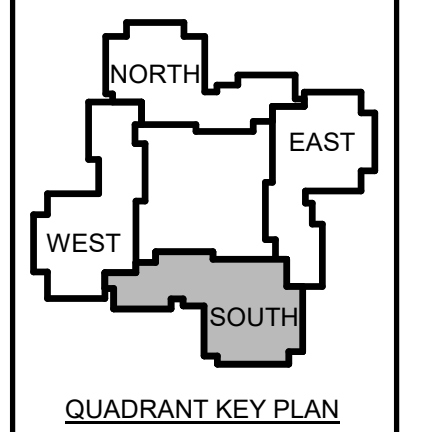


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1	12-1	Addendum #3
5-23		
No.	Date	Description
Revision Schedule		

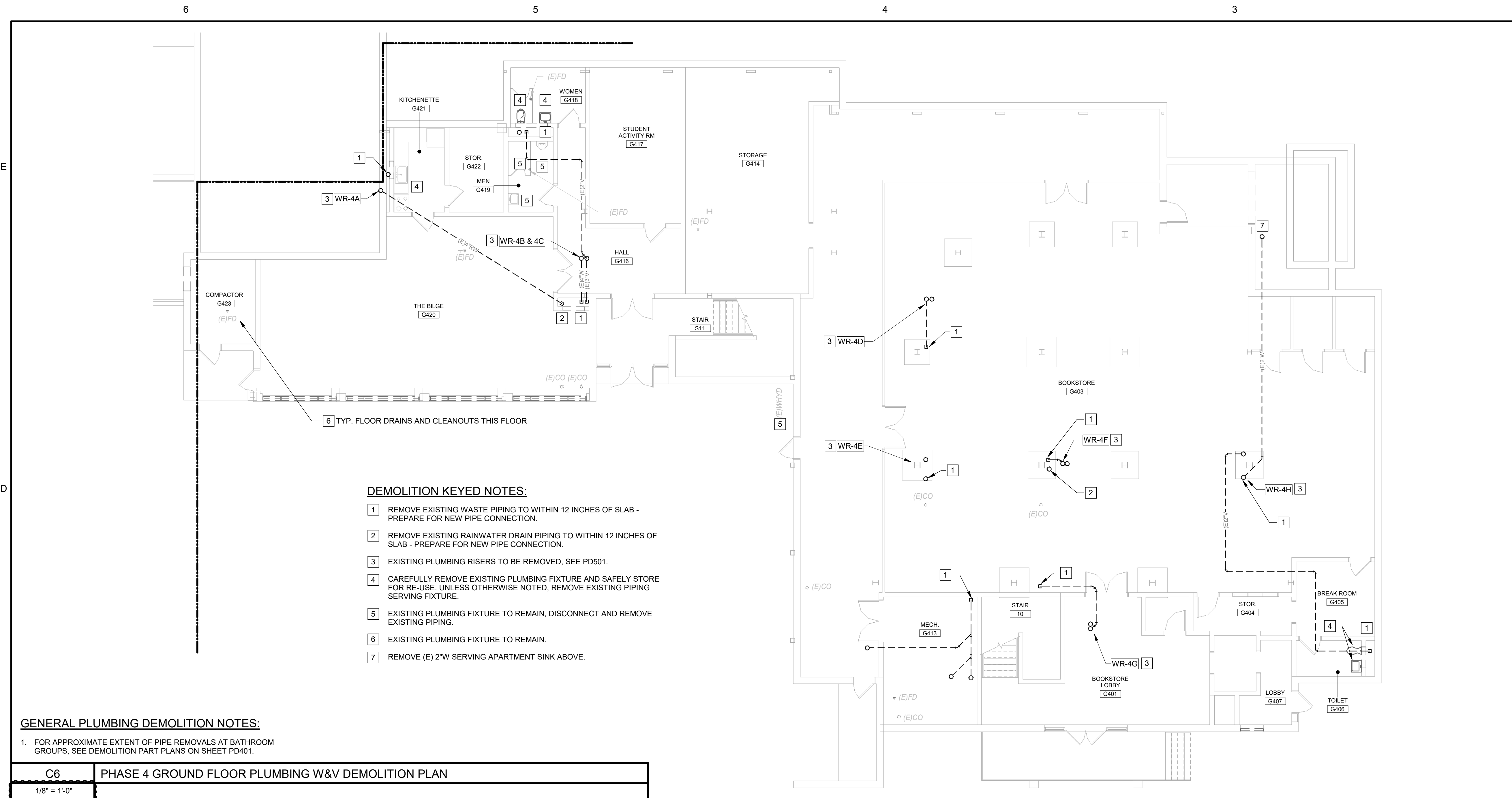
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076982

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11/22/2023

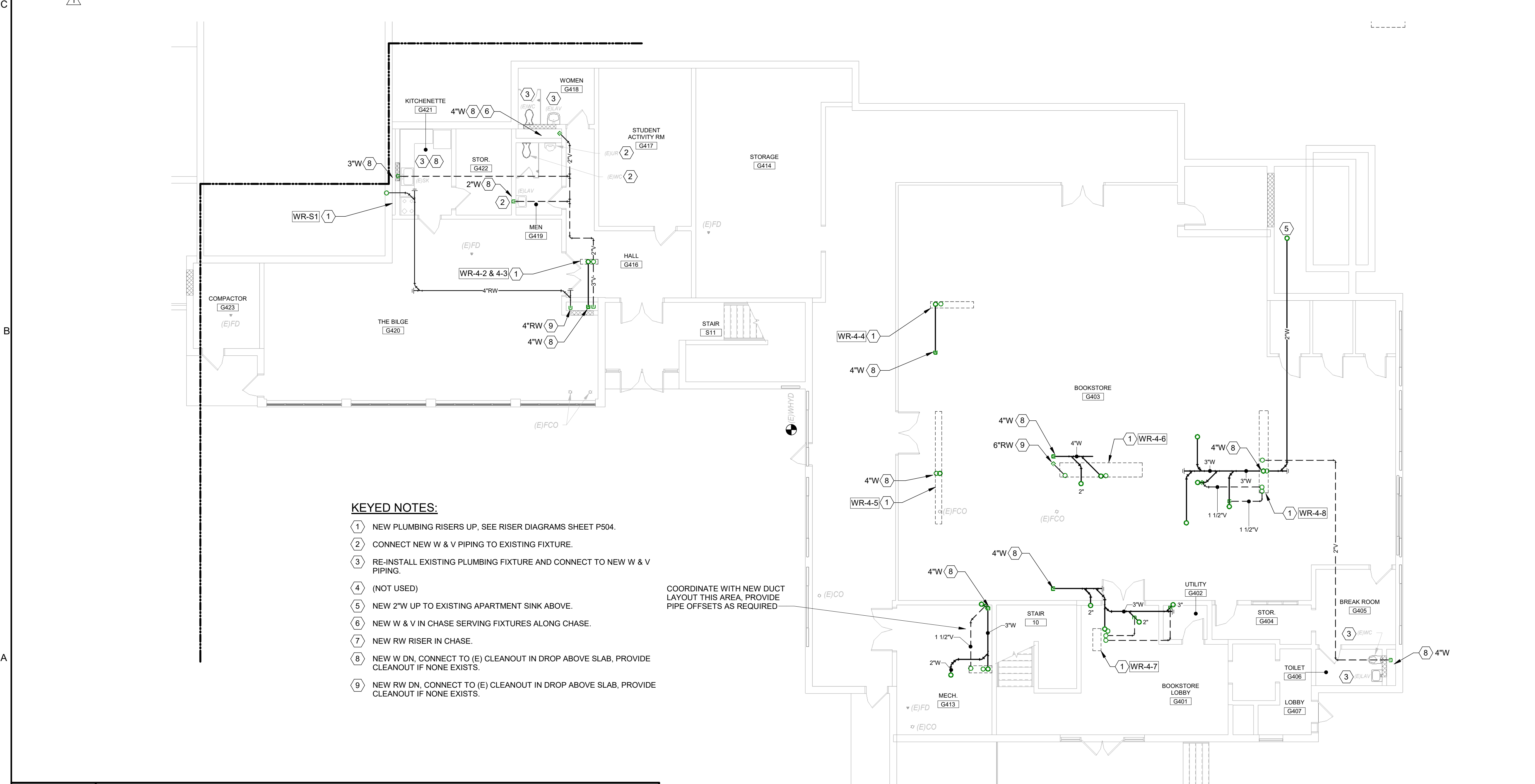
TITLE
PHASE 4 GROUND FLOOR W&V DEMOLITION & NEW PLANS

