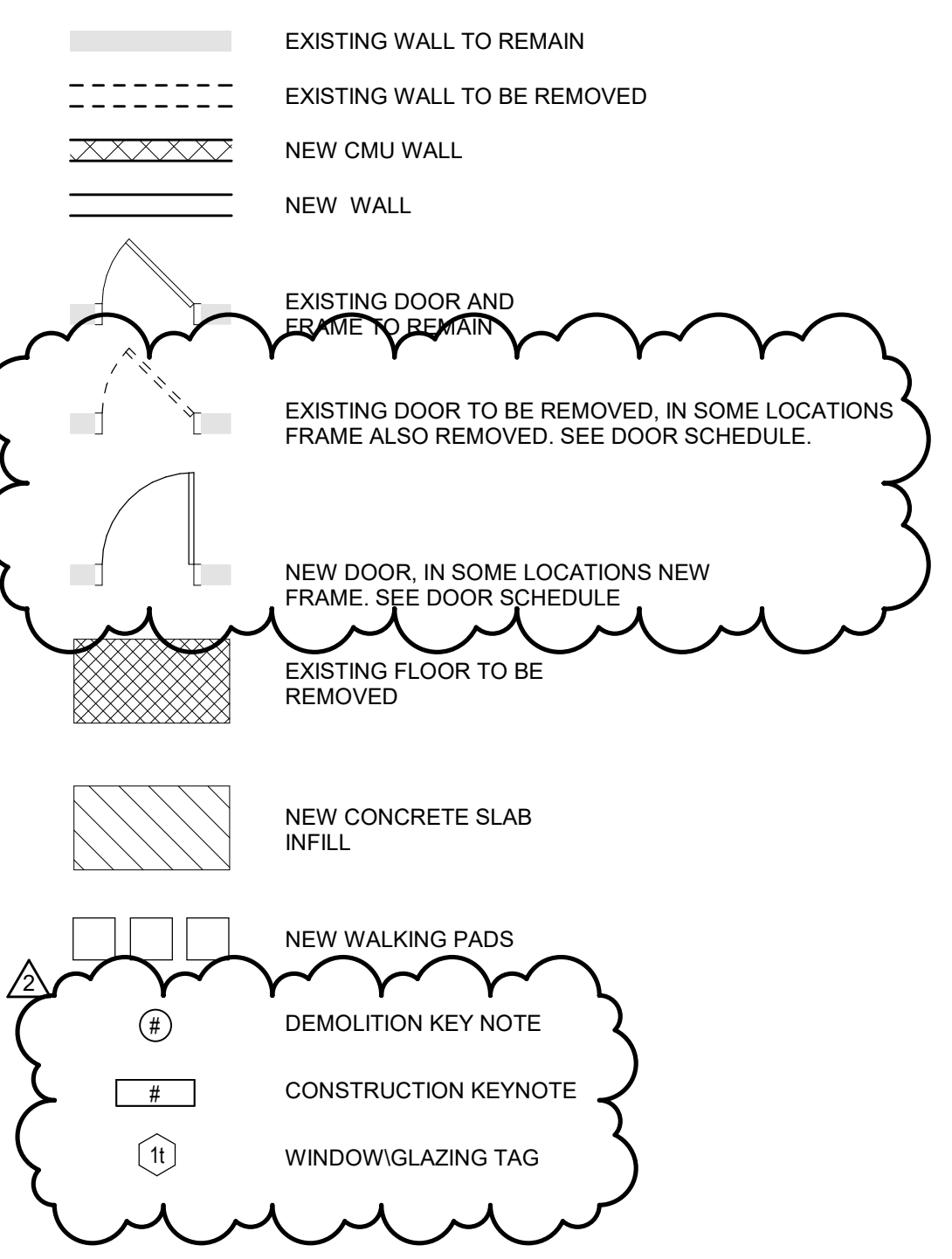
**PLAN GENERAL NOTES**

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**  
 • EXTERIOR DIMENSIONS ARE TO:  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF CONCRETE  
 • CENTERLINE OF WINDOW OPENING  
 • ROUGH OPENING  
 • MASONRY OPENING  
 • INTERIOR DIMENSIONS ARE TO:  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF EXISTING FINISH MATERIAL  
 • EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**  
 THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.  
 • ALL CMU PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.  
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.  
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

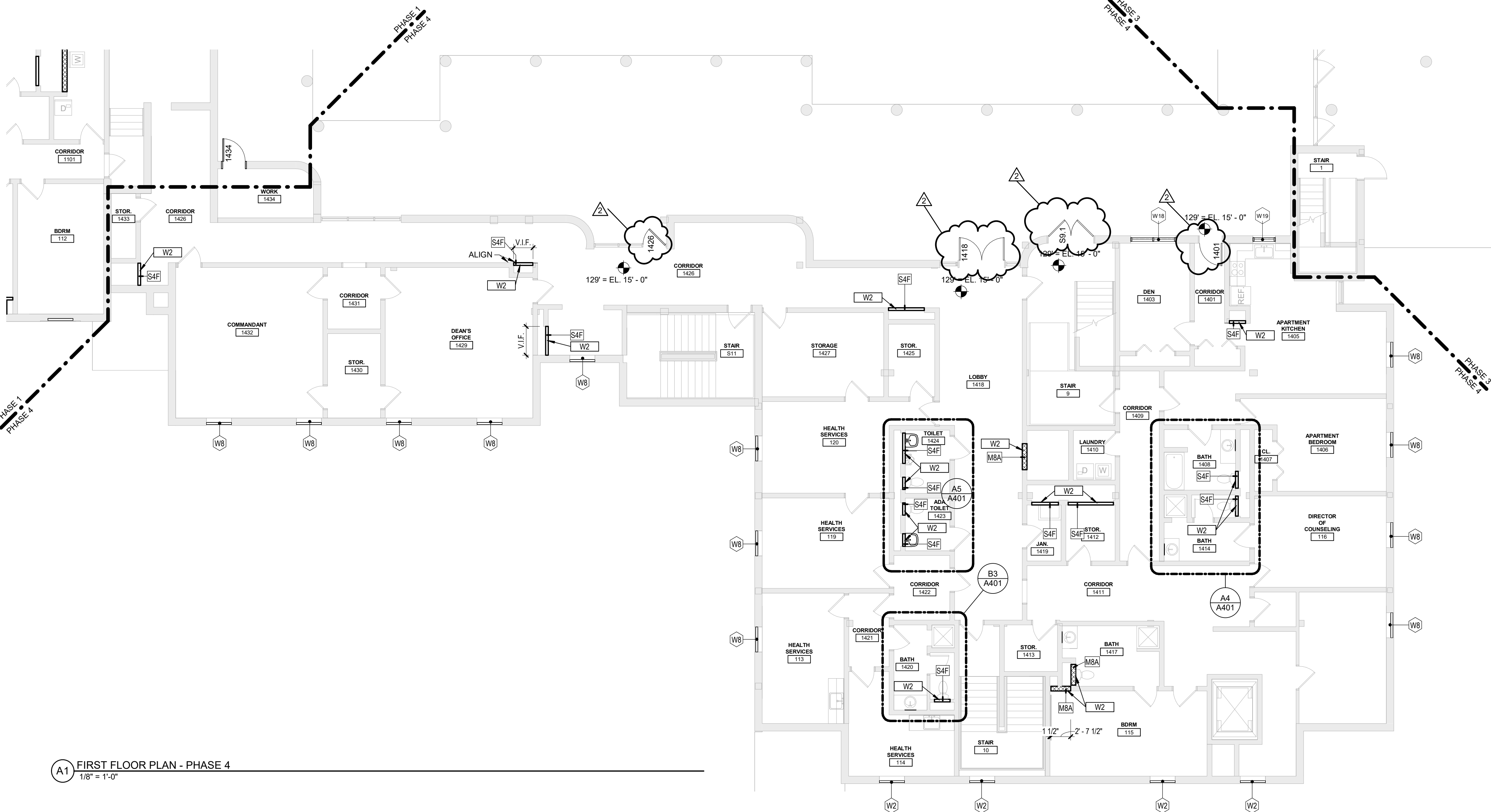
**ROOM NUMBER NOTE:**  
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
 1ST DIGIT = FLOOR  
 2ND DIGIT = PHASE  
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**  
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
 3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

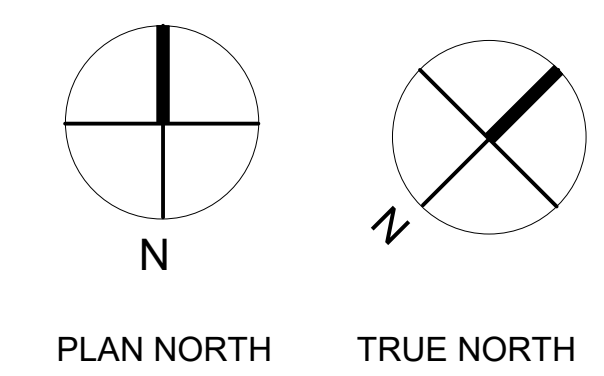
**PLAN GRAPHIC LEGEND**



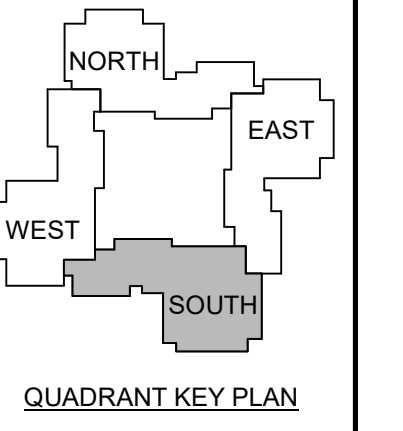
**B1 FIRST FLOOR DEMO PLAN - PHASE 4**  
 1/8" = 1'-0"



**A1 FIRST FLOOR PLAN - PHASE 4**  
 1/8" = 1'-0"







No.	Date	Description
2	12-12-23	Addendum #3

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
SECOND FLOOR PLAN AND DEMO PLAN - PHASE 4

SHEET  
**A104.2**

**PLAN GENERAL NOTES**

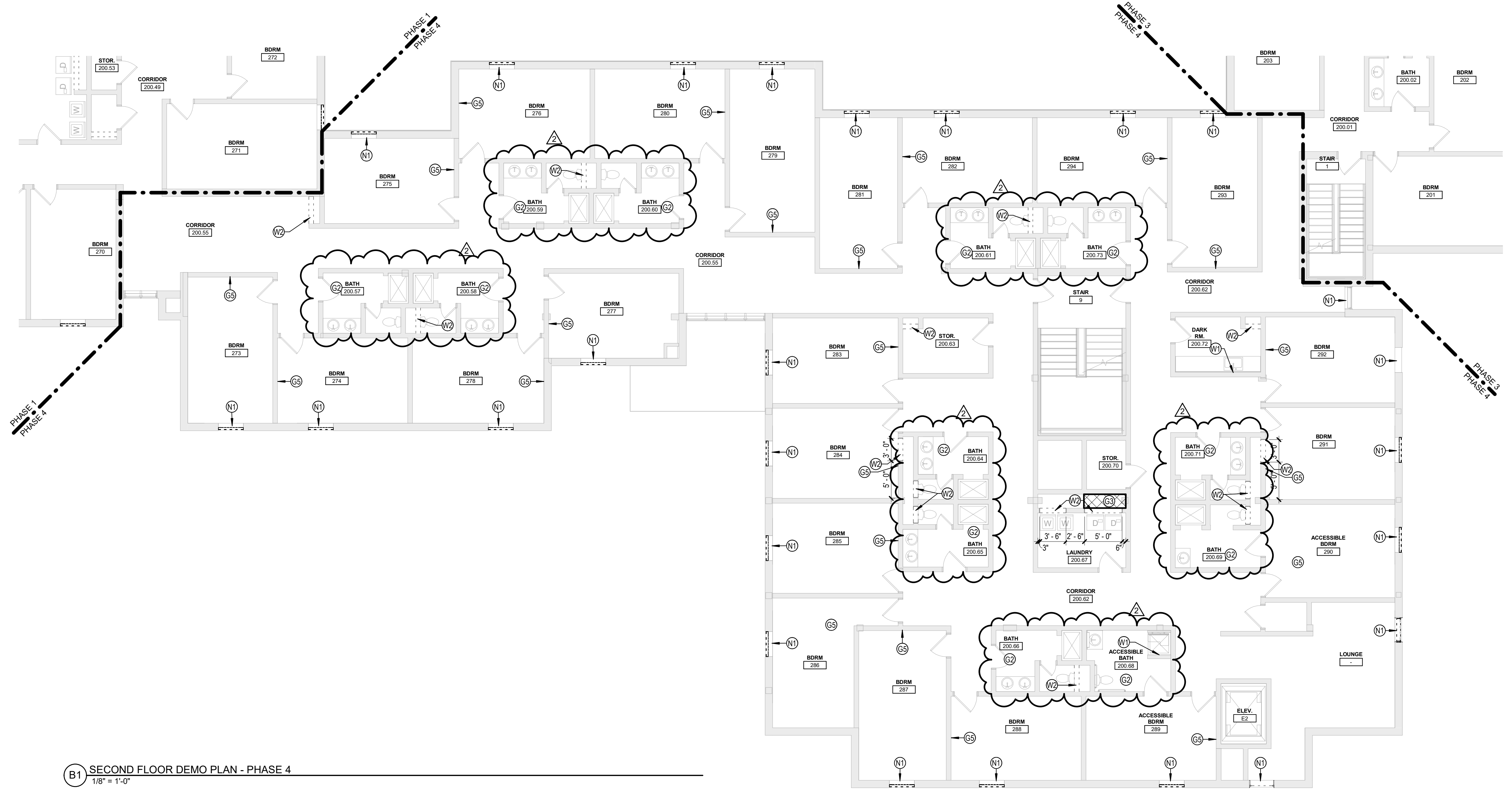
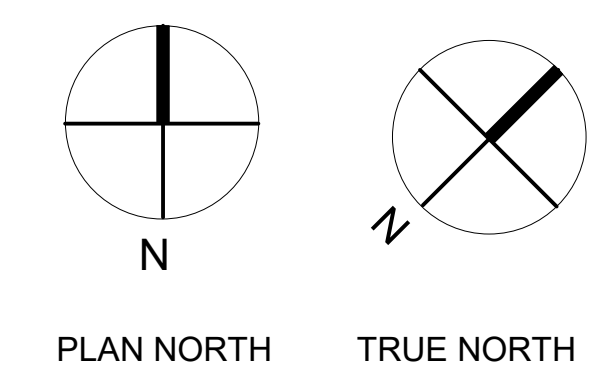
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
• CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
• METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**  
**EXTERIOR DIMENSIONS ARE TO:**  
• CENTERLINE OF COLUMN  
• FACE OF MASONRY  
• FACE OF STUD  
• FACE OF CONCRETE  
• CENTERLINE OF WINDOW OPENING  
• ROUGH OPENING  
• MASONRY OPENING  
**INTERIOR DIMENSIONS ARE TO:**  
• CENTERLINE OF COLUMN  
• FACE OF MASONRY  
• FACE OF STUD  
• FACE OF EXISTING FINISH MATERIAL  
**EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**  
THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:  
• ALL GIBB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.  
• ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.  
• ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
• ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

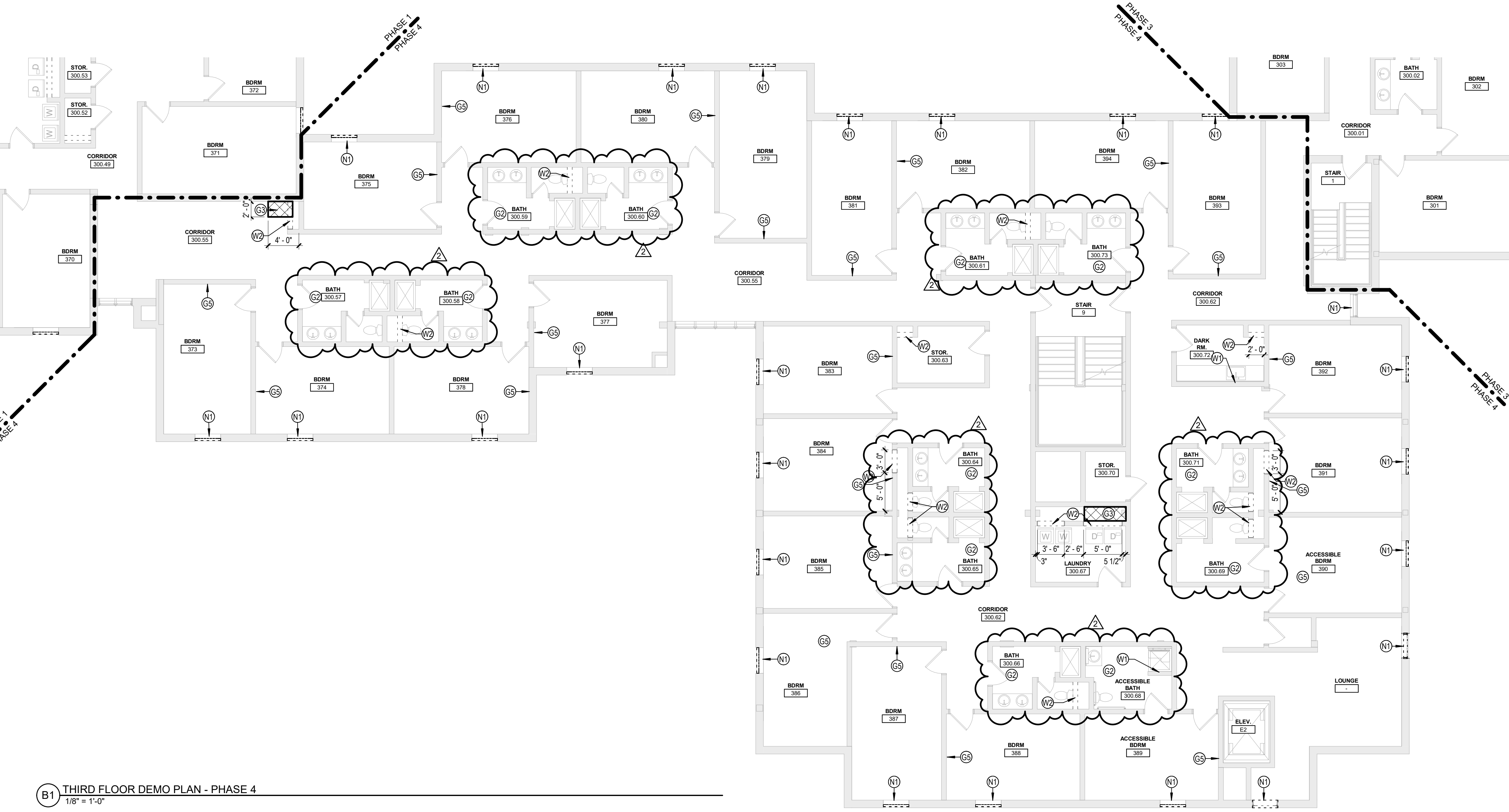
**ROOM NUMBER NOTE:**  
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
1ST DIGIT = FLOOR  
2ND DIGIT = PHASE  
3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**  
1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

**PLAN GRAPHIC LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR TO BE REMOVED, IN SOME LOCATIONS FRAME ALSO REMOVED. SEE DOOR SCHEDULE.
- NEW DOOR, IN SOME LOCATIONS NEW FRAME. SEE DOOR SCHEDULE
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS
- DEMOLITION KEY NOTE
- CONSTRUCTION KEYNOTE
- WINDOW/GLAZING TAG