SHEET
PL104.G



GENERAL PLUMBING DEMOLITION NOTES:
 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

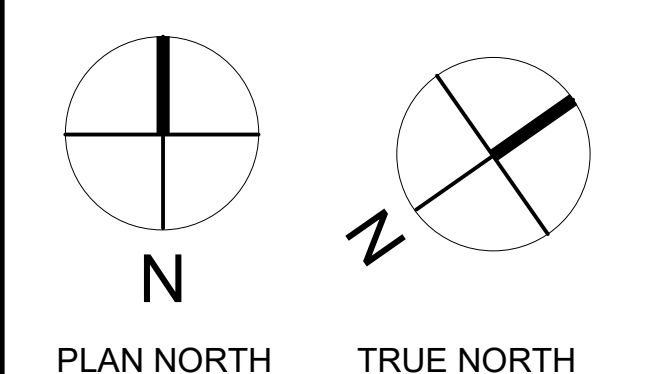
C6 PHASE 4 GROUND FLOOR PLUMBING W&V DEMOLITION PLAN
 1/8" = 1'-0"

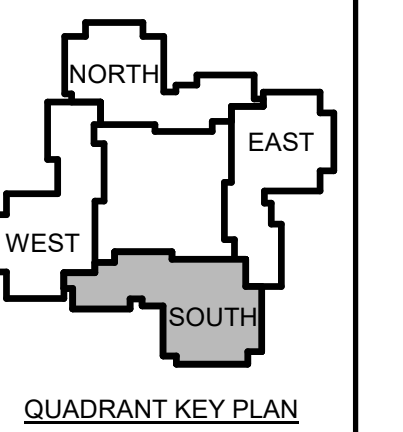


A6 PHASE 4 GROUND FLOOR PLUMBING W&V PLAN
 1/8" = 1'-0"

GENERAL PLUMBING NOTES:
 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES. AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

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1	12-1	Addendum #3
	5-23	

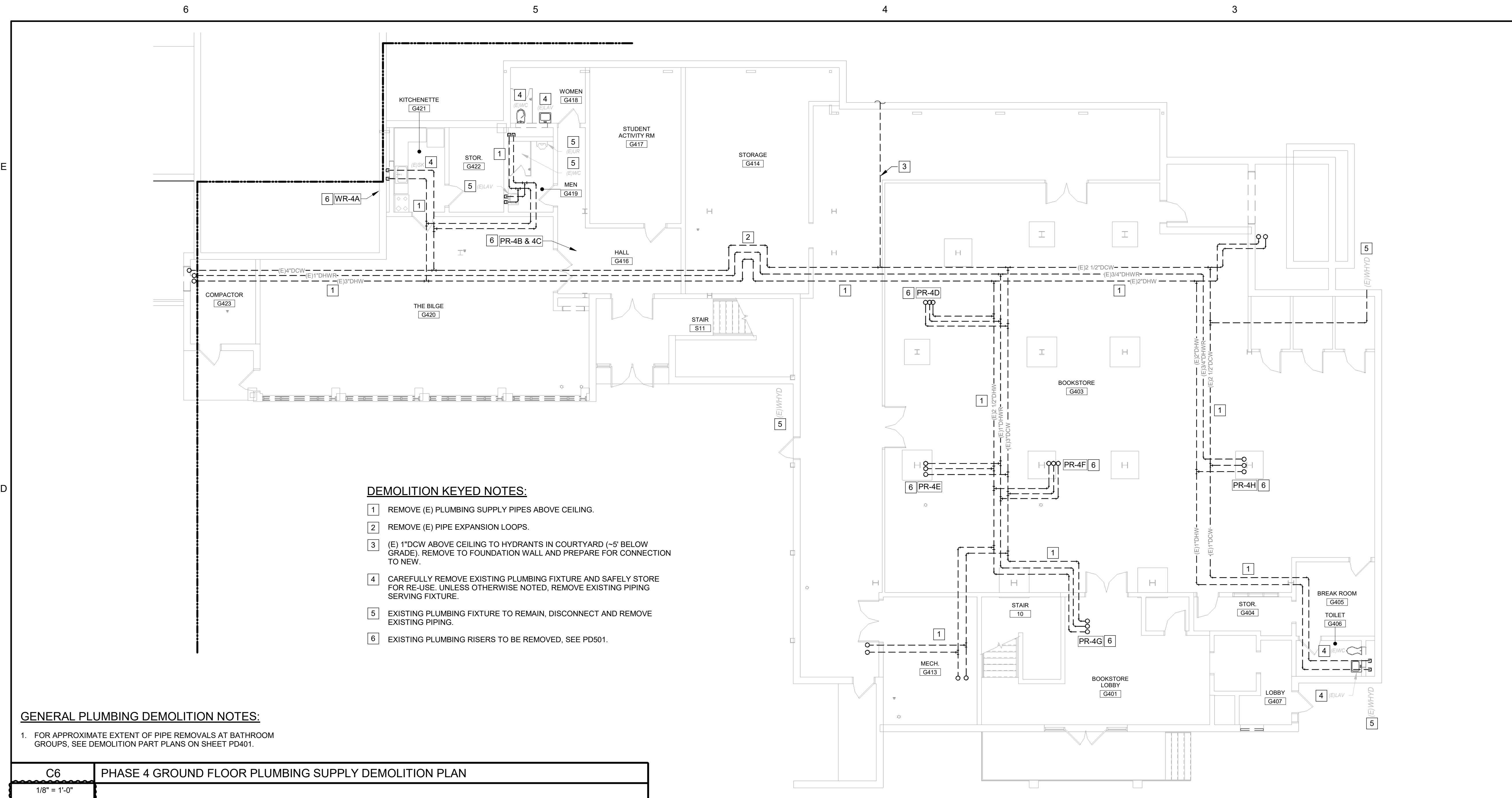
No. Date Description
 Revision Schedule

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 11/22/2023

TITLE
 PHASE 4 GROUND
 FLOOR PLUMBING
 SUPPLY DEMOLITION
 & NEW PLANS

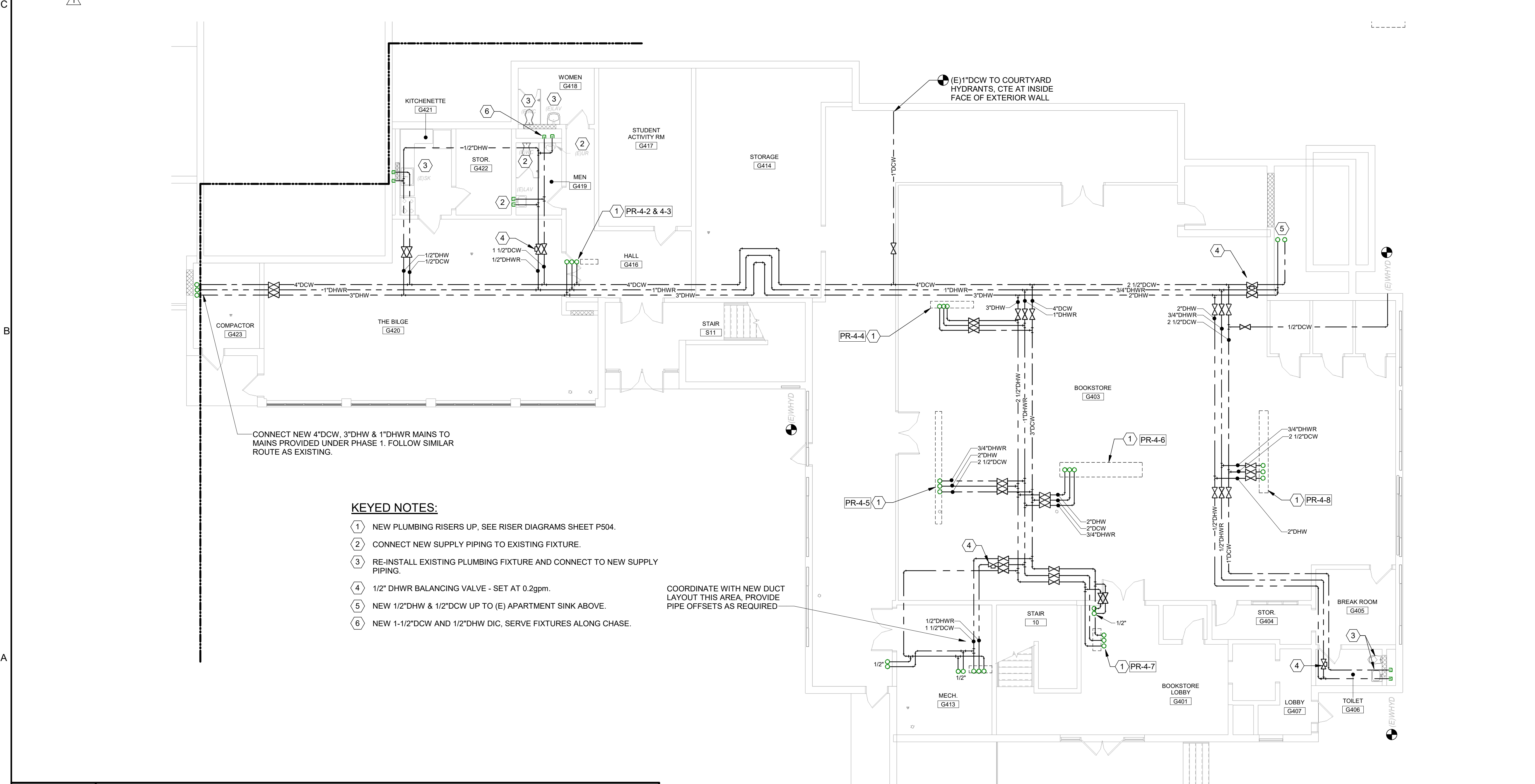
SHEET
PP104.G



- DEMOLITION KEYED NOTES:**
- 1 REMOVE (E) PLUMBING SUPPLY PIPES ABOVE CEILING.
 - 2 REMOVE (E) PIPE EXPANSION LOOPS.
 - 3 (E) 1\"/>

GENERAL PLUMBING DEMOLITION NOTES:
 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

C6 PHASE 4 GROUND FLOOR PLUMBING SUPPLY DEMOLITION PLAN
 1/8" = 1'-0"



- KEYED NOTES:**
- 1 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P504.
 - 2 CONNECT NEW SUPPLY PIPING TO EXISTING FIXTURE.
 - 3 RE-INSTALL EXISTING PLUMBING FIXTURE AND CONNECT TO NEW SUPPLY PIPING.
 - 4 1/2\"/>

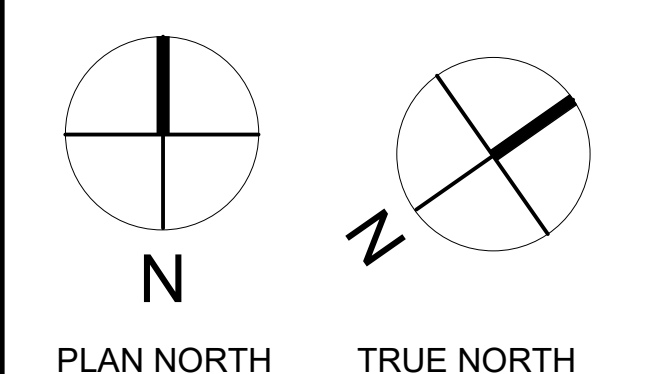
CONNECT NEW 4\"/>

COORDINATE WITH NEW DUCT LAYOUT THIS AREA. PROVIDE PIPE OFFSETS AS REQUIRED.

A6 PHASE 4 GROUND FLOOR PLUMBING SUPPLY PLAN
 1/8" = 1'-0"

- GENERAL PLUMBING NOTES:**
1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
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SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

DEMOLITION KEYED NOTES:

- 1 REMOVE EXISTING PIPING IN CHASE. REFER TO RISER DIAGRAMS SHEET PD501 WHERE SHOWN FOR EXTENT OF DEMOLITION.
- 2 EXISTING PIPING IN EXTERIOR SOFFIT TO BE REMOVED. COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE. UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING PLUMBING FIXTURE TO REMAIN. DISCONNECT AND REMOVE EXISTING PIPING.
- 5 REMOVE EXISTING (UNUSED) W & V PIPING FOR VENDING MACHINE. PATCH FLOOR TO MATCH. SEE ARCHITECTURAL PLANS.

GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

SHOWER NOTES:

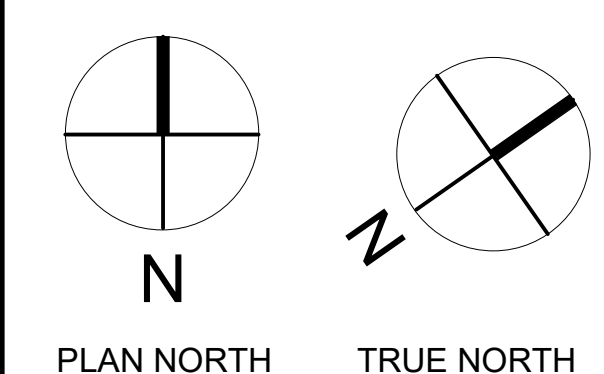
- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DOW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES. AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

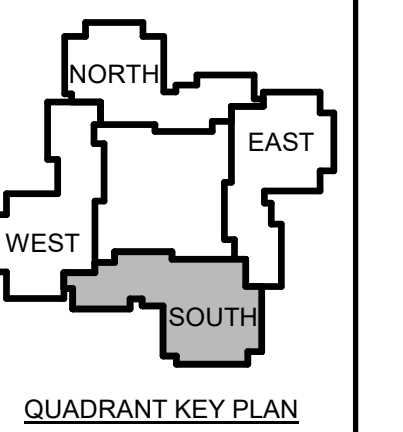
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1	12-1	Addendum #3
	5-23	