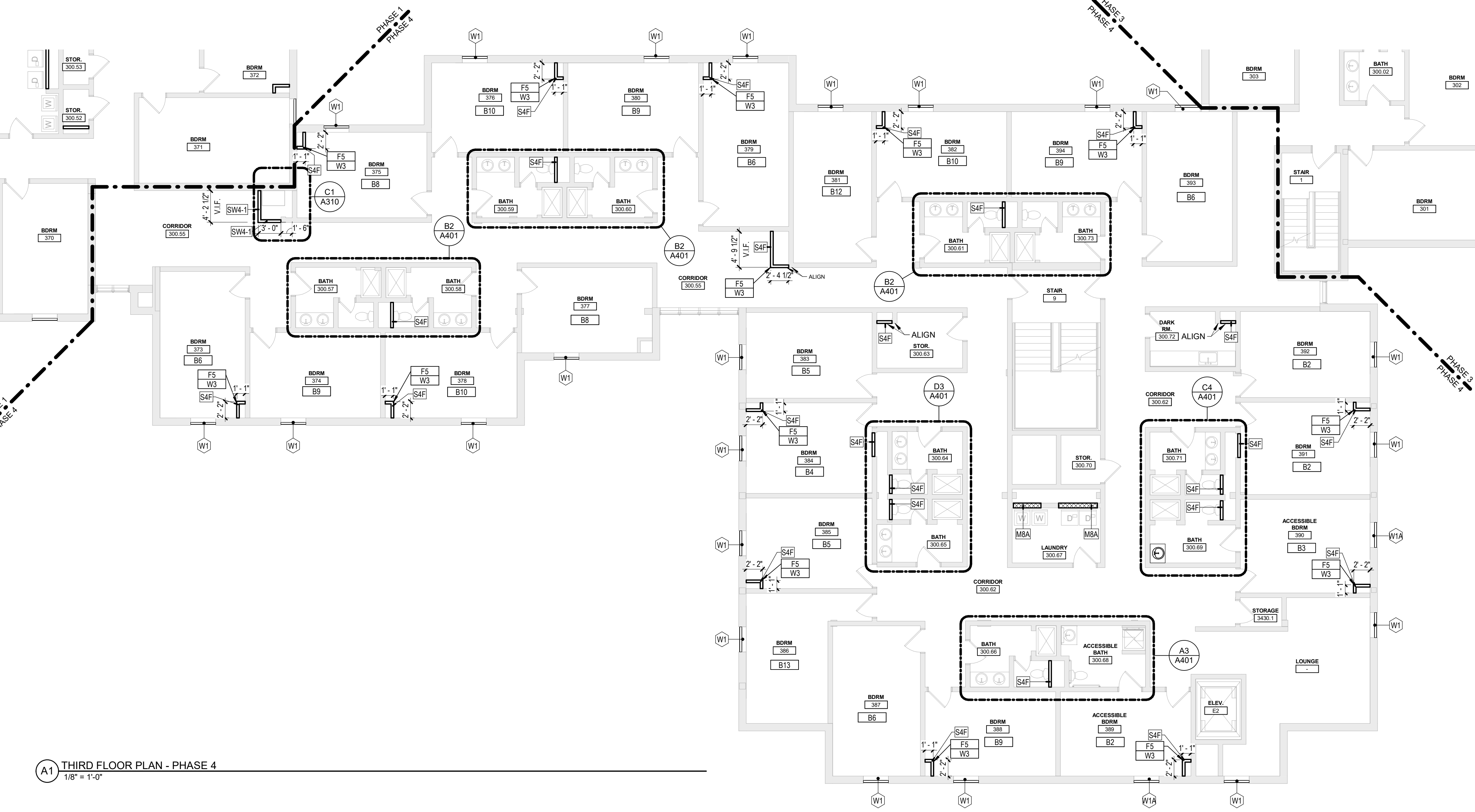
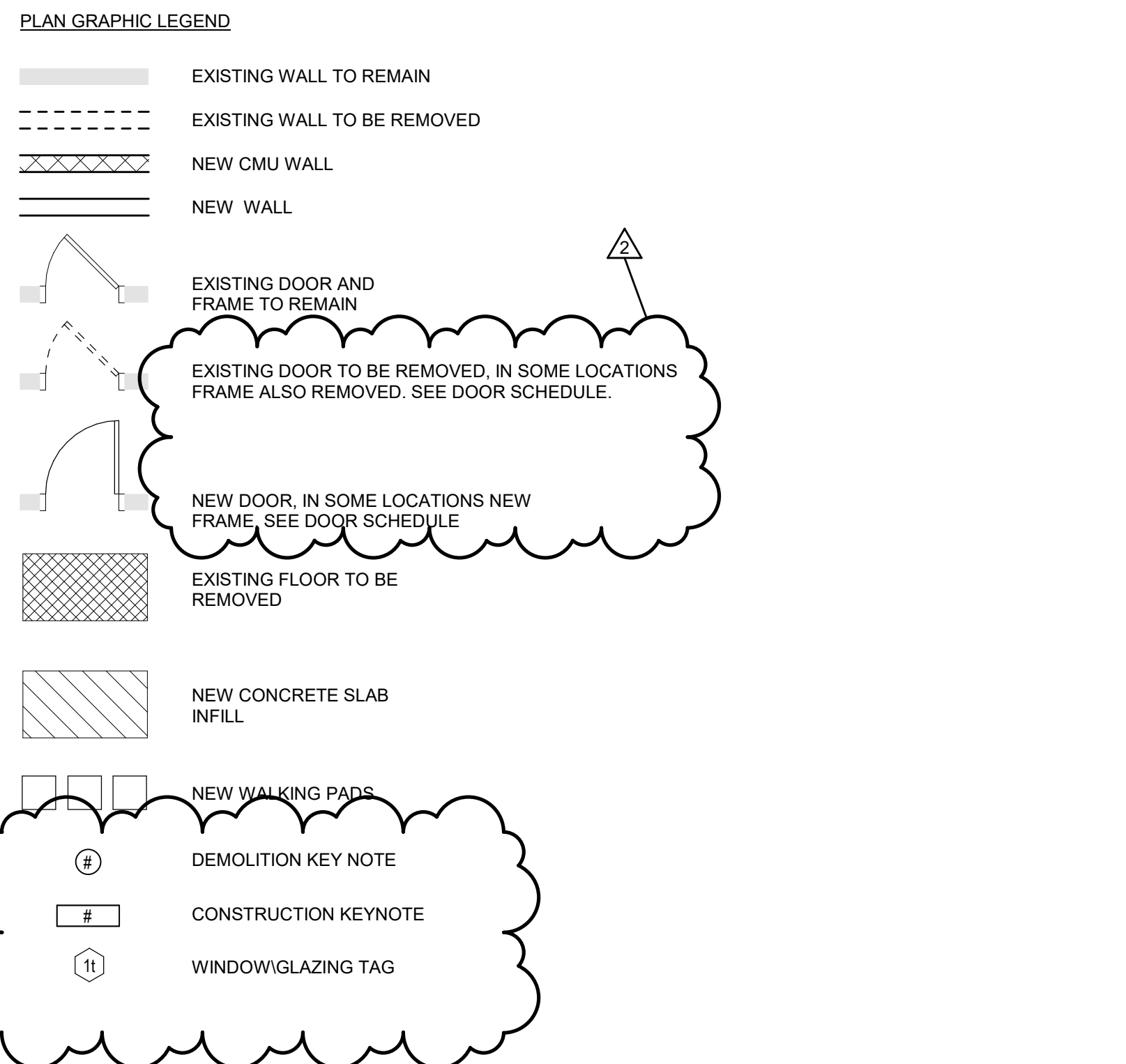


B1 THIRD FLOOR DEMO PLAN - PHASE 4  
1/8" = 1'-0"

- PLAN GENERAL NOTES**
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
  - DO NOT SCALE THE DRAWINGS.
  - DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
  - UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
  - MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
  - DIMENSIONAL CONTROL:**  
**EXTERIOR DIMENSIONS ARE TO:**  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF CONCRETE  
 • CENTERLINE OF WINDOW OPENING  
 • ROUGH OPENING  
 • MASONRY OPENING  
**INTERIOR DIMENSIONS ARE TO:**  
 • CENTERLINE OF COLUMN  
 • FACE OF MASONRY  
 • FACE OF STUD  
 • FACE OF EXISTING FINISH MATERIAL  
**EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
  - TYPICAL DETAIL NOTES:**  
 • THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.  
 • ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A 1" BEAD AND CONTINUOUS SEALANT.  
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.  
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

**ROOM NUMBER NOTE:**  
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS  
 1ST DIGIT = FLOOR  
 2ND DIGIT = PHASE  
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**  
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES  
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.  
 3. REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.

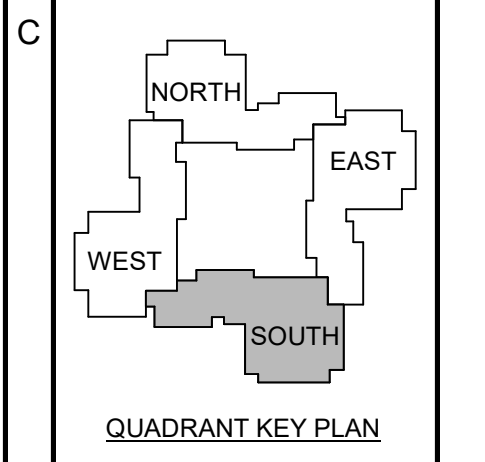


A1 THIRD FLOOR PLAN - PHASE 4  
1/8" = 1'-0"



**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
2	12-12-23	Addendum #3

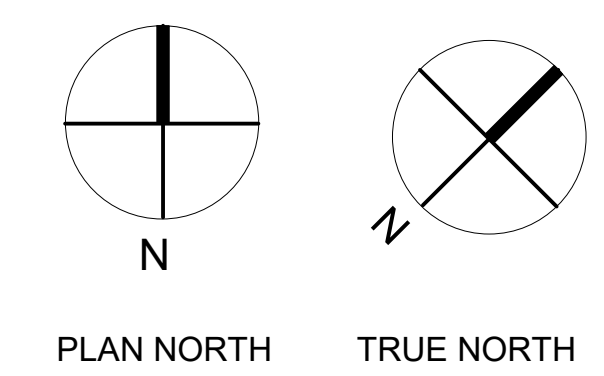
NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
THIRD FLOOR PLAN AND DEMO PLAN - PHASE 4

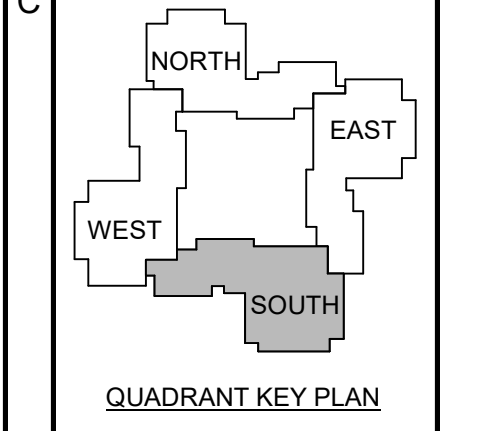
SHEET  
A104.3





**COPYRIGHT**  
 CHA Architecture  
 Review or reproduction of the  
 contents of this document is not  
 permitted without written  
 permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 4

SHEET  
**A104.4**

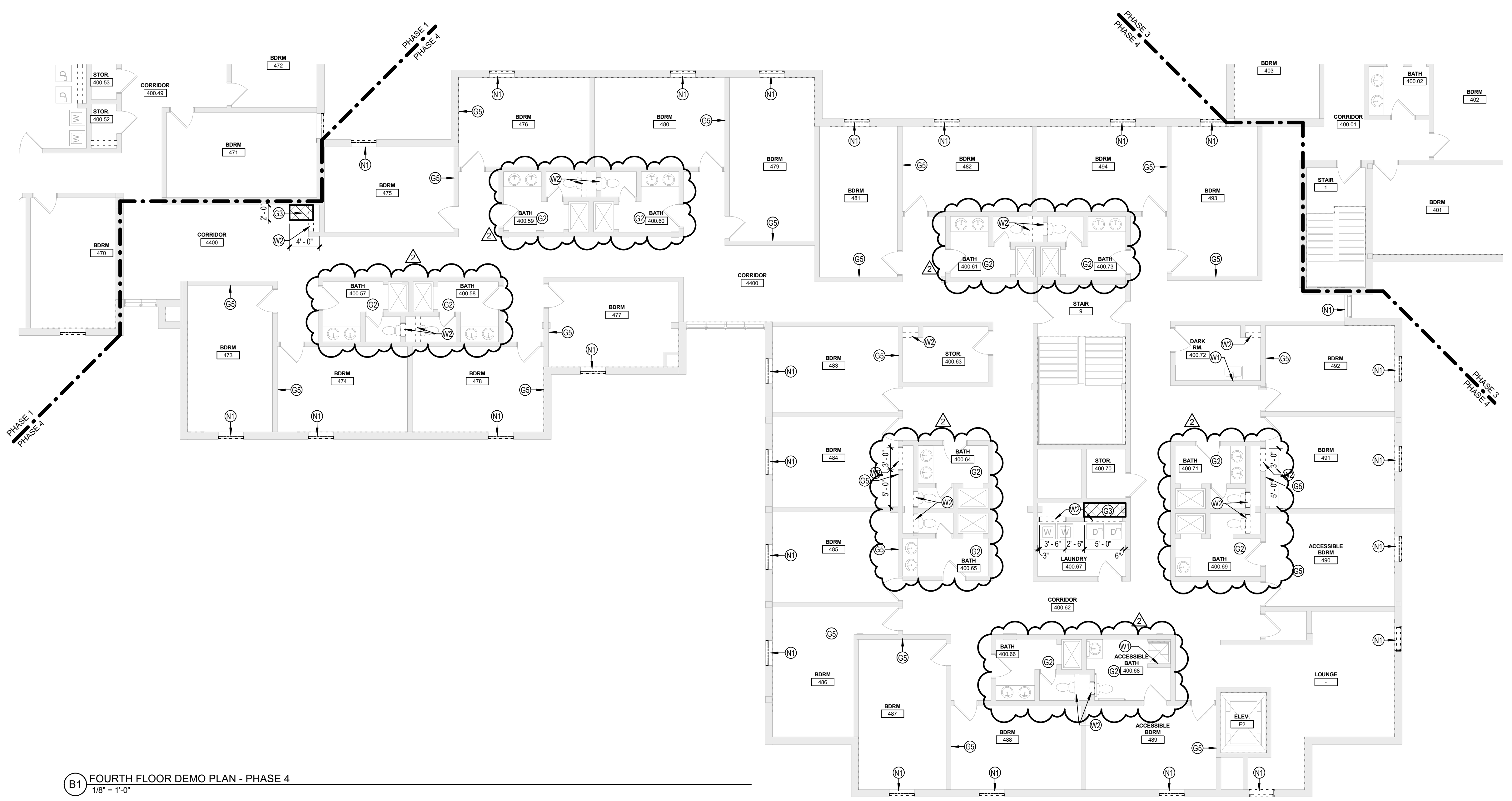
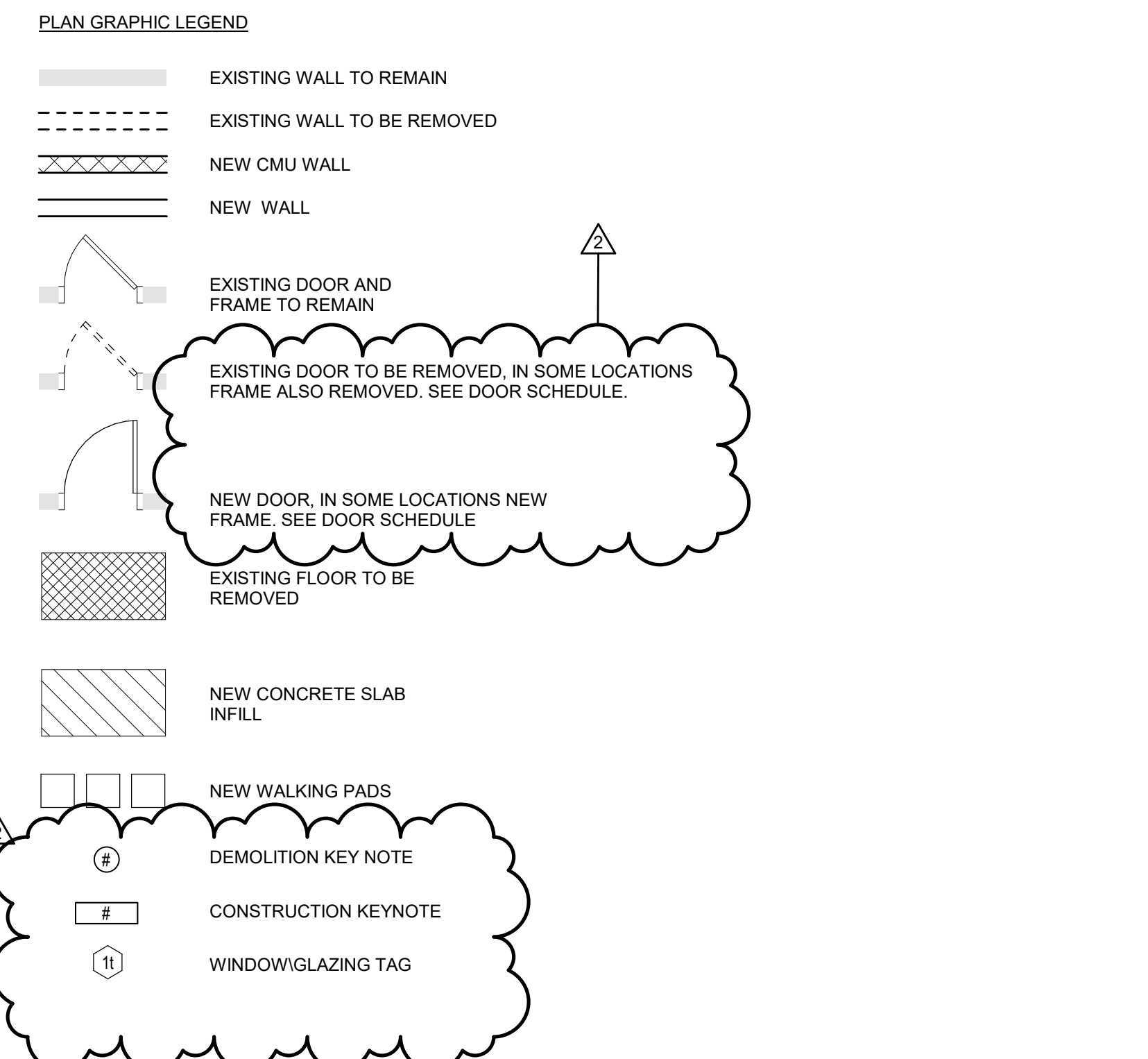
- PLAN GENERAL NOTES**
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
  - DO NOT SCALE THE DRAWINGS.
  - DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
  - UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:  
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.  
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
  - MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
  - DIMENSIONAL CONTROL:**  
 • **EXTERIOR DIMENSIONS ARE TO:**  
 . CENTERLINE OF COLUMN  
 . FACE OF MASONRY  
 . FACE OF STUD  
 . FACE OF CONCRETE  
 . CENTERLINE OF WINDOW OPENING  
 . ROUGH OPENING  
 . MASONRY OPENING  
 • **INTERIOR DIMENSIONS ARE TO:**  
 . CENTERLINE OF COLUMN  
 . FACE OF MASONRY  
 . FACE OF STUD  
 . FACE OF EXISTING FINISH MATERIAL  
 • **EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
  - TYPICAL DETAIL NOTES:**  
 • THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.  
 • ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A 1" BEAD AND CONTINUOUS SEALANT.  
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.  
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.  
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

**ROOM NUMBER NOTE:**  
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS  
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

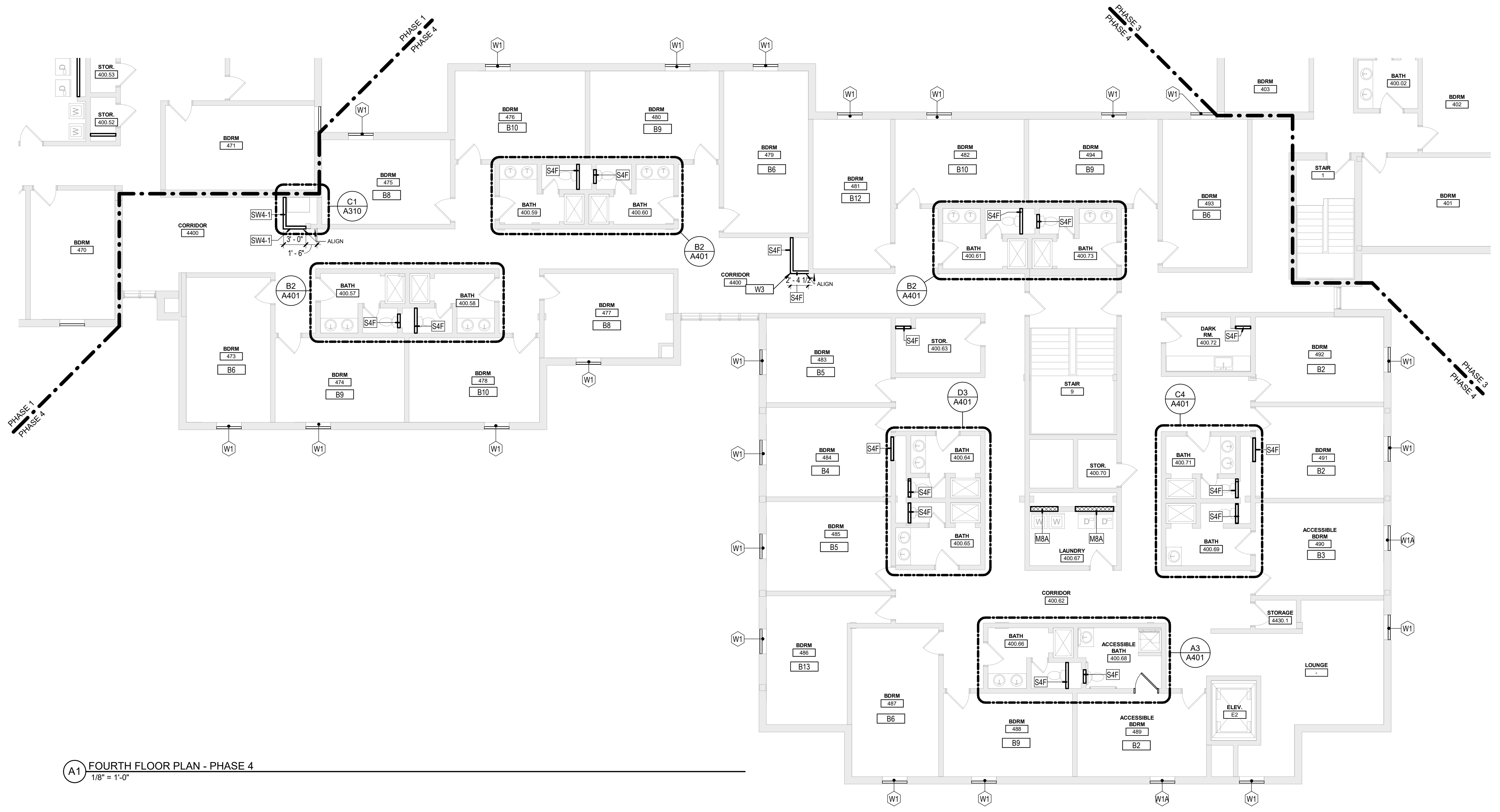
1ST DIGIT = FLOOR  
 2ND DIGIT = PHASE  
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

**GENERAL PLAN AND DEMO NOTES**

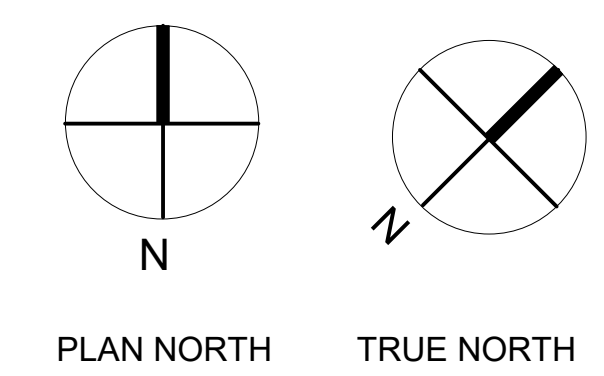
- REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
- REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.
- REFER TO SHEET A000.1 FOR SYMBOLS LEGEND - INCLUDES TAG TYPES.



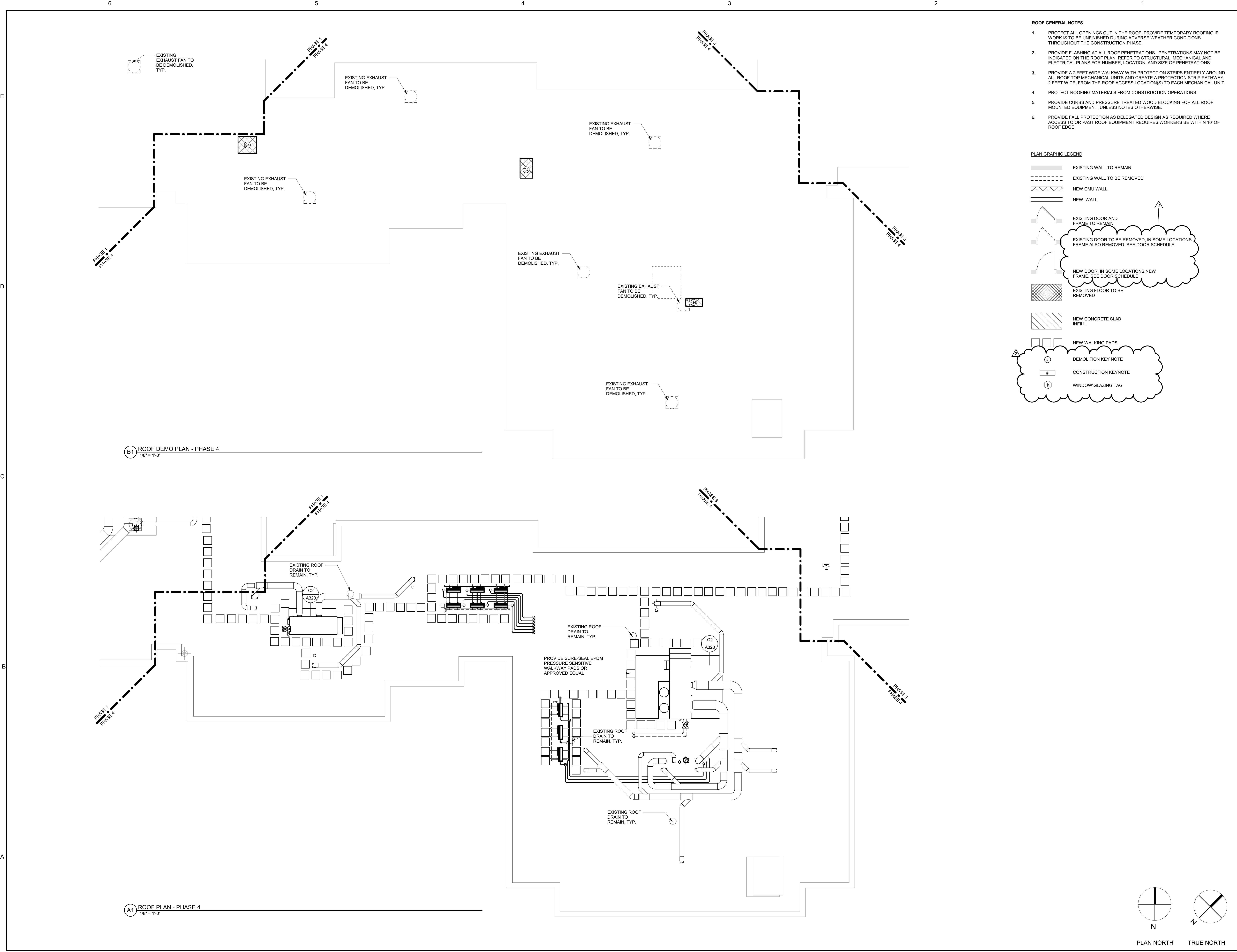
**B1** FOURTH FLOOR DEMO PLAN - PHASE 4  
 1/8" = 1'-0"



**A1** FOURTH FLOOR PLAN - PHASE 4  
 1/8" = 1'-0"







**B1** ROOF DEMO PLAN - PHASE 4  
1/8" = 1'-0"

**A1** ROOF PLAN - PHASE 4  
1/8" = 1'-0"

- ROOF GENERAL NOTES**
- PROTECT ALL OPENINGS CUT IN THE ROOF. PROVIDE TEMPORARY ROOFING IF WORK IS TO BE UNFINISHED DURING ADVERSE WEATHER CONDITIONS THROUGHOUT THE CONSTRUCTION PHASE.
  - PROVIDE FLASHING AT ALL ROOF PENETRATIONS. PENETRATIONS MAY NOT BE INDICATED ON THE ROOF PLAN. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF PENETRATIONS.
  - PROVIDE A 2 FEET WIDE WALKWAY WITH PROTECTION STRIPS ENTIRELY AROUND ALL ROOF TOP MECHANICAL UNITS AND CREATE A PROTECTION STRIP PATHWAY, 2 FEET WIDE, FROM THE ROOF ACCESS LOCATION(S) TO EACH MECHANICAL UNIT.
  - PROTECT ROOFING MATERIALS FROM CONSTRUCTION OPERATIONS.
  - PROVIDE CURBS AND PRESSURE TREATED WOOD BLOCKING FOR ALL ROOF MOUNTED EQUIPMENT, UNLESS NOTES OTHERWISE.
  - PROVIDE FALL PROTECTION AS DELEGATED DESIGN AS REQUIRED WHERE ACCESS TO OR PAST ROOF EQUIPMENT REQUIRES WORKERS BE WITHIN 10' OF ROOF EDGE.

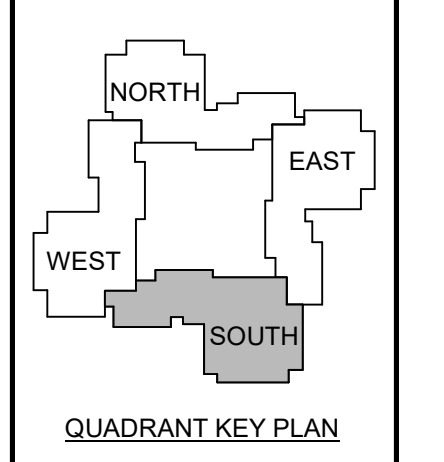
**PLAN GRAPHIC LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR TO BE REMOVED, IN SOME LOCATIONS FRAME ALSO REMOVED. SEE DOOR SCHEDULE.
- NEW DOOR, IN SOME LOCATIONS NEW FRAME. SEE DOOR SCHEDULE.
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS
- DEMOLITION KEY NOTE
- CONSTRUCTION KEYNOTE
- WINDOW/GLAZING TAG



**COPYRIGHT**  
CHA Architecture  
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
No.	Date	Description
Revision Schedule		

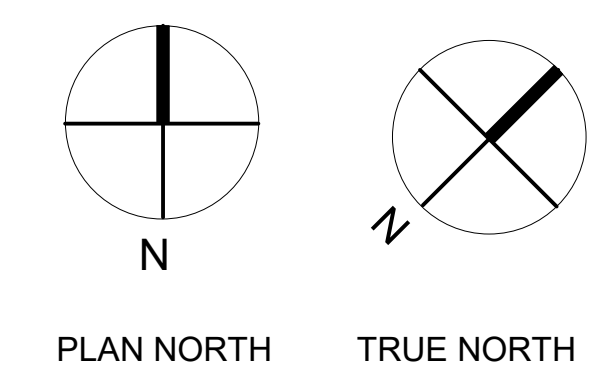
NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
ROOF PLAN AND DEMO PLAN - PHASE 4

SHEET  
**A104.5**

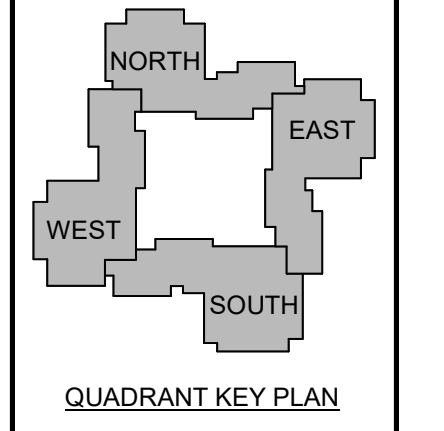






**COPYRIGHT**  
 CHA Architecture  
 Reuse or reproduction of the  
 contents of this document is not  
 permitted without written  
 permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
Revisio n	Date	Descriptio n
Revision Schedule		

NOT FOR CONSTRUCTION

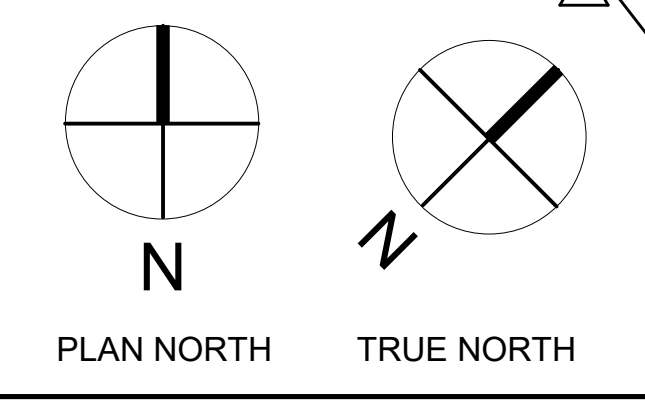
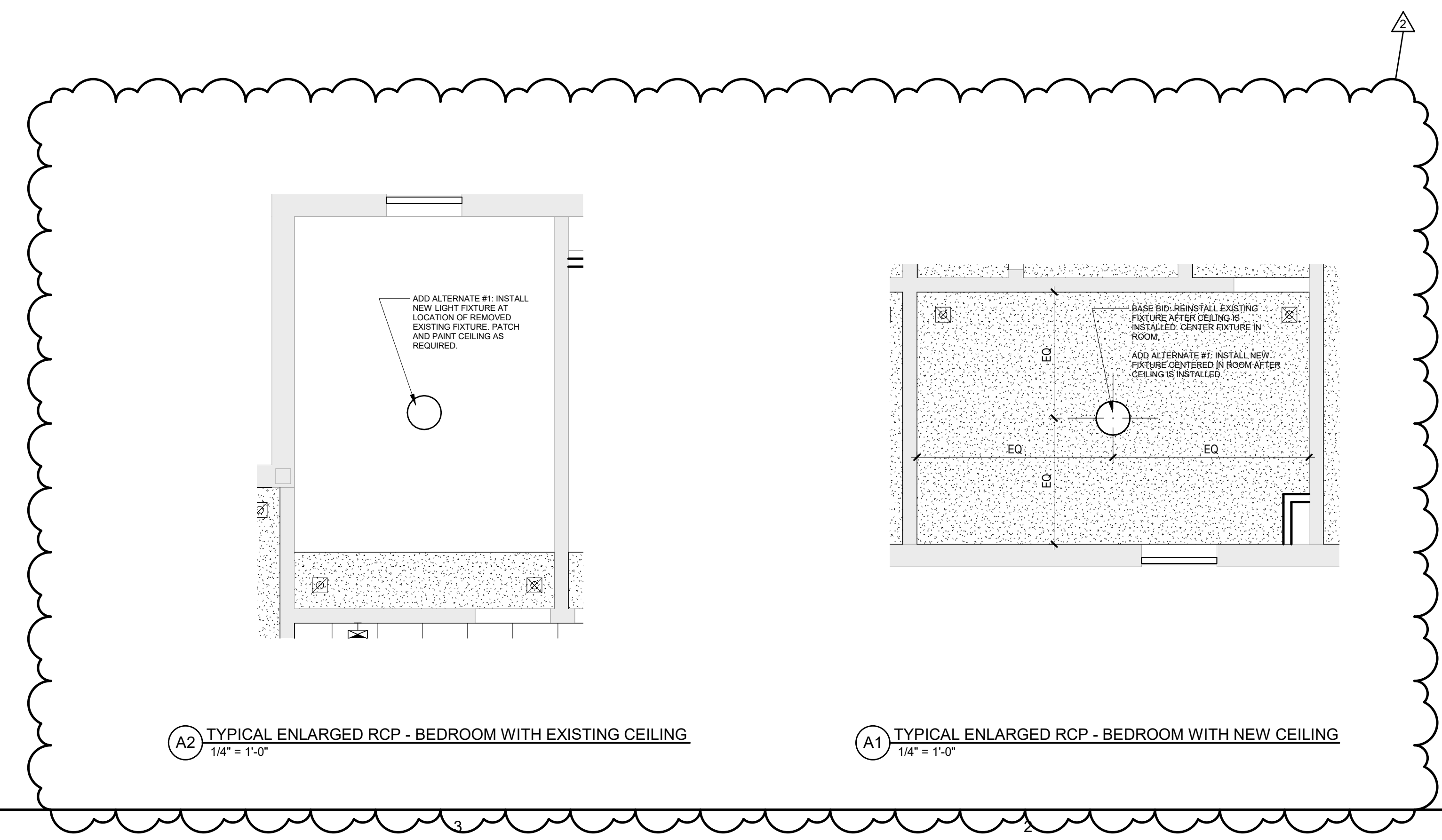
JOB NO.  
076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

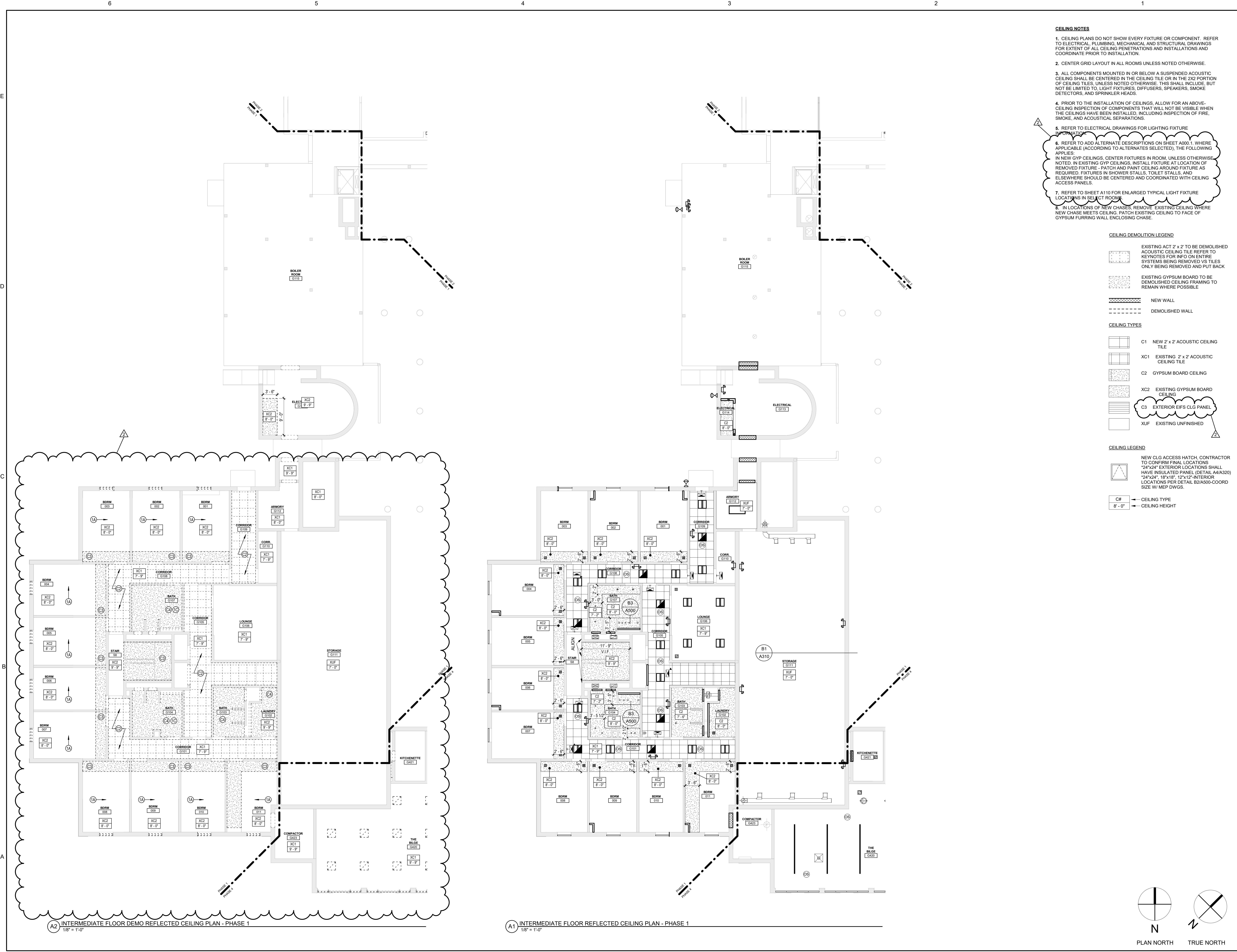
TITLE  
TYPICAL ENLARGED REFLECTED CEILING PLANS FOR LIGHTING PLACEMENT

SHEET  
**A110**

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
  6. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
  7. IN LOCATIONS OF NEW CHASES, REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.