No. Date Description
Revision Schedule

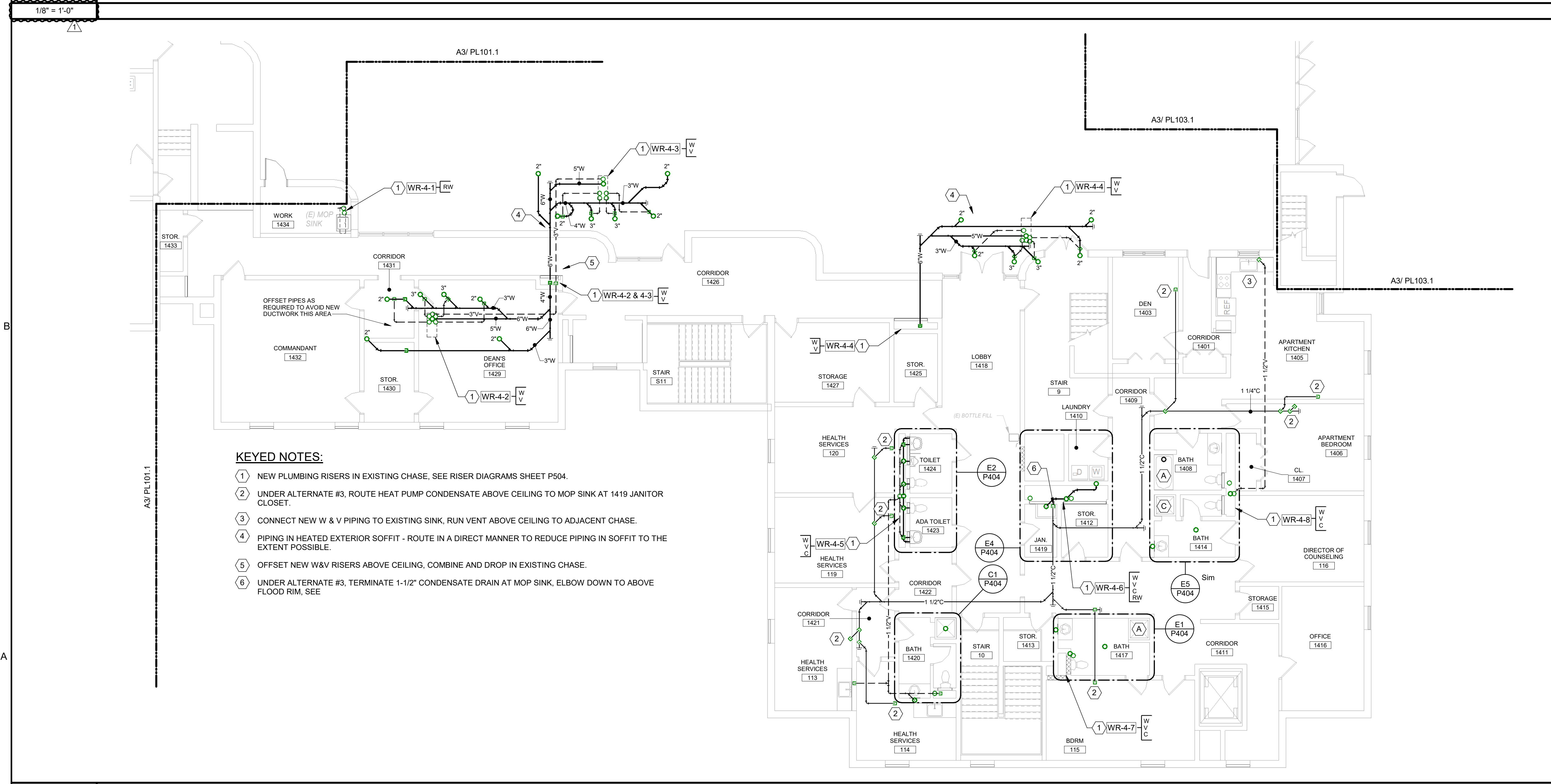
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TITLE
PHASE 4 FIRST FLOOR PLUMBING W&V DEMOLITION & NEW PLANS

SHEET
PL104.1

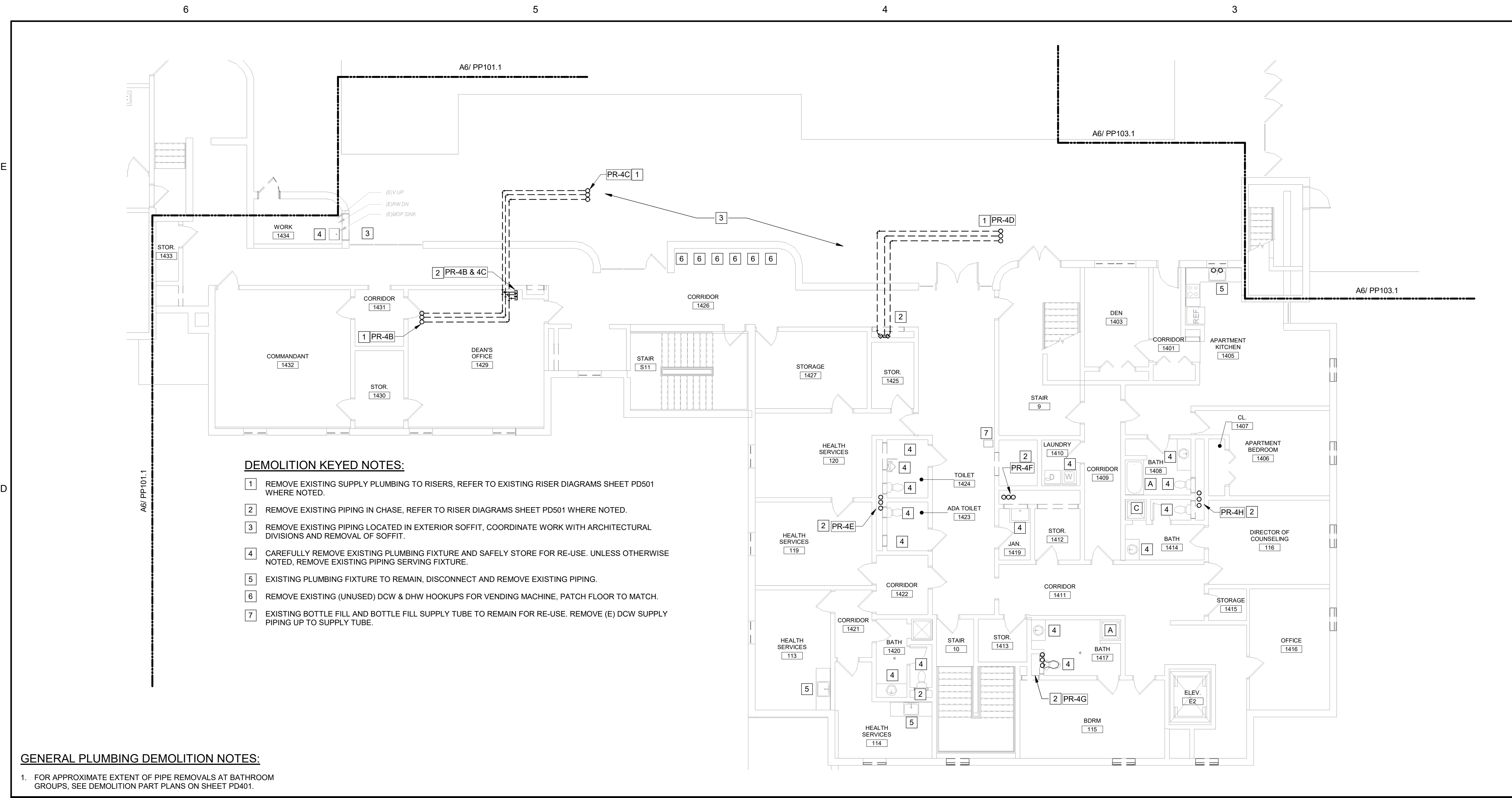
C6 PHASE 4 FIRST FLOOR PLUMBING W&V DEMOLITION PLAN
1/8" = 1'-0"



KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE. SEE RISER DIAGRAMS SHEET P504.
- 2 UNDER ALTERNATE #3, ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO MOP SINK AT 1419 JANITOR CLOSET.
- 3 CONNECT NEW W & V PIPING TO EXISTING SINK, RUN VENT ABOVE CEILING TO ADJACENT CHASE.
- 4 PIPING IN HEATED EXTERIOR SOFFIT - ROUTE IN A DIRECT MANNER TO REDUCE PIPING IN SOFFIT TO THE EXTENT POSSIBLE.
- 5 OFFSET NEW W&V RISERS ABOVE CEILING, COMBINE AND DROP IN EXISTING CHASE.
- 6 UNDER ALTERNATE #3, TERMINATE 1-1/2" CONDENSATE DRAIN AT MOP SINK, ELBOW DOWN TO ABOVE FLOOR RIM, SEE

A6 PHASE 4 FIRST FLOOR PLUMBING W&V PLAN
1/8" = 1'-0"

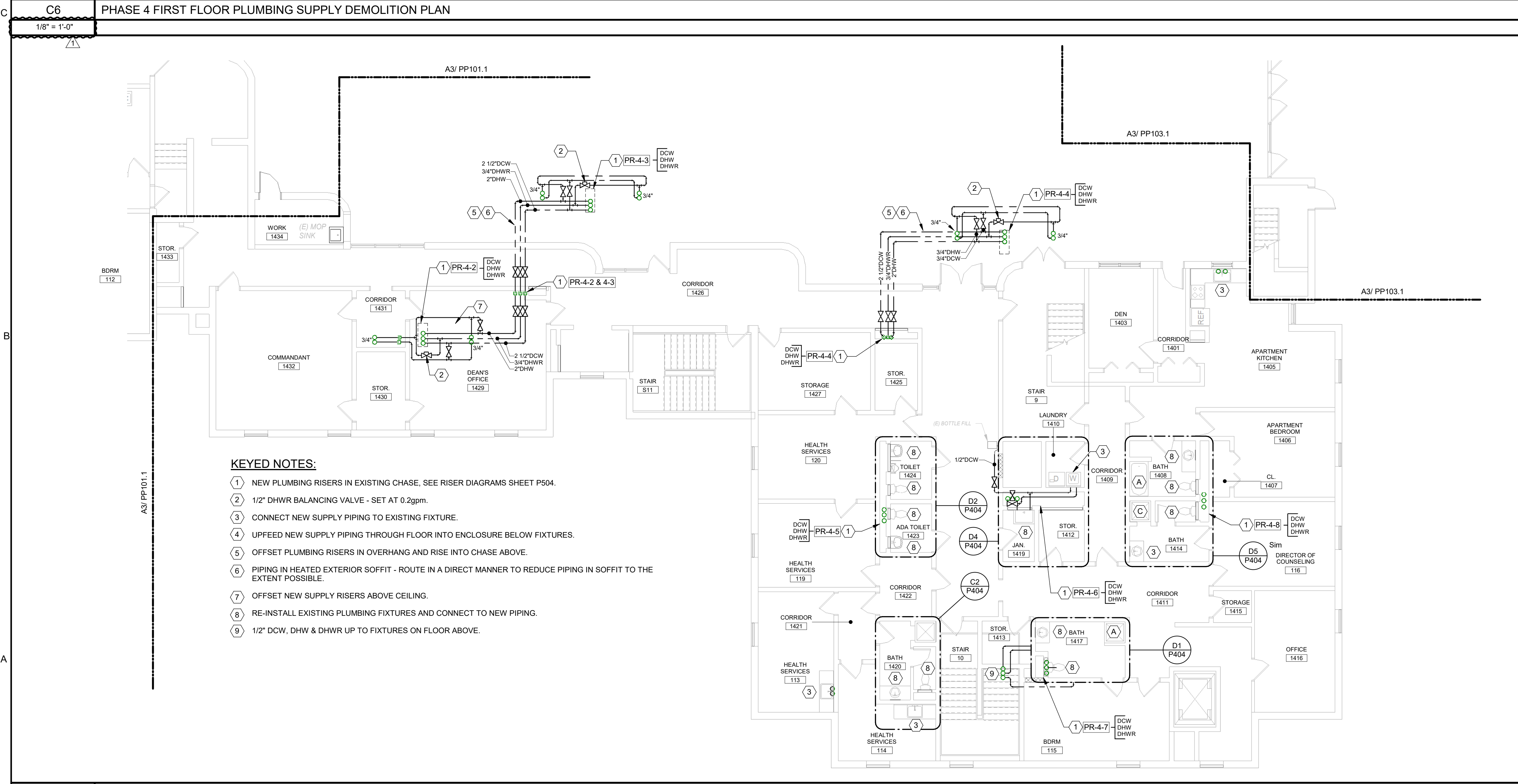


- DEMOLITION KEYED NOTES:**
- 1 REMOVE EXISTING SUPPLY PLUMBING TO RISERS, REFER TO EXISTING RISER DIAGRAMS SHEET PD501 WHERE NOTED.
 - 2 REMOVE EXISTING PIPING IN CHASE, REFER TO RISER DIAGRAMS SHEET PD501 WHERE NOTED.
 - 3 REMOVE EXISTING PIPING LOCATED IN EXTERIOR SOFFIT, COORDINATE WORK WITH ARCHITECTURAL DIVISIONS AND REMOVAL OF SOFFIT
 - 4 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE. UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
 - 5 EXISTING PLUMBING FIXTURE TO REMAIN, DISCONNECT AND REMOVE EXISTING PIPING.
 - 6 REMOVE EXISTING (UNUSED) DCW & DHW HOOKUPS FOR VENDING MACHINE, PATCH FLOOR TO MATCH.
 - 7 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE. REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.

- SHOWER DEMOLITION NOTES:**
- EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
 - EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
 - EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
 - EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

GENERAL PLUMBING DEMOLITION NOTES:

1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.



- KEYED NOTES:**
- 1 NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P504.
 - 1/2" DHWR BALANCING VALVE - SET AT 0.2gpm.
 - CONNECT NEW SUPPLY PIPING TO EXISTING FIXTURE.
 - UPFEED NEW SUPPLY PIPING THROUGH FLOOR INTO ENCLOSURE BELOW FIXTURES.
 - OFFSET PLUMBING RISERS IN OVERHANG AND RISE INTO CHASE ABOVE.
 - PIPING IN HEATED EXTERIOR SOFFIT - ROUTE IN A DIRECT MANNER TO REDUCE PIPING IN SOFFIT TO THE EXTENT POSSIBLE.
 - OFFSET NEW SUPPLY RISERS ABOVE CEILING.
 - RE-INSTALL EXISTING PLUMBING FIXTURES AND CONNECT TO NEW PIPING.
 - 1/2" DCW, DHW & DHWR UP TO FIXTURES ON FLOOR ABOVE.