E  
D  
C  
B  
A



- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
  6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES:  
IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
  7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
  8. IN LOCATIONS OF NEW CHASES, REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
  - EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
  - NEW WALL
  - DEMOLISHED WALL

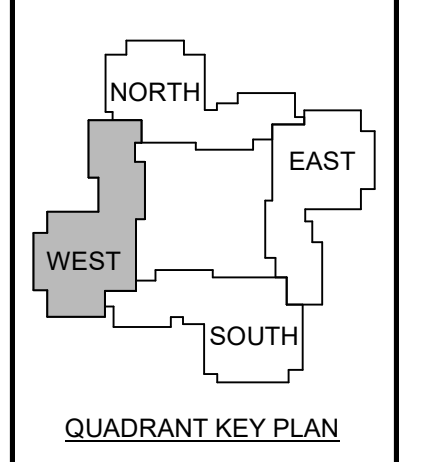
- CEILING TYPES**
- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
  - XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
  - C2 GYPSUM BOARD CEILING
  - XC2 EXISTING GYPSUM BOARD CEILING
  - C3 EXTERIOR EIFS CLG PANEL
  - XUF EXISTING UNFINISHED

- CEILING LEGEND**
- NEW CLG ACCESS HATCH. CONTRACTOR TO CONFIRM FINAL LOCATIONS
  - 24"X24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
  - 12"X12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
  - CF - CEILING TYPE
  - 8'-0" - CEILING HEIGHT



**COPYRIGHT**  
CHA Architecture  
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
N	Date	Description
O.	Revision Schedule	

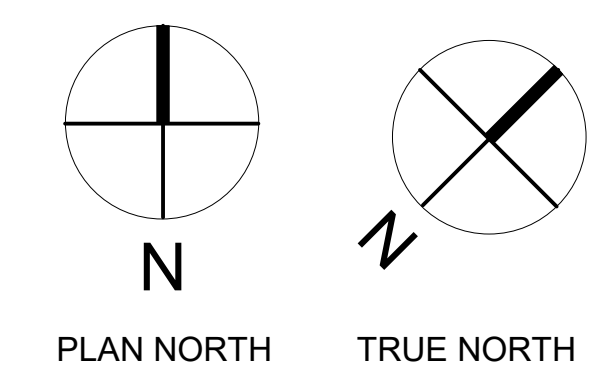
NOT FOR CONSTRUCTION

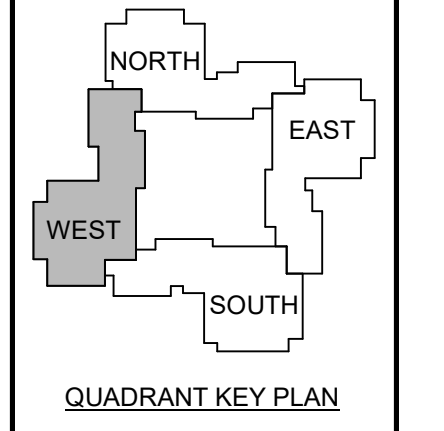
JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
REFLECTED CEILING PLAN AND DEMO PLAN - INTERMEDIATE FLOOR - PHASE 1

SHEET  
**A111.0**





2	12-12-23	Addendum #3
N	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
REFLECTED CEILING PLAN AND DEMO PLAN - FIRST FLOOR - PHASE 1

SHEET  
**A111.1**

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
  6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES:  
IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
  7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
  8. IN LOCATIONS OF NEW CHASING REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

**CEILING DEMOLITION LEGEND**

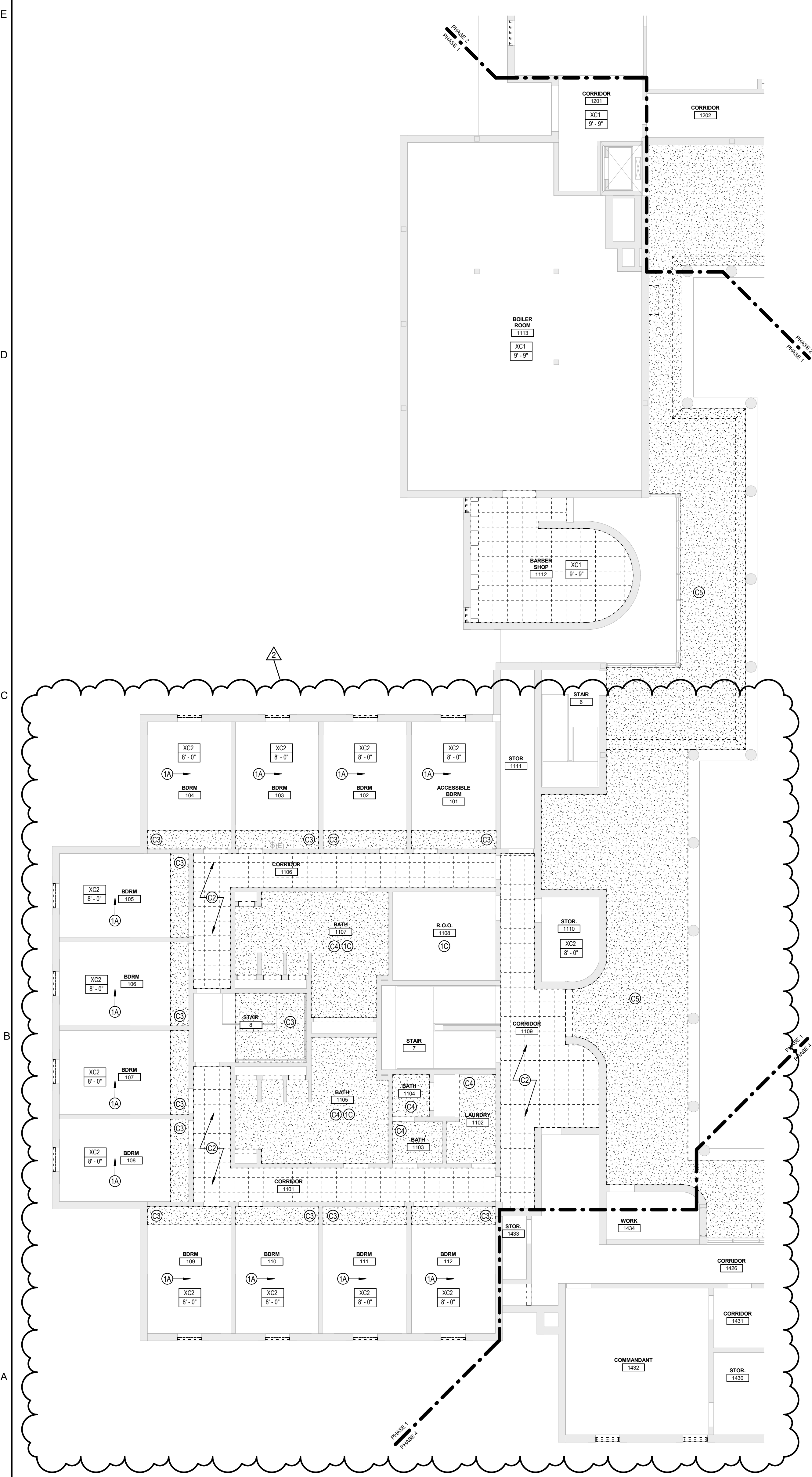
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
- EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
- NEW WALL
- DEMOLISHED WALL

**CEILING TYPES**

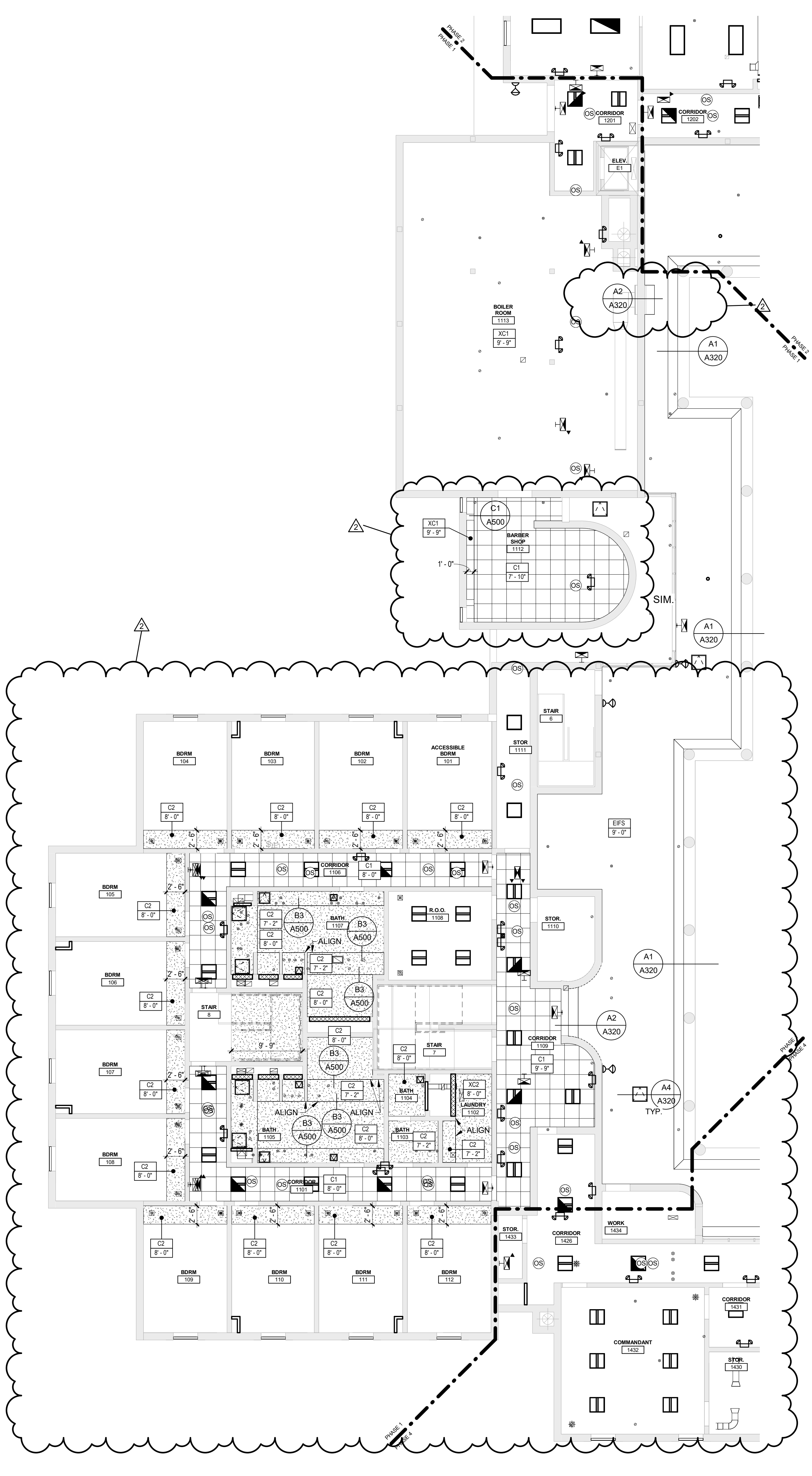
- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
- XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
- C2 GYPSUM BOARD CEILING
- XC2 EXISTING GYPSUM BOARD CEILING
- C3 EXTERIOR EIFS CLG PANEL
- XUF EXISTING UNFINISHED

**CEILING LEGEND**

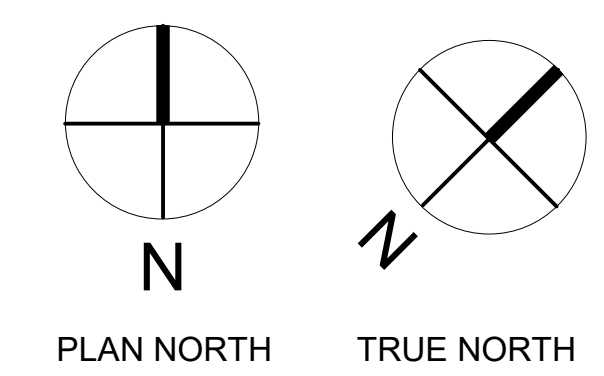
- NEW CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
- 24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
- 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A60-COORD SIZE W/ MEP DWGS.
- CH - CEILING TYPE
- 8'-0" - CEILING HEIGHT



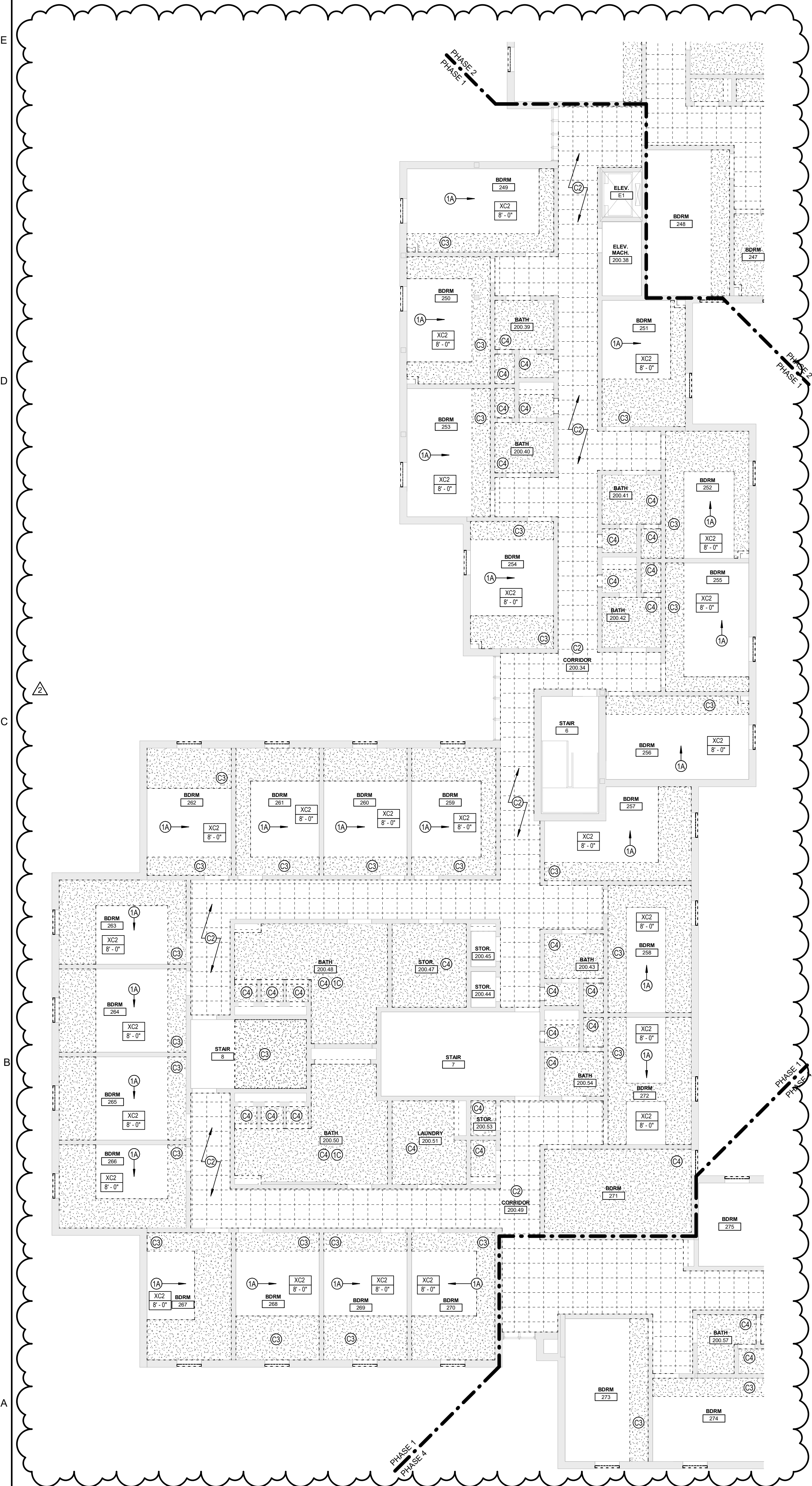
**A1** FIRST FLOOR DEMO REFLECTED CEILING PLAN - PHASE 1  
1/8" = 1'-0"



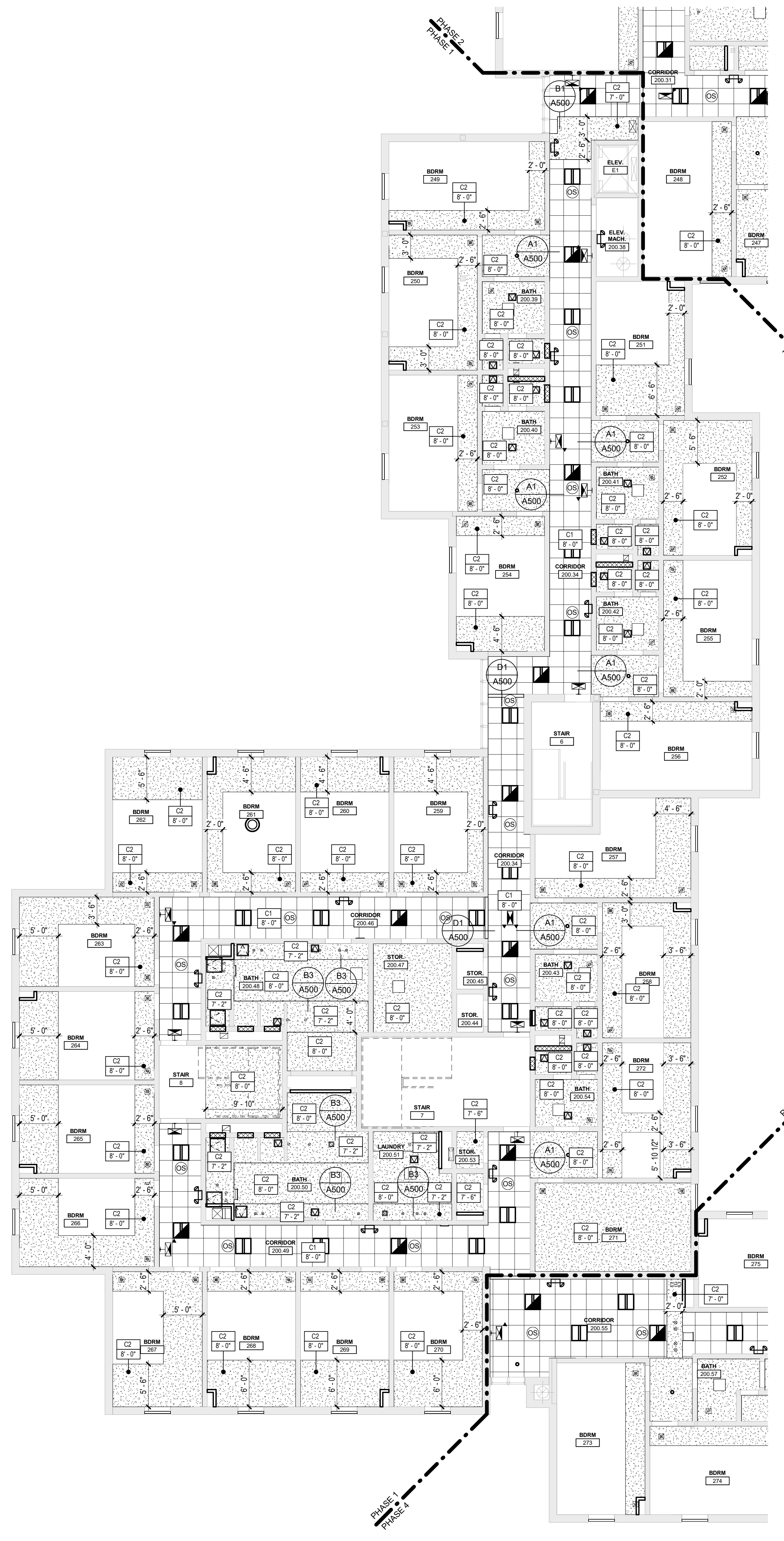
**A2** FIRST FLOOR REFLECTED CEILING PLAN - PHASE 1  
1/8" = 1'-0"







A1 SECOND FLOOR DEMO REFLECTED CEILING PLAN - PHASE 1  
1/8" = 1'-0"



A3 SECOND FLOOR REFLECTED CEILING PLAN - PHASE 1  
1/8" = 1'-0"

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2x2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
  6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES:  
IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
  7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
  8. IN LOCATIONS OF NEW CHASES, REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
  - EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
  - NEW WALL
  - DEMOLISHED WALL

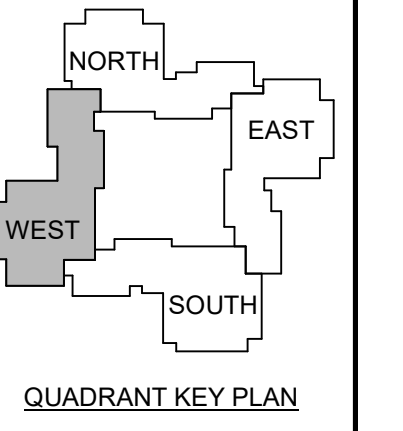
- CEILING TYPES**
- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
  - XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
  - C2 GYPSUM BOARD CEILING
  - XC2 EXISTING GYPSUM BOARD CEILING
  - C3 EXTERIOR EIFS CLG PANEL
  - XUF EXISTING UNFINISHED

- CEILING LEGEND**
- NEW CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
  - \*24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
  - \*24"x24" 18"x18" 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
  - CLG → CEILING TYPE
  - 8'-0" → CEILING HEIGHT



**COPYRIGHT**  
CHA Architecture  
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
No.	Date	Description
Revision Schedule		

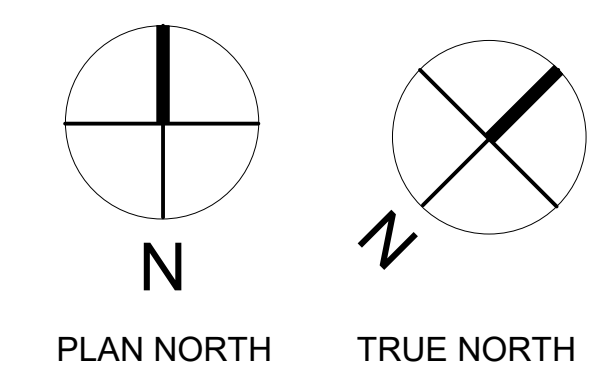
NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
REFLECTED CEILING PLAN AND DEMO PLAN - SECOND FLOOR - PHASE 1

SHEET  
**A111.2**

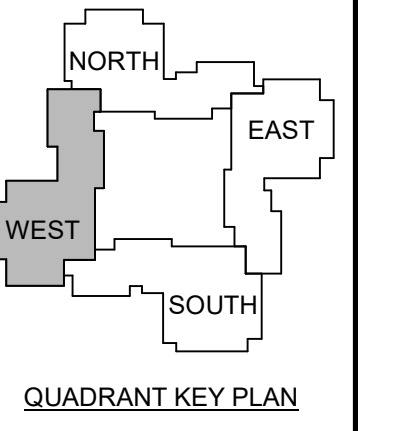






COPYRIGHT CHA Architecture  
Reuse or reproduction of the contents of this document is not permitted without written permission of CHA Architecture, P.C.

**CURTIS HALL RENOVATIONS**  
Maine Maritime Academy,  
1 Pleasant Street, Castine, Maine 04421



2	12-12-23	Addendum #3
N	Date	Description
O.	Revision Schedule	

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 1

SHEET  
**A111.3**

**CEILING NOTES**

1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES.  
IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
8. IN LOCATIONS OF NEW CHASES, REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING, PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

**CEILING DEMOLITION LEGEND**

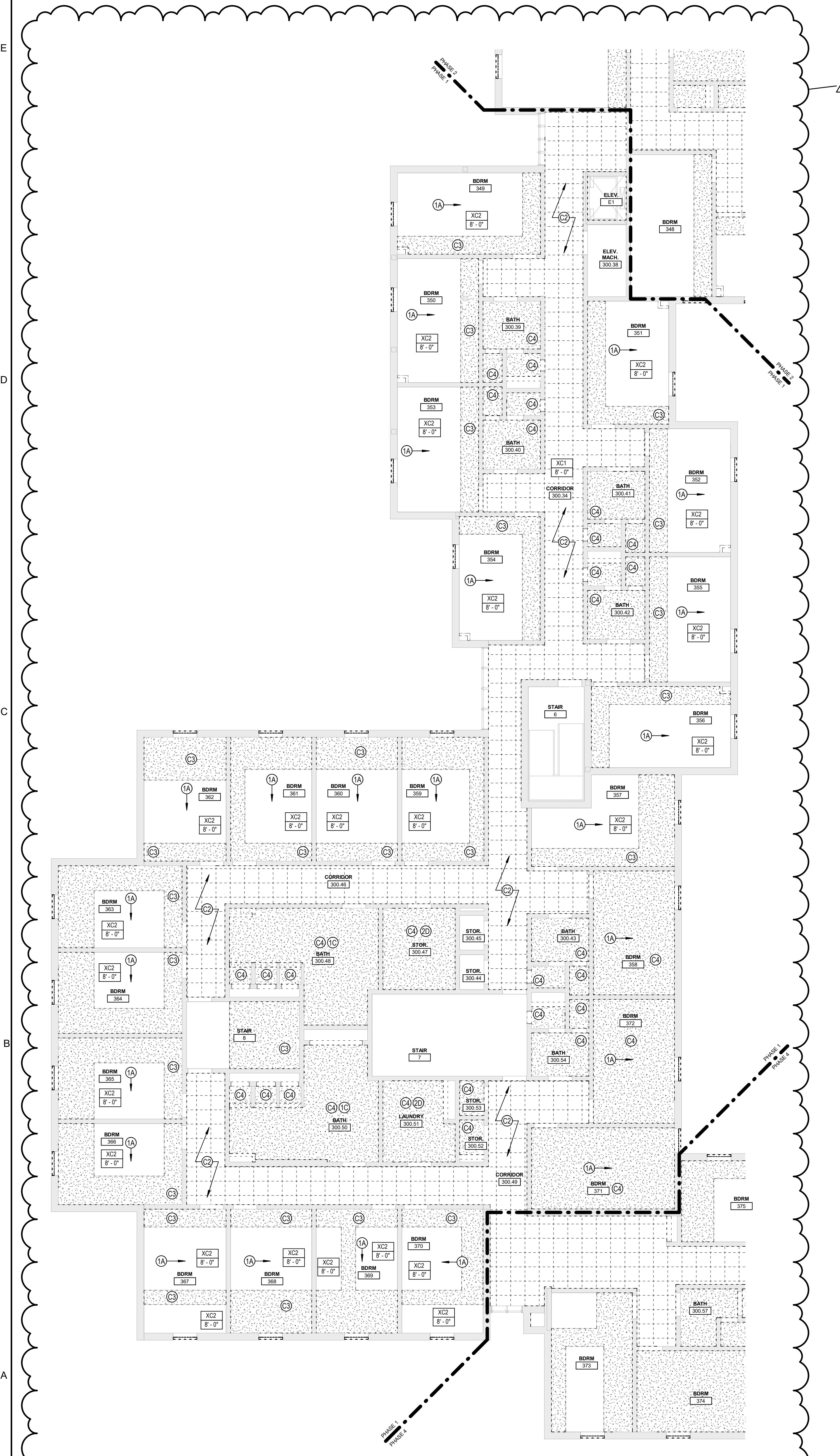
- EXISTING ACT 2 x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
- EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
- NEW WALL
- DEMOLISHED WALL

**CEILING TYPES**

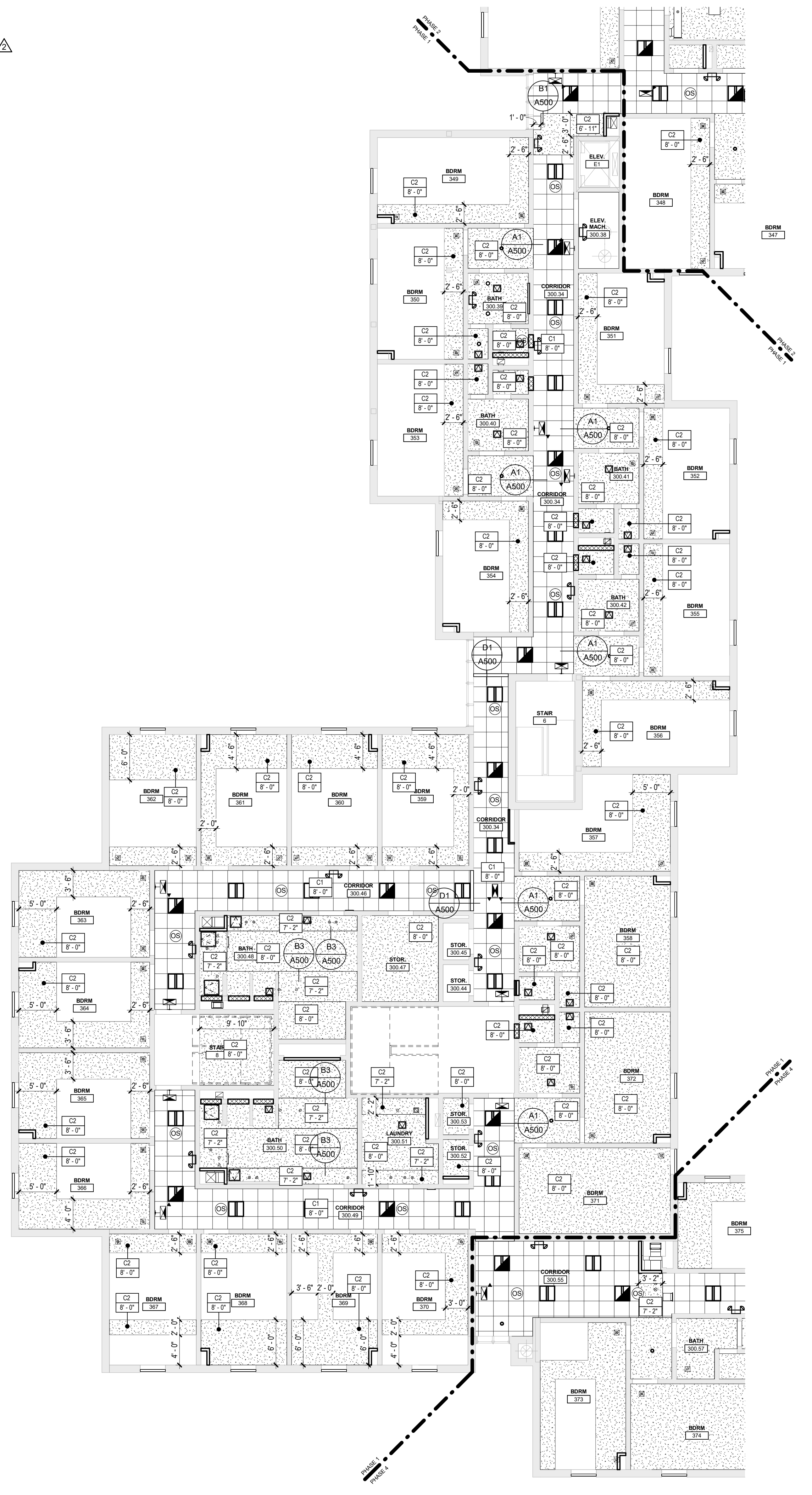
- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
- XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
- C2 GYPSUM BOARD CEILING
- XC2 EXISTING GYPSUM BOARD CEILING
- C3 EXTERIOR EIFS CLG PANEL
- XUF EXISTING UNFINISHED

**CEILING LEGEND**

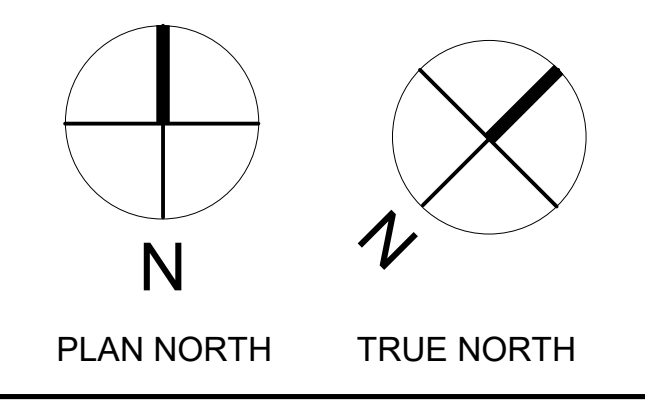
- NEW CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
- 24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
- 24"x24", 18"x18", 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
- CLG - CEILING TYPE
- 8'-0" - CEILING HEIGHT



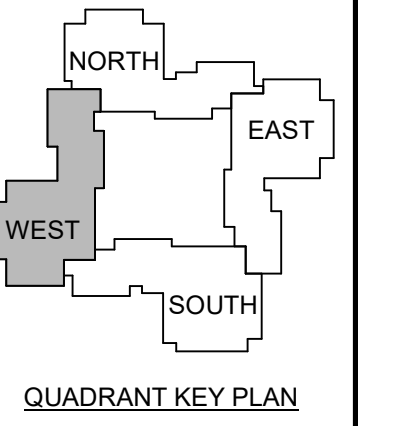
**A1** THIRD FLOOR DEMO REFLECTED CEILING PLAN - PHASE 1  
1/8" = 1'-0"



**A2** THIRD FLOOR REFLECTED CEILING PLAN - PHASE 1  
1/8" = 1'-0"







2	12-12-23	Addendum #3
N	Date	Description
O.	Revision Schedule	

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 REFLECTED CEILING PLAN AND DEMO PLAN - FOURTH FLOOR - PHASE 1

SHEET  
**A111.4**

**CEILING NOTES**

1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
  6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES:  
 IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
  7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
- IN LOCATIONS OF NEW CHASES, REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

**CEILING DEMOLITION LEGEND**

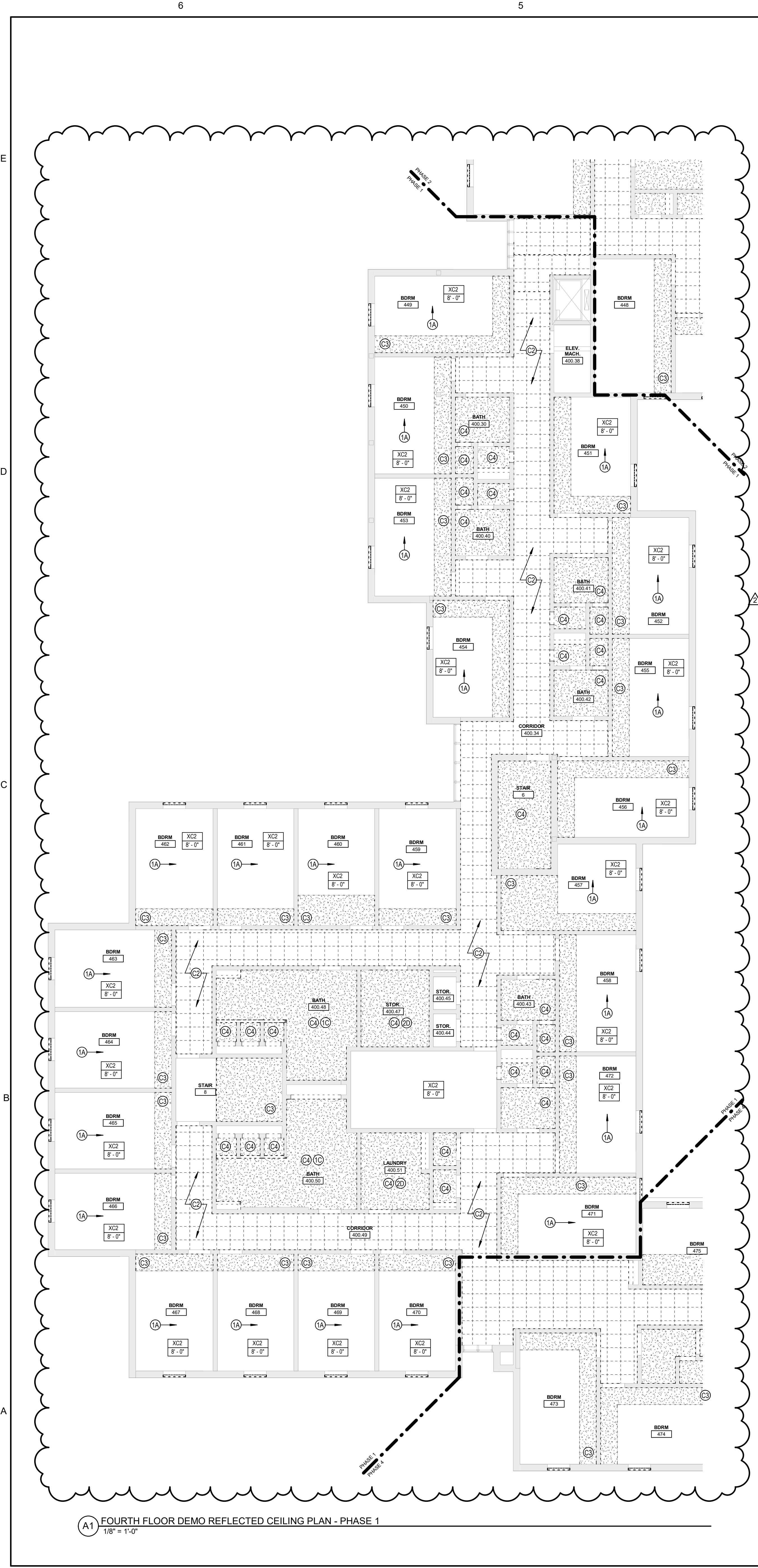
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
- EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
- NEW WALL
- DEMOLISHED WALL