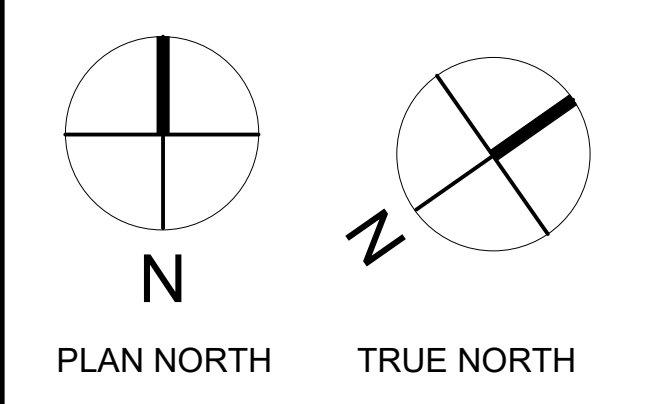
- SHOWER NOTES:**
- EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
 - NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
 - EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
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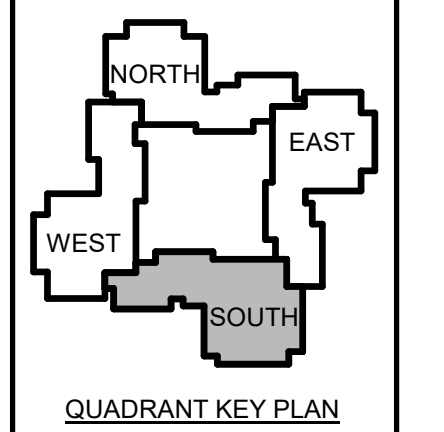
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No.	Date	Description

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TITLE
PHASE 4 FIRST FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS

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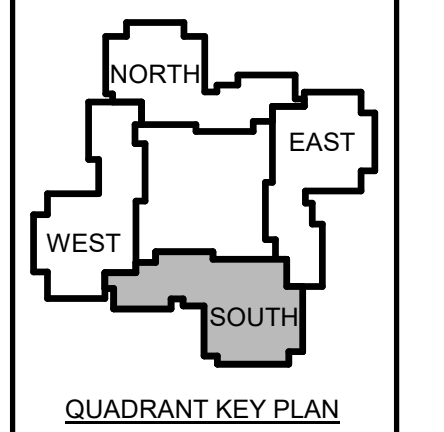
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- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.



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TITLE
 PHASE 4 SECOND FLOOR PLUMBING DEMOLITION & NEW PLANS

SHEET
P104.2

SHOWER NOTES:

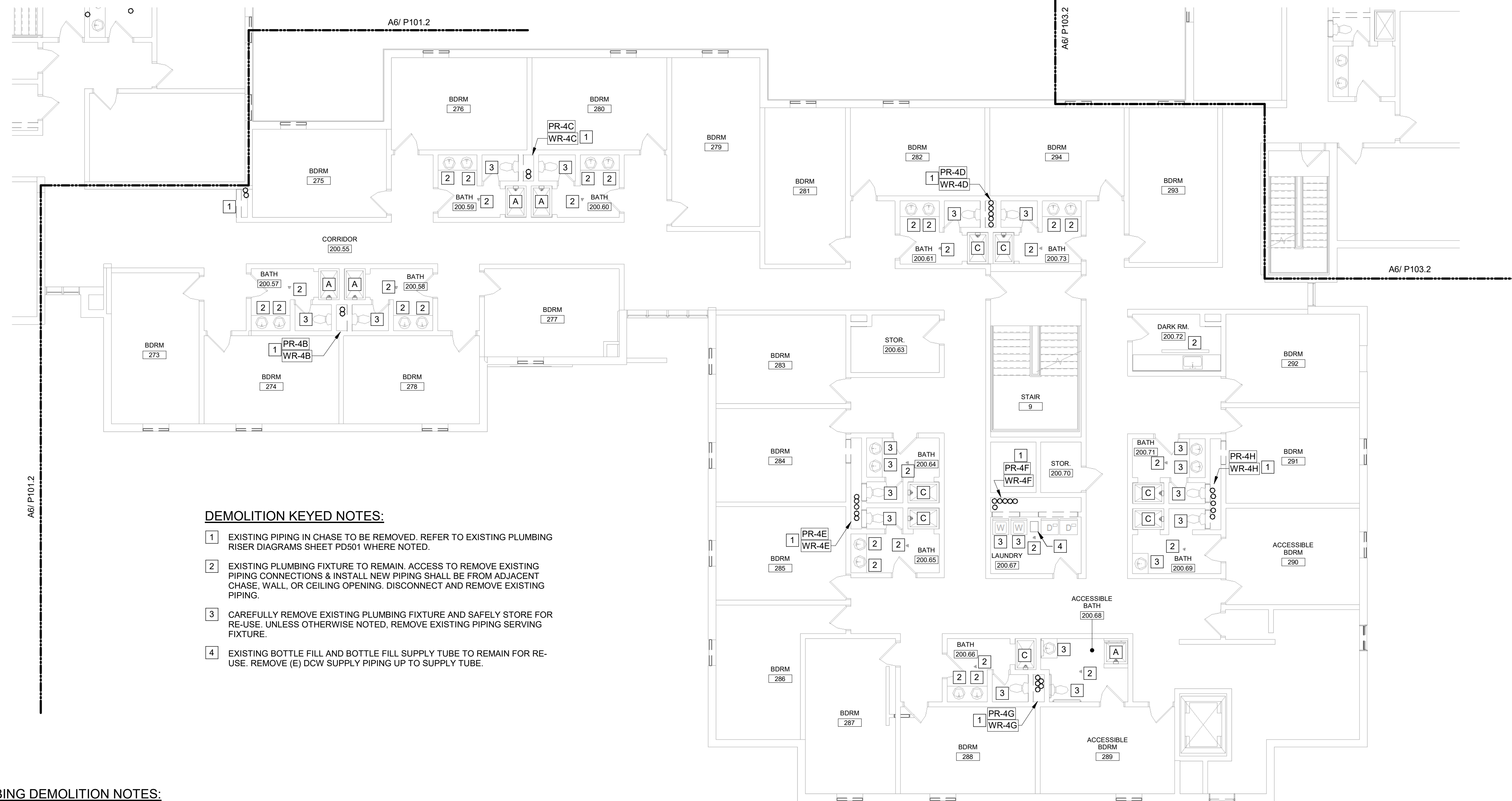
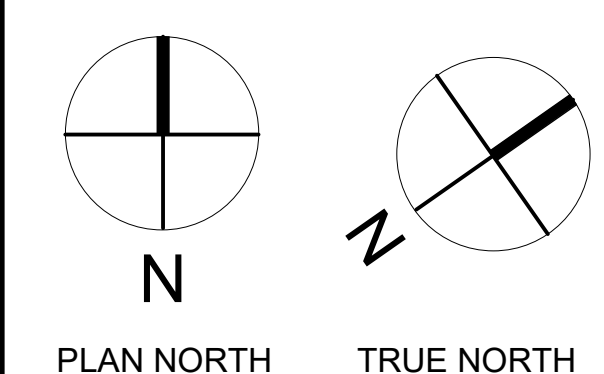
- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES. AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



DEMOLITION KEYED NOTES:

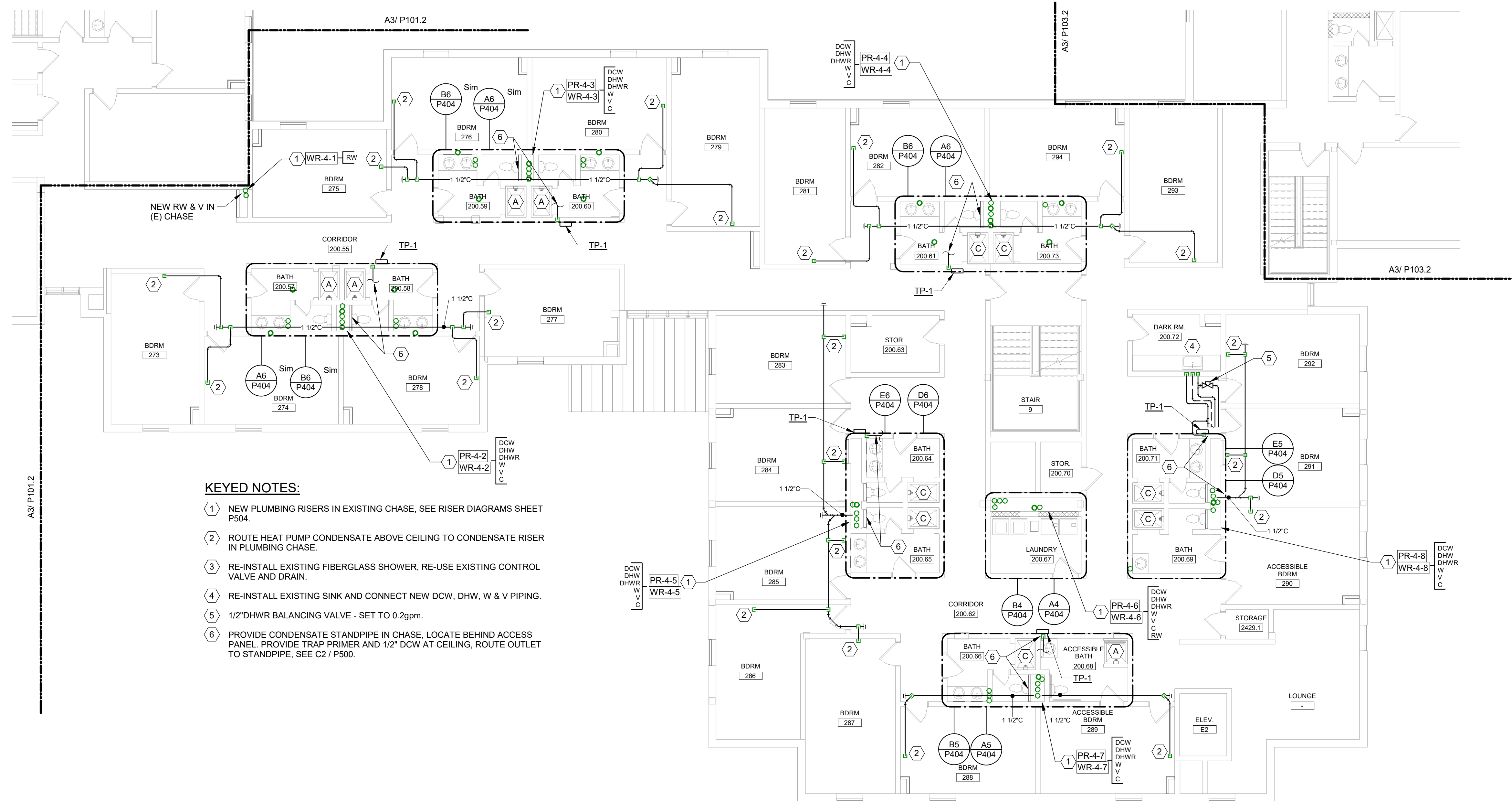
- 1 EXISTING PIPING IN CHASE TO BE REMOVED. REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET PD501 WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN. ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING. DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE. UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE. REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.

GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

C6 PHASE 4 SECOND FLOOR PLUMBING DEMOLITION PLAN

1/8" = 1'-0"



KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P504.
- 2 ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 3 RE-INSTALL EXISTING FIBERGLASS SHOWER. RE-USE EXISTING CONTROL VALVE AND DRAIN.
- 4 RE-INSTALL EXISTING SINK AND CONNECT NEW DCW, DHW, W & V PIPING.
- 5 1/2" DHWR BALANCING VALVE - SET TO 0.2gpm.
- 6 PROVIDE CONDENSATE STANDPIPE IN CHASE. LOCATE BEHIND ACCESS PANEL. PROVIDE TRAP PRIMER AND 1/2" DCW AT CEILING. ROUTE OUTLET TO STANDPIPE, SEE C2 / P500.

A6

PHASE 4 SECOND FLOOR PLUMBING PLAN

1/8" = 1'-0"

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

DEMOLITION KEYED NOTES:

- 1 EXISTING PIPING IN CHASE TO BE REMOVED. REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET PD501 WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN. ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING. DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED. REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE. REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.
- 5 REMOVE (E) DHW RECIRC PUMP ABOVE CEILING.

GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

SHOWER NOTES:

- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

KEYED NOTES:

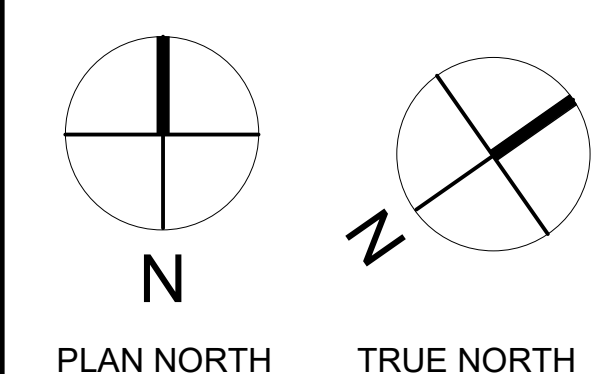
- 1 NEW PLUMBING RISERS IN EXISTING CHASE. SEE RISER DIAGRAMS SHEET P504.
- 2 ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 3 RE-INSTALL EXISTING FIBERGLASS SHOWER. RE-USE EXISTING CONTROL VALVE AND DRAIN.
- 4 RE-INSTALL EXISTING SINK AND CONNECT NEW DCW, DHW, W & V PIPING.

GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES. AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

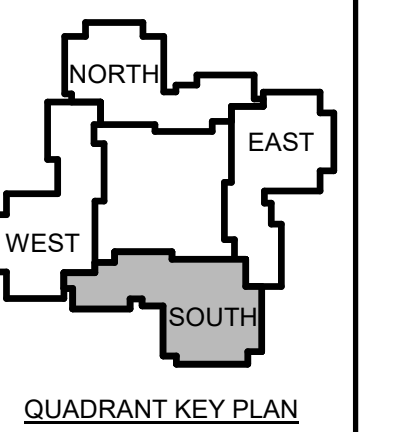
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1	12-1	Addendum #3
	5-23	