**CEILING TYPES**

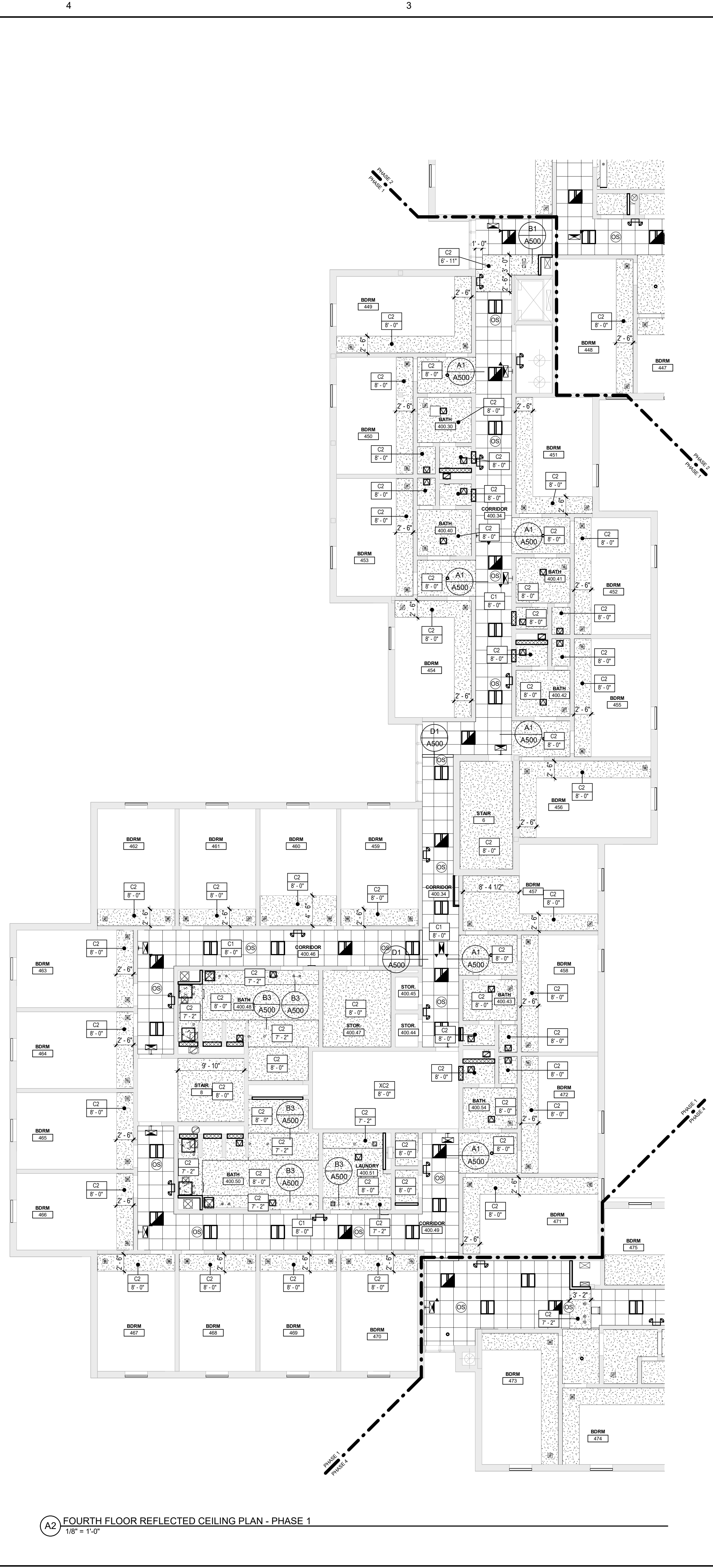
- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
- XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
- C2 GYPSUM BOARD CEILING
- XC2 EXISTING GYPSUM BOARD CEILING
- C3 EXTERIOR EIFS CLG PANEL
- XUF EXISTING UNFINISHED

**CEILING LEGEND**

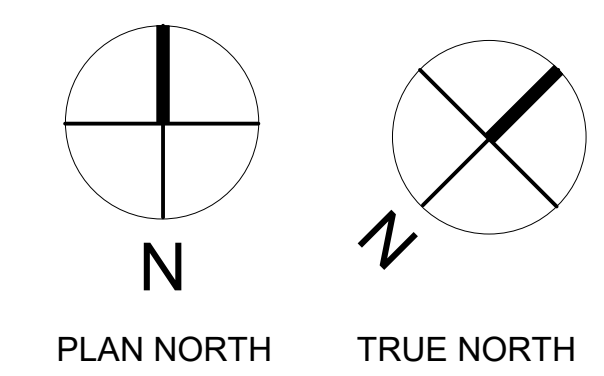
- NEW CLG ACCESS HATCH. CONTRACTOR TO CONFIRM FINAL LOCATIONS
- "24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
- "24"x24", 18"x18", 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
- CH - CEILING TYPE
- 8'-0" - CEILING HEIGHT



**A1** FOURTH FLOOR DEMO REFLECTED CEILING PLAN - PHASE 1  
 1/8" = 1'-0"



**A2** FOURTH FLOOR REFLECTED CEILING PLAN - PHASE 1  
 1/8" = 1'-0"

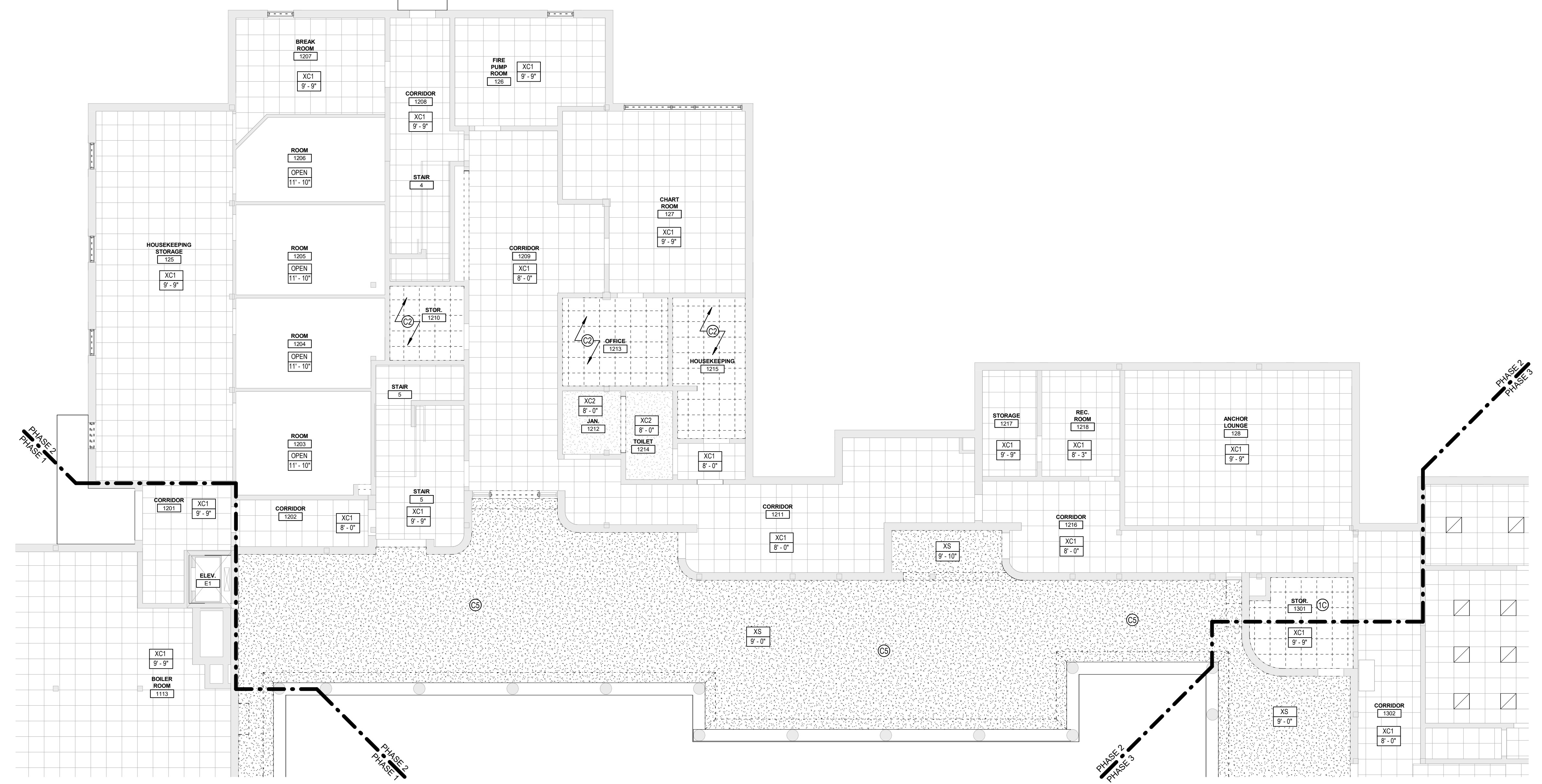




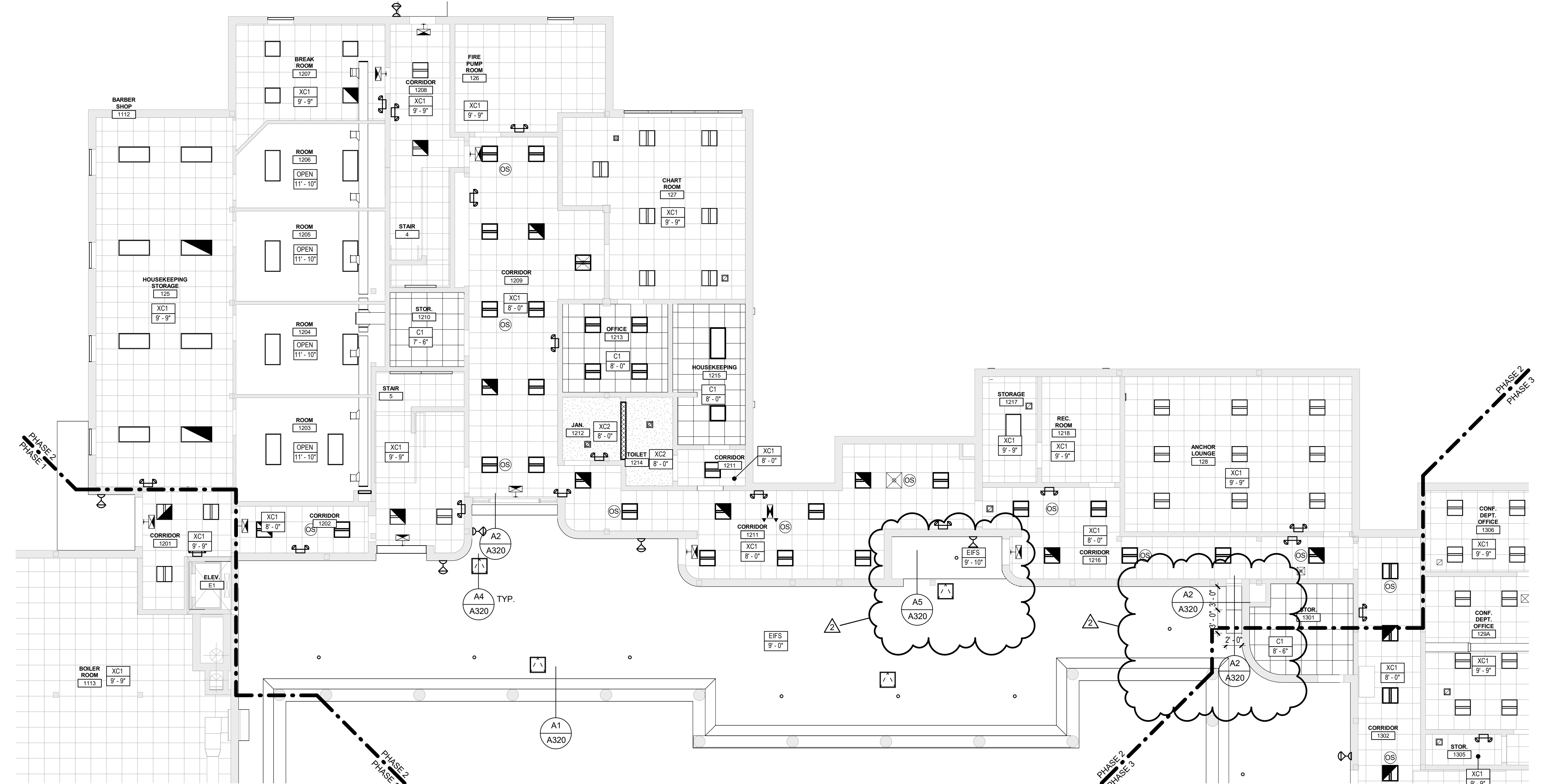
- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
  6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES:  
IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
  7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
  8. AT LOCATIONS OF NEW CHASES REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
  - EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
  - NEW WALL
  - DEMOLISHED WALL
- CEILING TYPES**
- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
  - XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
  - C2 GYPSUM BOARD CEILING
  - XC2 EXISTING GYPSUM BOARD CEILING
  - C3 EXTERIOR EPS CLG PANEL
  - XUF EXISTING UNFINISHED

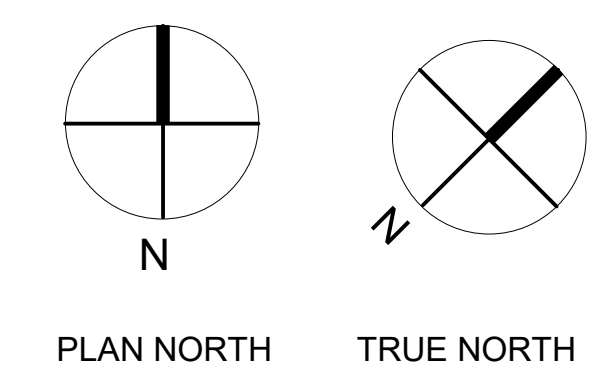
- CEILING LEGEND**
- NEW CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
  - 24" x 24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
  - 24" x 24" 18" x 18", 12" x 12" INTERIOR LOCATIONS PER DETAIL B2/A320-COORD SIZE W/ MEP DWGS.
  - CF - CEILING TYPE
  - 8'-0" - CEILING HEIGHT

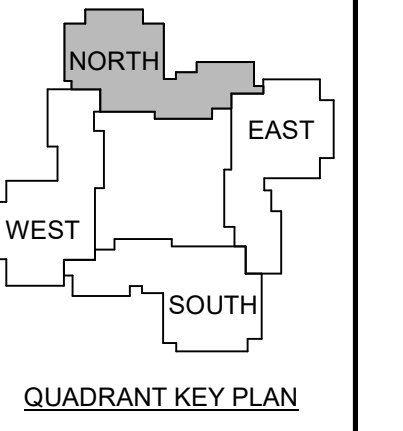


**B1** FIRST FLOOR DEMO REFLECTED CEILING PLAN - PHASE 2  
1/8" = 1'-0"



**A1** FIRST FLOOR REFLECTED CEILING PLAN - PHASE 2  
1/8" = 1'-0"





No.	Date	Description
2	12-12-23	Addendum #3

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

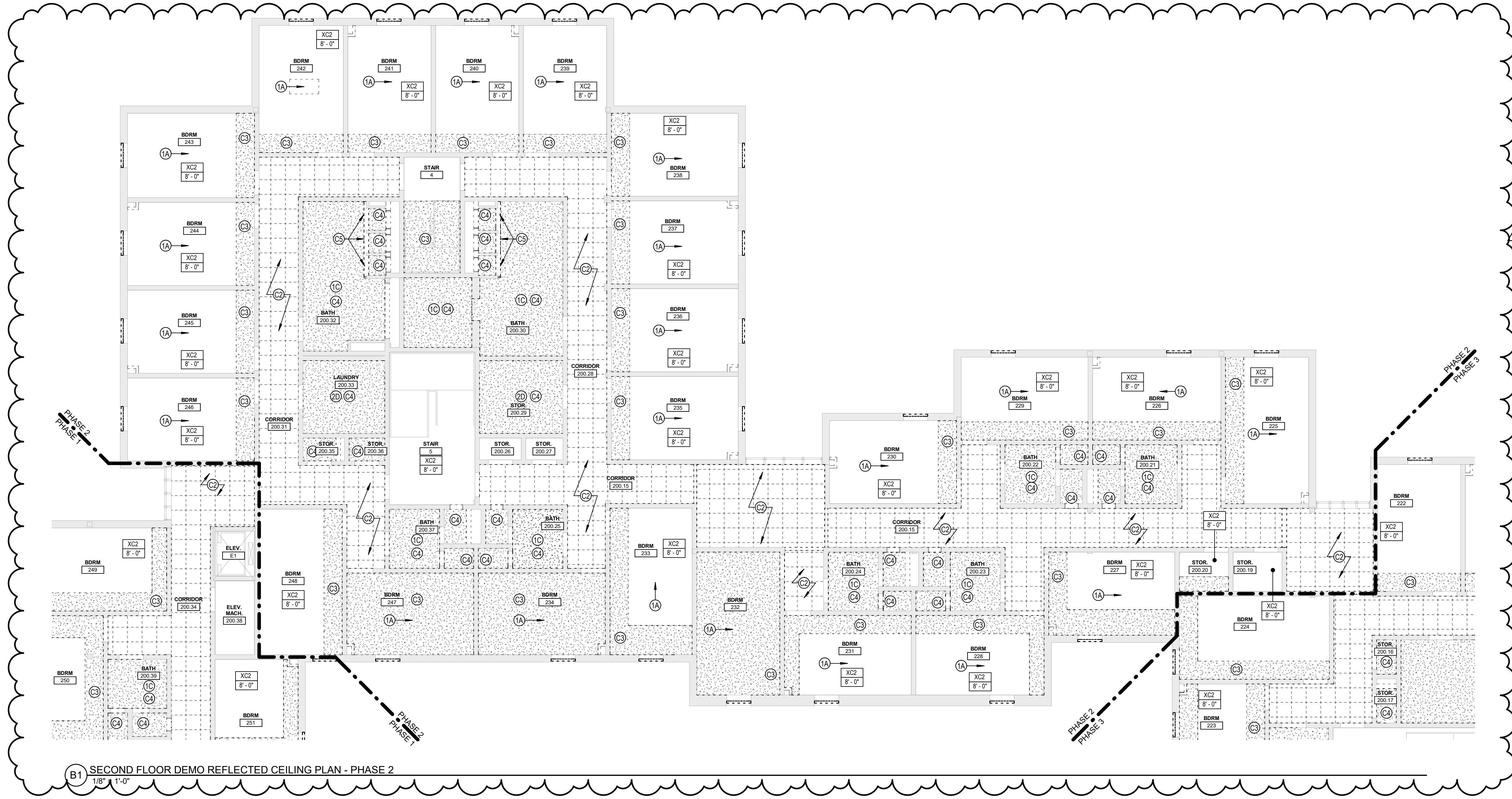
TITLE  
REFLECTED CEILING PLAN AND DEMO FLOOR PLAN - SECOND FLOOR - PHASE 2

SHEET  
**A112.2**

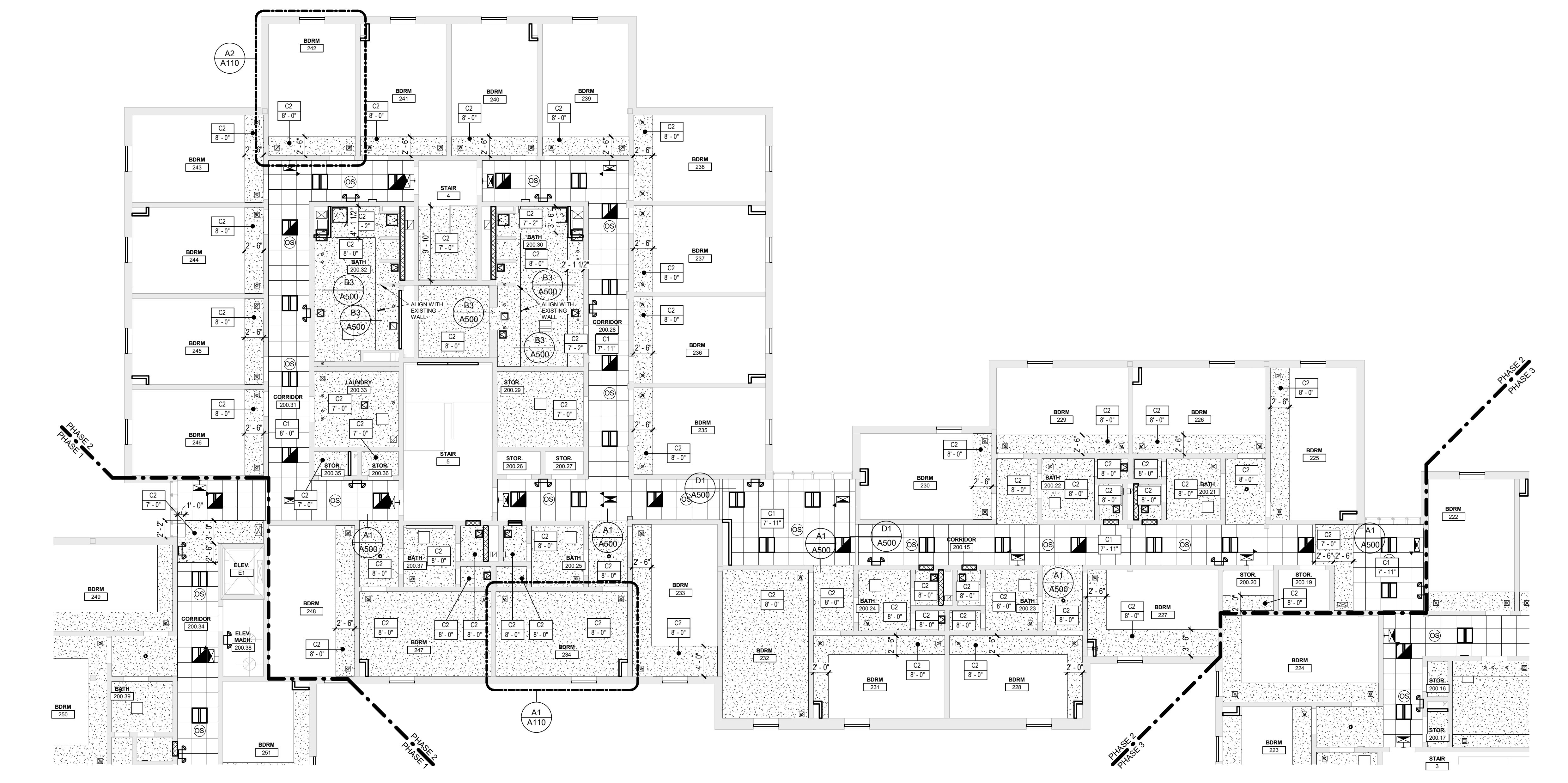
- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE LOCATIONS.
  6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES:  
IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
  7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
8. AT LOCATIONS OF NEW PHASES, REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
  - EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
  - NEW WALL
  - DEMOLISHED WALL
- CEILING TYPES**
- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
  - XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
  - C2 GYPSUM BOARD CEILING
  - XC2 EXISTING GYPSUM BOARD CEILING
  - C3 EXTERIOR EIFS CLG PANEL
  - XLF EXISTING UNFINISHED

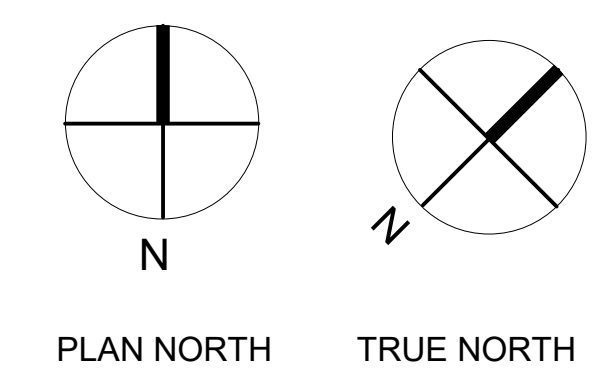
- CEILING LEGEND**
- NEW CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
  - \*24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
  - \*24"x24", 18"X18", 12"X12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
  - CH 8'-0" CEILING TYPE
  - 8'-0" CEILING HEIGHT



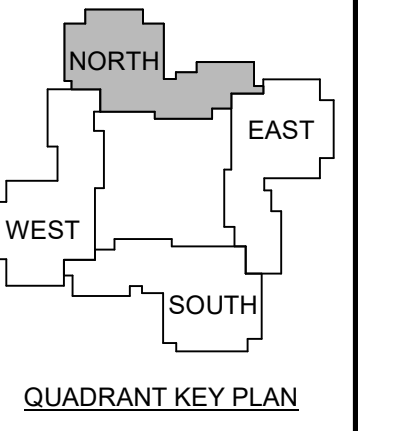
**B1** SECOND FLOOR DEMO REFLECTED CEILING PLAN - PHASE 2  
1/8" = 1'-0"



**A1** SECOND FLOOR REFLECTED CEILING PLAN - PHASE 2  
1/8" = 1'-0"







2	12-12-23	Addendum #3
N	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 2

SHEET  
**A112.3**

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
  6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES:  
IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
  7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
  8. IN LOCATIONS OF NEW CHASES, REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

**CEILING DEMOLITION LEGEND**

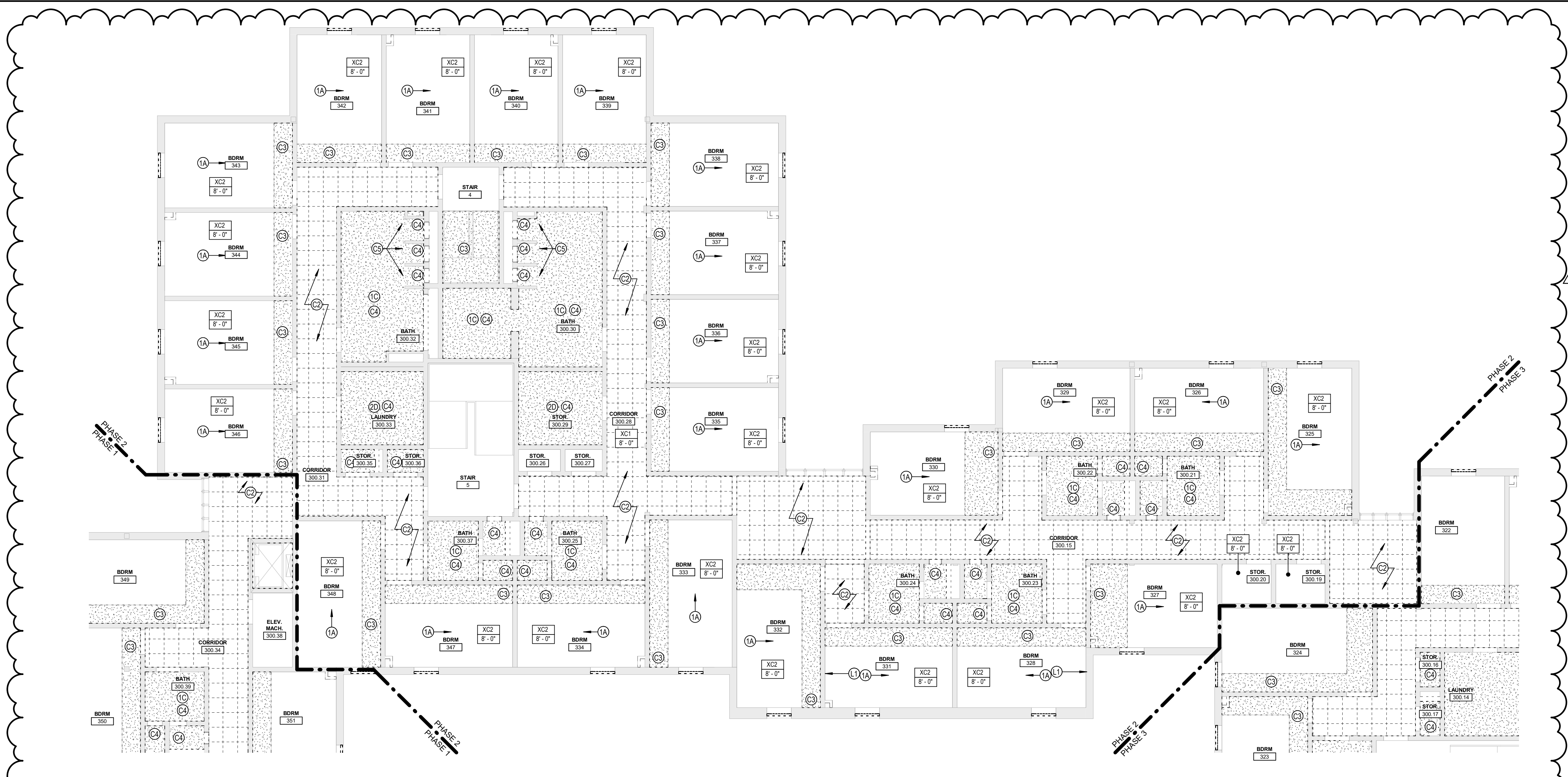
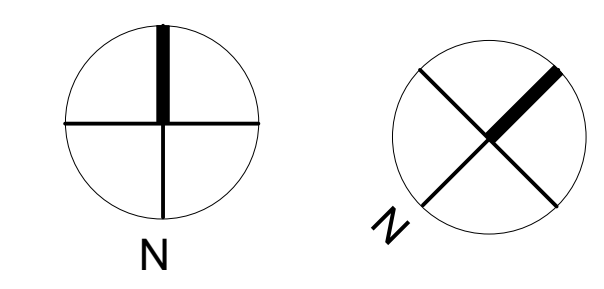
- EXISTING ACT 2 x 2 TO BE DEMOLISHED ACOUSTIC CEILING TILES REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
- EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
- NEW WALL
- DEMOLISHED WALL

**CEILING TYPES**

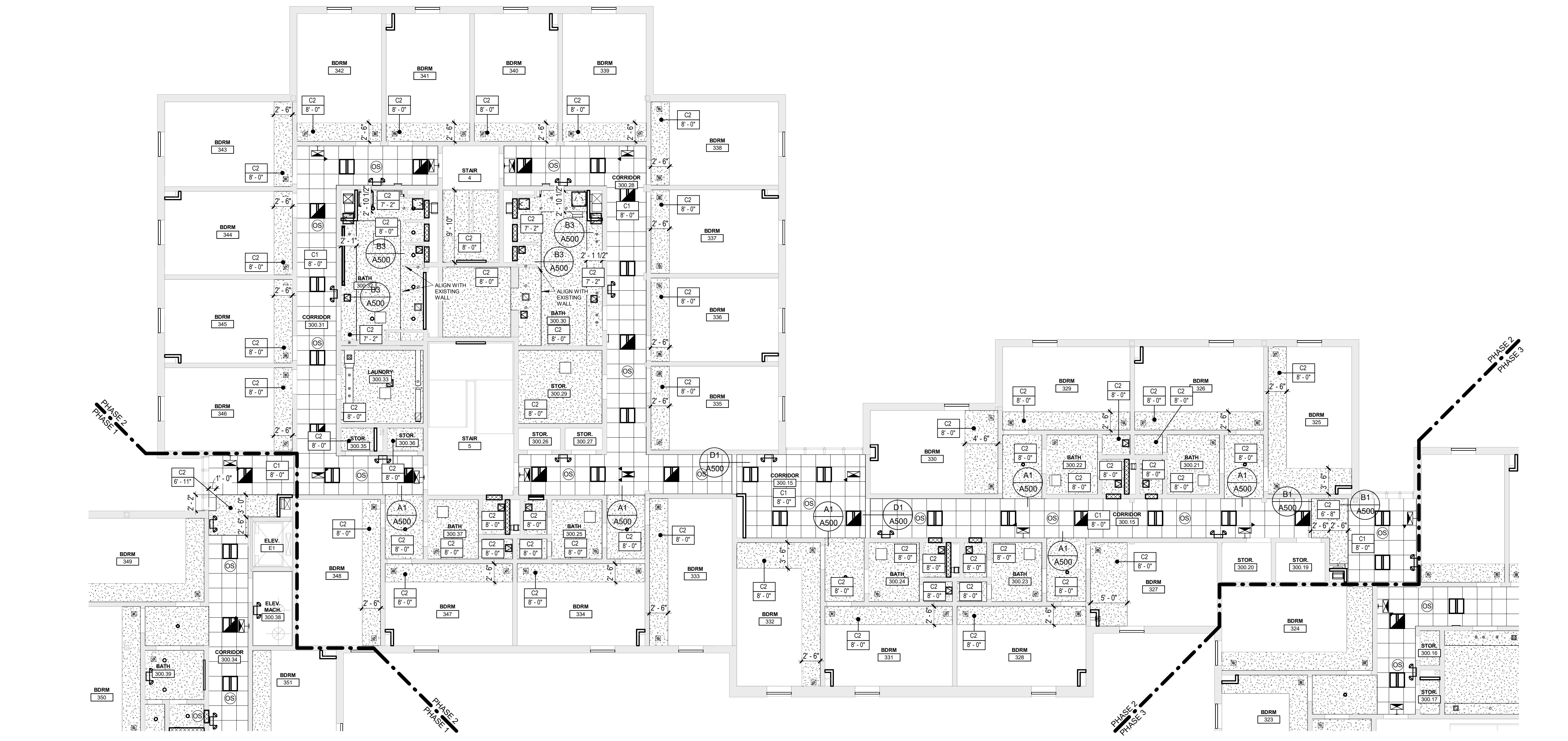
- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
- XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
- C2 GYPSUM BOARD CEILING
- XC2 EXISTING GYPSUM BOARD CEILING
- C3 EXTERIOR EIFS CLG PANEL
- XJF EXISTING UNFINISHED

**CEILING LEGEND**

- NEW CLG ACCESS HATCH. CONTRACTOR TO CONFIRM FINAL LOCATIONS
- \*24"X24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
- \*24"X24" 18"X18" 12"X12" INTERIOR LOCATIONS PER DETAIL S2/A500-COORD SIZE W/ MEP DWGS.
- CF - CEILING TYPE
- 8'-0" - CEILING HEIGHT



**B1** THIRD FLOOR DEMO REFLECTED CEILING PLAN - PHASE 2  
1/8" = 1'-0"



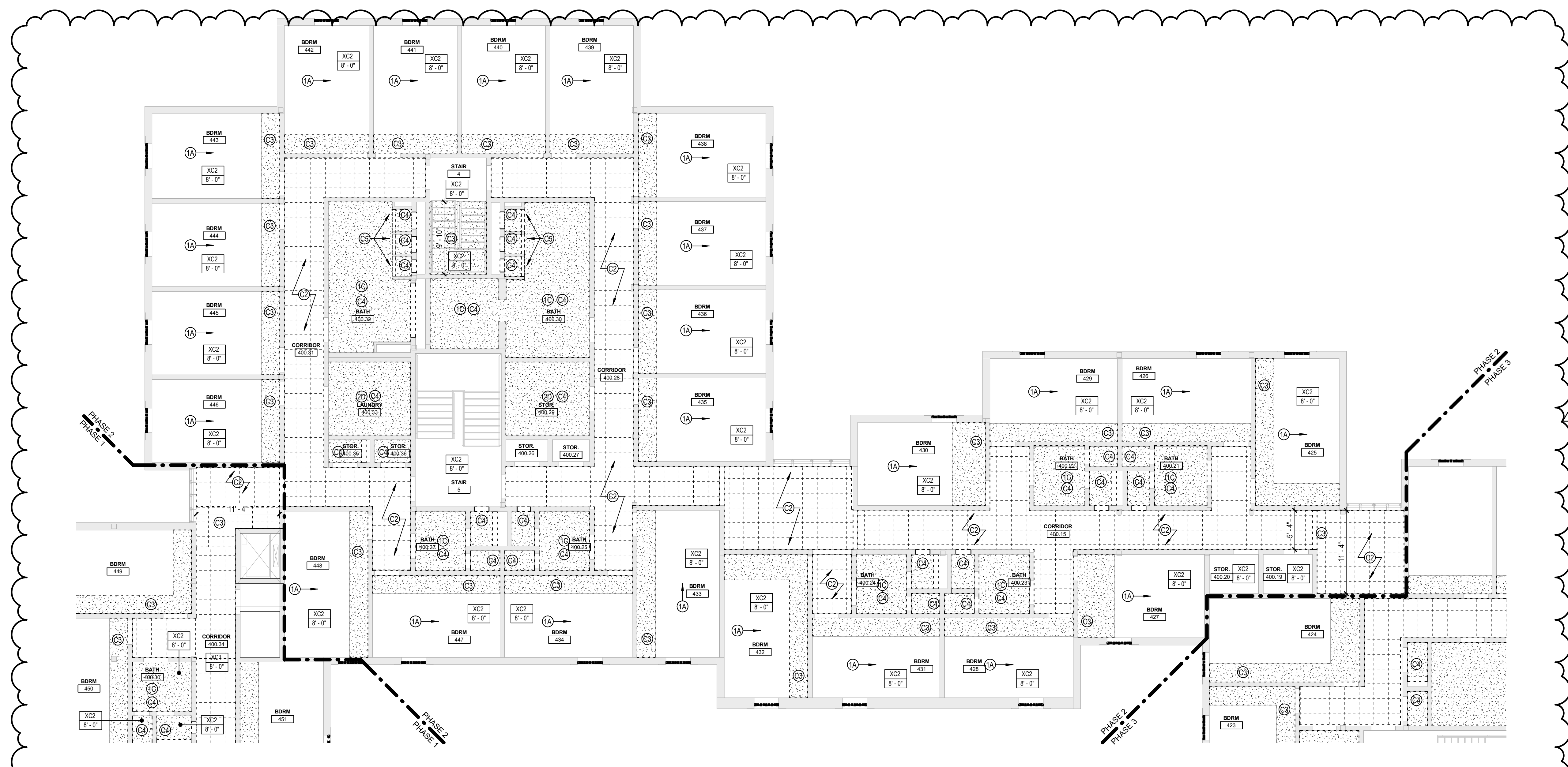
**A1** THIRD FLOOR REFLECTED CEILING PLAN - PHASE 2  
1/8" = 1'-0"



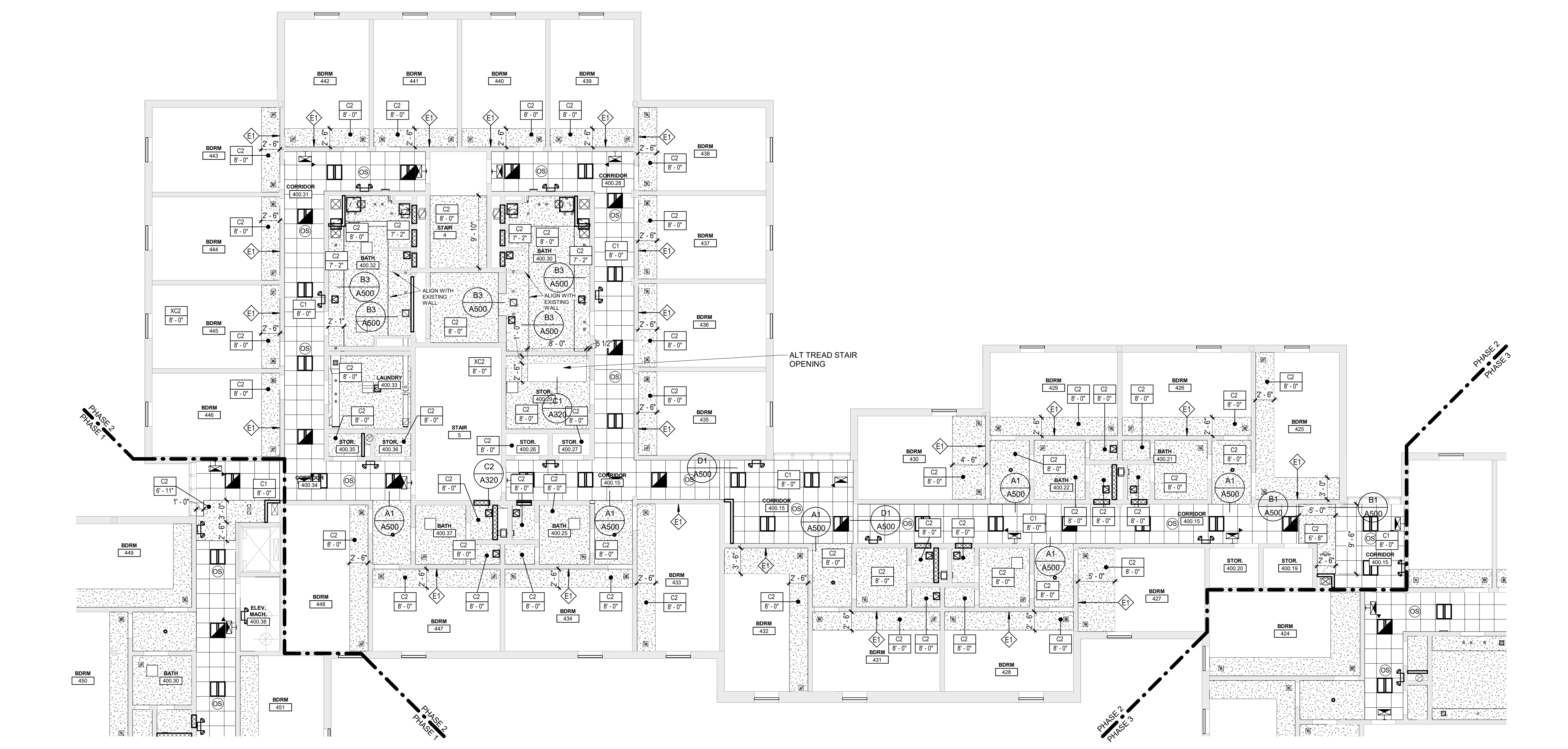
- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
  6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES:  
IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
  7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
  8. IN LOCATIONS OF NEW CHASES, REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2 x 2 TO BE DEMOLISHED ACOUSTIC CEILING TILE. REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
  - EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
  - NEW WALL
  - DEMOLISHED WALL
- CEILING TYPES**
- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
  - XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
  - C2 GYPSUM BOARD CEILING
  - XC2 EXISTING GYPSUM BOARD CEILING
  - C3 EXTERIOR EIFS CLG PANEL
  - XJF EXISTING UNFINISHED

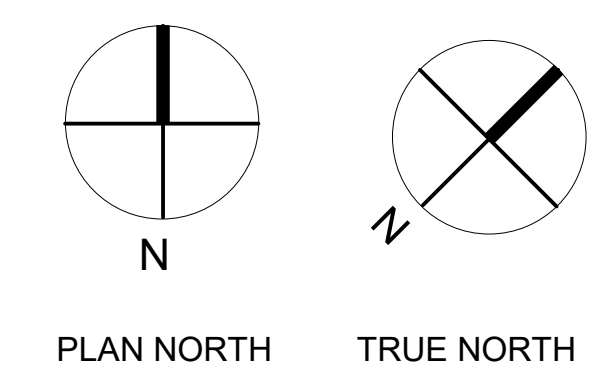
- CEILING LEGEND**
- NEW CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
  - \*24"X24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
  - \*24"X24" 18"X18" 12"X12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
  - CH - CEILING TYPE
  - 8'-0" - CEILING HEIGHT

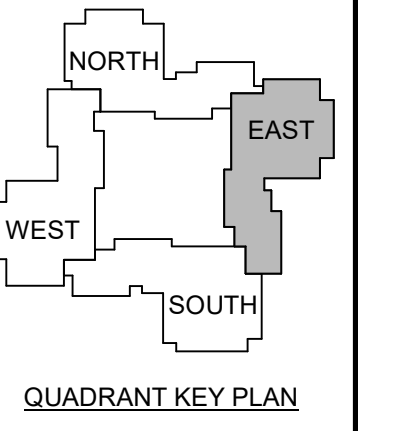


**B1** FOURTH FLOOR DEMO REFLECTED CEILING PLAN - PHASE 2  
1/8" = 1'-0"



**A1** FOURTH FLOOR REFLECTED CEILING PLAN - PHASE 2  
1/8" = 1'-0"





2	12-12-23	Addendum #3
N	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO. 076982

ISSUE  
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
11/22/2023

TITLE  
REFLECTED CEILING PLAN AND DEMO PLAN - FIRST FLOOR - PHASE 3

SHEET  
**A113.1**

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL, AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
  2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
  3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
  4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
  5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.
  6. REFER TO ADD ALTERNATE DESCRIPTIONS ON SHEET A000.1, WHERE APPLICABLE (ACCORDING TO ALTERNATES SELECTED), THE FOLLOWING APPLIES:  
IN NEW GYP CEILINGS, CENTER FIXTURES IN ROOM, UNLESS OTHERWISE NOTED. IN EXISTING GYP CEILINGS, INSTALL FIXTURE AT LOCATION OF REMOVED FIXTURE - PATCH AND PAINT CEILING AROUND FIXTURE AS REQUIRED. FIXTURES IN SHOWER STALLS, TOILET STALLS, AND ELSEWHERE SHOULD BE CENTERED AND COORDINATED WITH CEILING ACCESS PANELS.
  7. REFER TO SHEET A110 FOR ENLARGED TYPICAL LIGHT FIXTURE LOCATIONS IN SELECT ROOMS.
  8. IN LOCATIONS OF NEW CHASES, REMOVE EXISTING CEILING WHERE NEW CHASE MEETS CEILING. PATCH EXISTING CEILING TO FACE OF GYPSUM FURRING WALL ENCLOSING CHASE.

**CEILING DEMOLITION LEGEND**

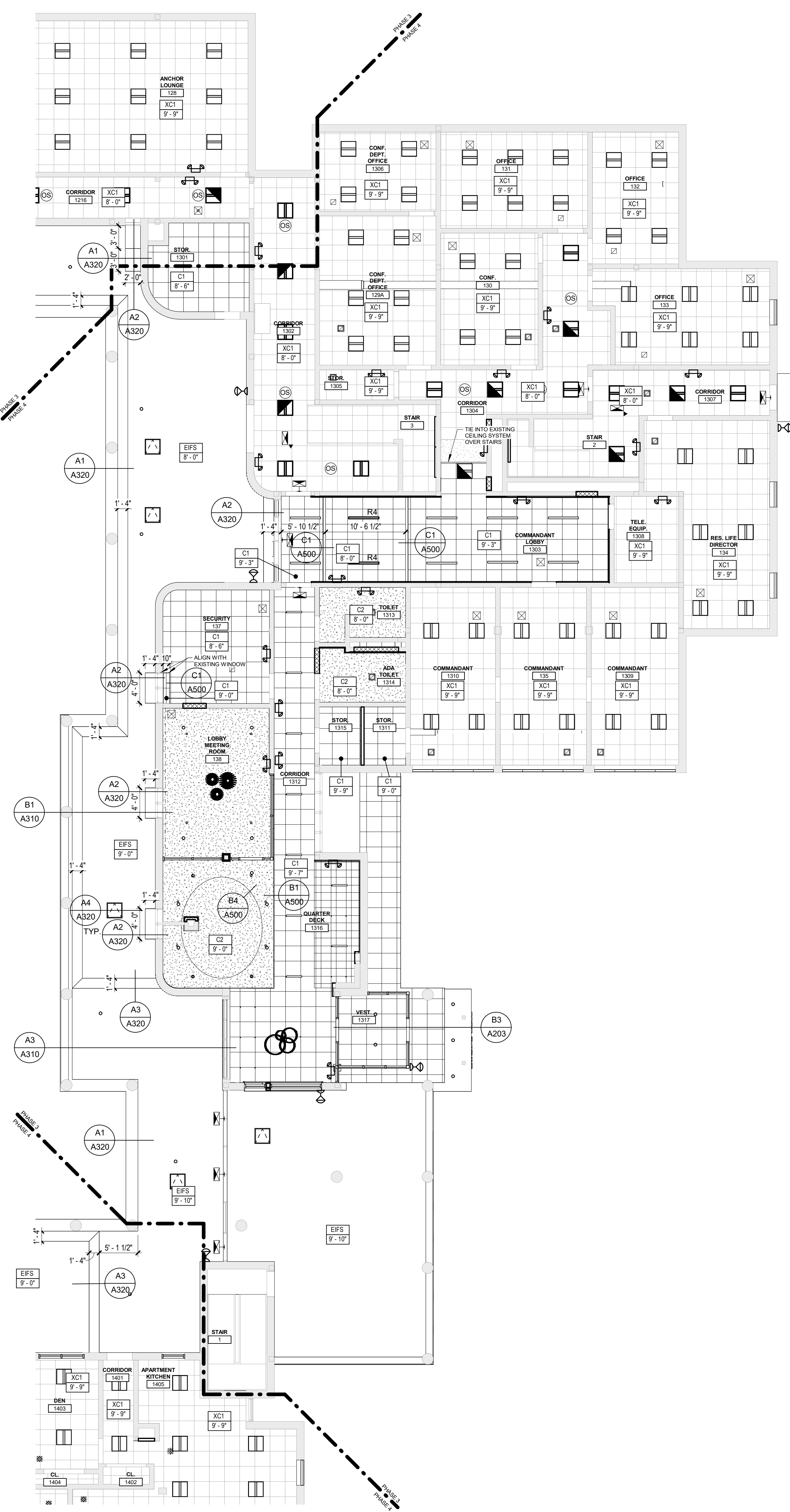
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE REFER TO KEYNOTES FOR INFO ON ENTIRE SYSTEMS BEING REMOVED VS TILES ONLY BEING REMOVED AND PUT BACK
- EXISTING GYPSUM BOARD TO BE DEMOLISHED CEILING FRAMING TO REMAIN WHERE POSSIBLE
- NEW WALL
- DEMOLISHED WALL

**CEILING TYPES**

- C1 NEW 2' x 2' ACOUSTIC CEILING TILE
- XC1 EXISTING 2' x 2' ACOUSTIC CEILING TILE
- C2 GYPSUM BOARD CEILING
- XC2 EXISTING GYPSUM BOARD CEILING
- C3 EXTERIOR EIFS CLG PANEL
- XUF EXISTING UNFINISHED

**CEILING LEGEND**

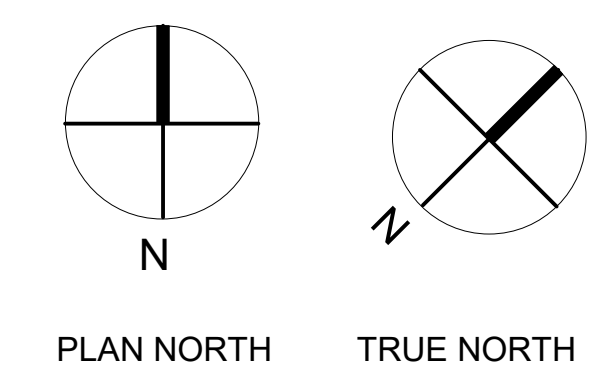
- NEW CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
- 24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
- 24"x24" 18"x18" 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
- CF - CEILING TYPE
- 8'-0" - CEILING HEIGHT



**A1** FIRST FLOOR REFLECTED CEILING PLAN - PHASE 3  
1/8" = 1'-0"



**A2** FIRST FLOOR DEMO REFLECTED CEILING PLAN - PHASE 3  
1/8" = 1'-0"





**CURTIS HALL RENOVATIONS**  
 Maine Maritime Academy,  
 1 Pleasant Street, Castine, Maine 04421

2	12-12-23	Addendum #3
1	12-5-23	Addendum #1
No.	Date	Description
Revision Schedule		

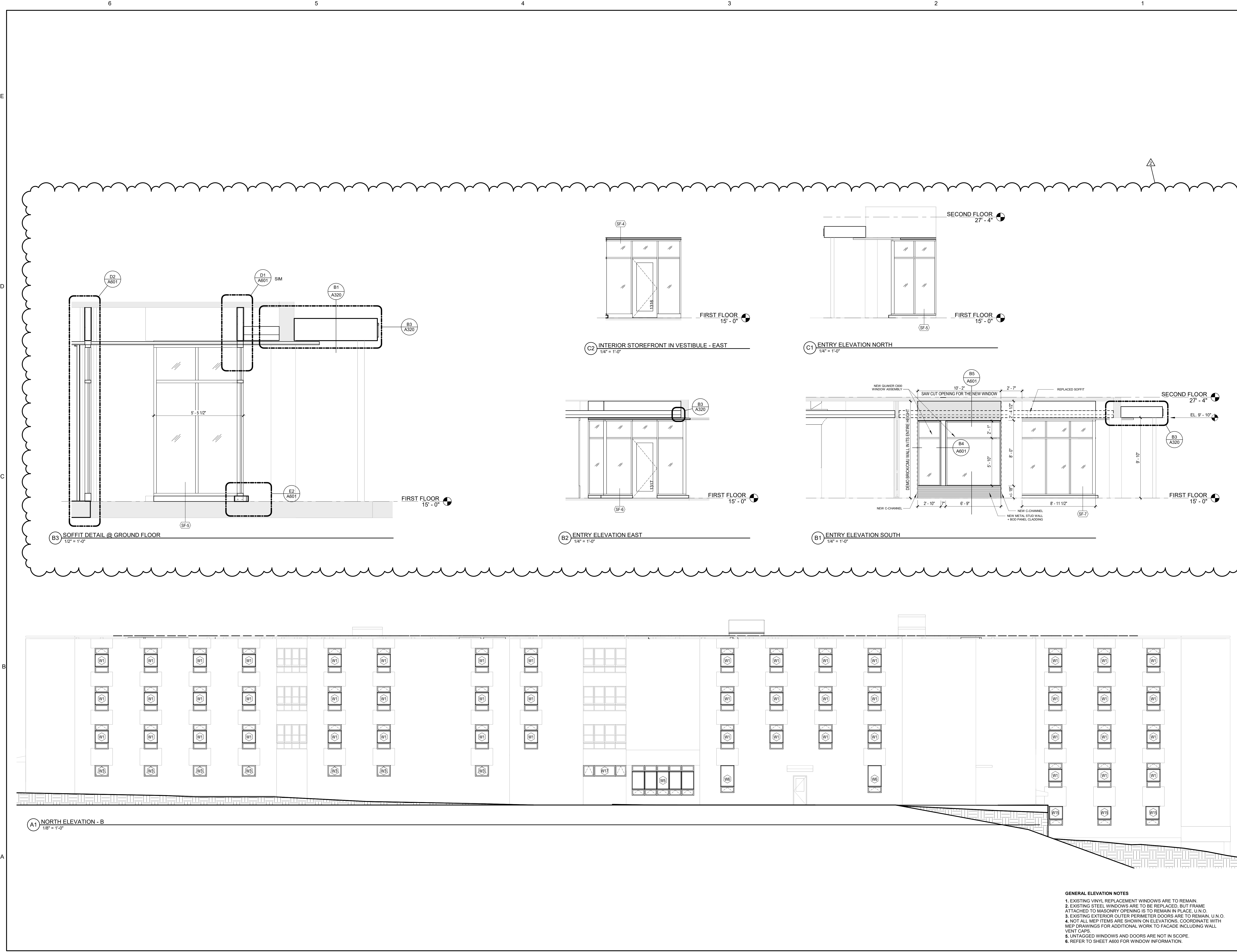
NOT FOR CONSTRUCTION

JOB NO.  
076982

ISSUE  
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING  
 11/22/2023

TITLE  
 EXTERIOR ELEVATIONS AND ENLARGED ELEVATIONS OF LOBBY

SHEET  
**A203**



- GENERAL ELEVATION NOTES**
1. EXISTING VINYL REPLACEMENT WINDOWS ARE TO REMAIN.
  2. EXISTING STEEL WINDOWS ARE TO BE REPLACED, BUT FRAME ATTACHED TO MASONRY OPENING IS TO REMAIN IN PLACE, U.N.O.
  3. EXISTING EXTERIOR OUTER PERIMETER DOORS ARE TO REMAIN, U.N.O.
  4. NOT ALL MEP ITEMS ARE SHOWN ON ELEVATIONS. COORDINATE WITH MEP DRAWINGS FOR ADDITIONAL WORK TO FACADE INCLUDING WALL VENT CAPS.
  5. UNTAGGED WINDOWS AND DOORS ARE NOT IN SCOPE.
  6. REFER TO SHEET A600 FOR WINDOW INFORMATION.