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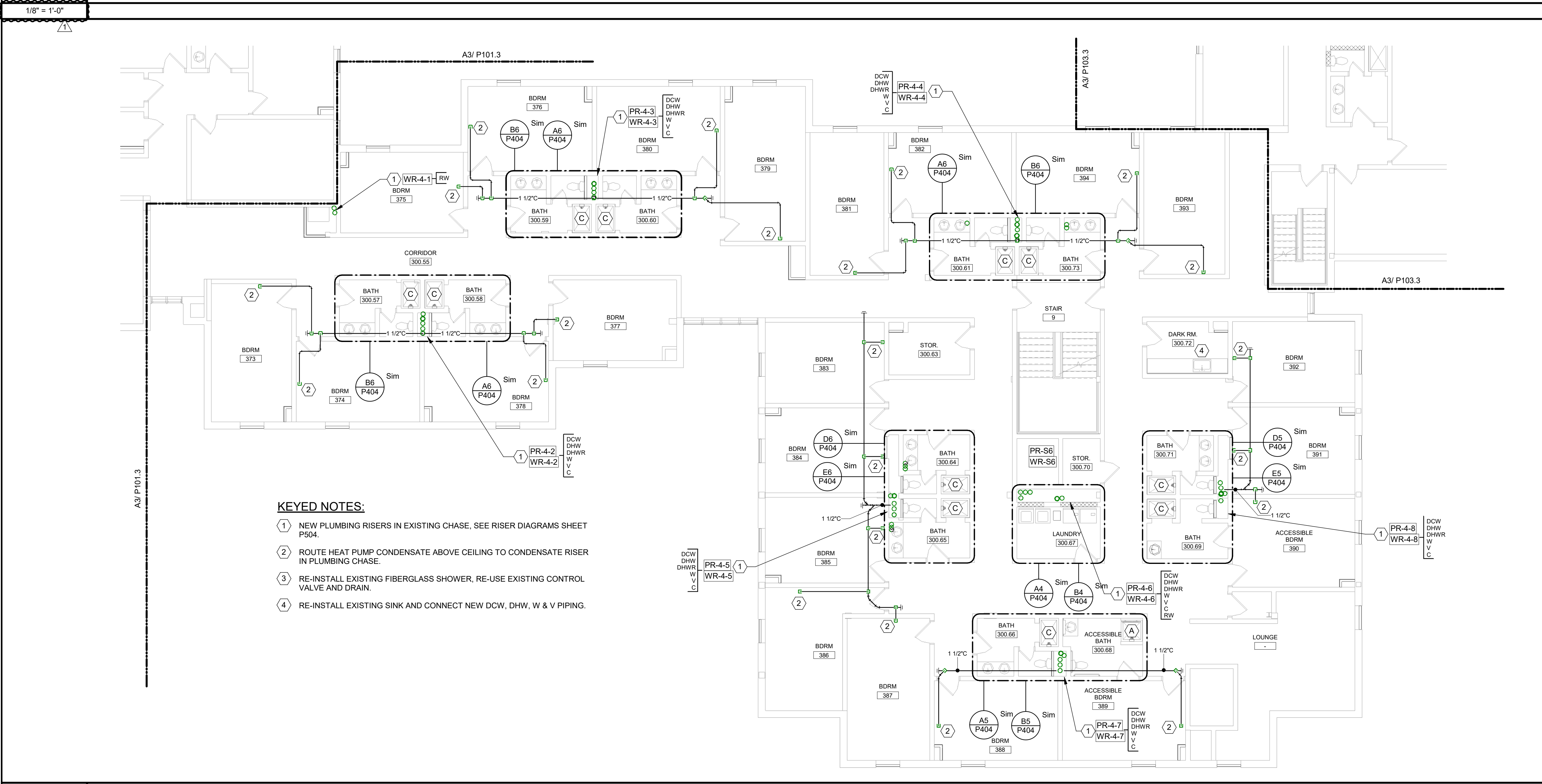
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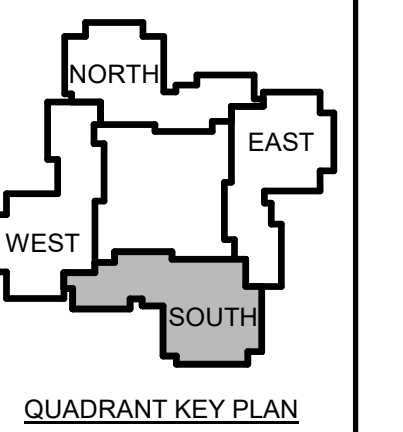
TITLE
PHASE 4 THIRD FLOOR PLUMBING DEMOLITION & NEW PLANS

SHEET
P104.3

C6 PHASE 4 THIRD FLOOR PLUMBING DEMOLITION PLAN
1/8" = 1'-0"



A6 PHASE 4 THIRD FLOOR PLUMBING PLAN
1/8" = 1'-0"



1	12-1	Addendum #3
5-23		

No. Date Description
 Revision Schedule

JOB NO.
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ISSUE
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 11/22/2023

TITLE
 PHASE 4 FOURTH
 FLOOR PLUMBING
 DEMOLITION & NEW
 PLANS

SHEET
P104.4

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

SHOWER NOTES:

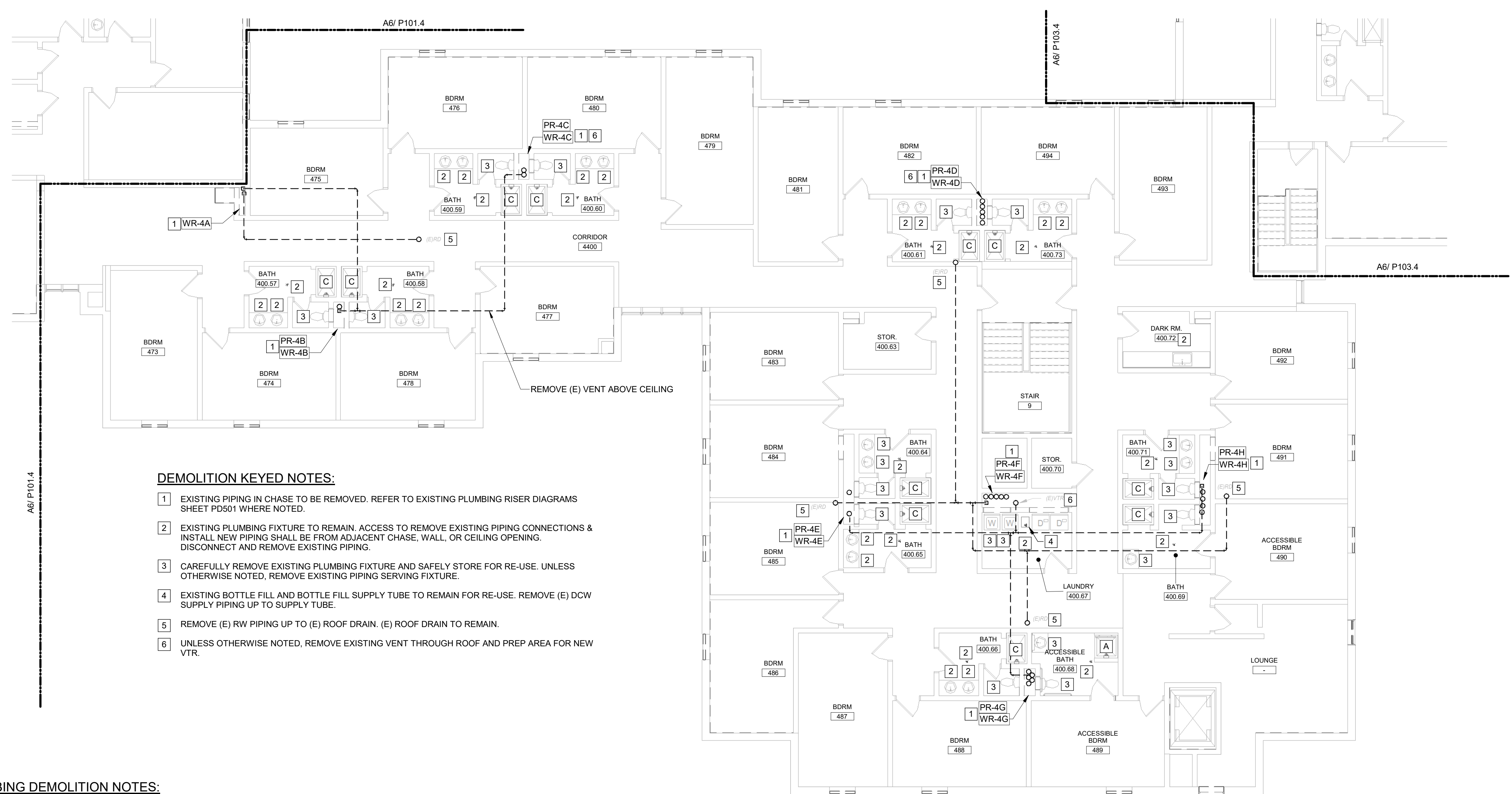
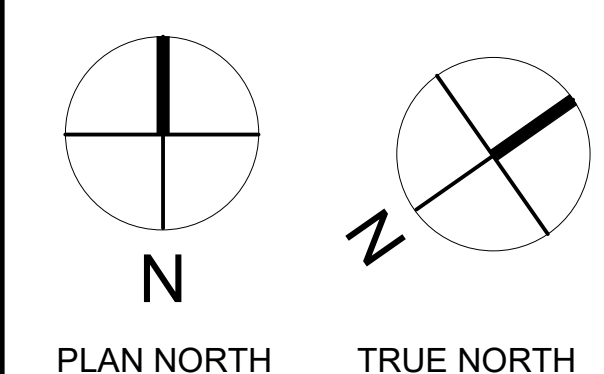
- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES. AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

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DEMOLITION KEYED NOTES:

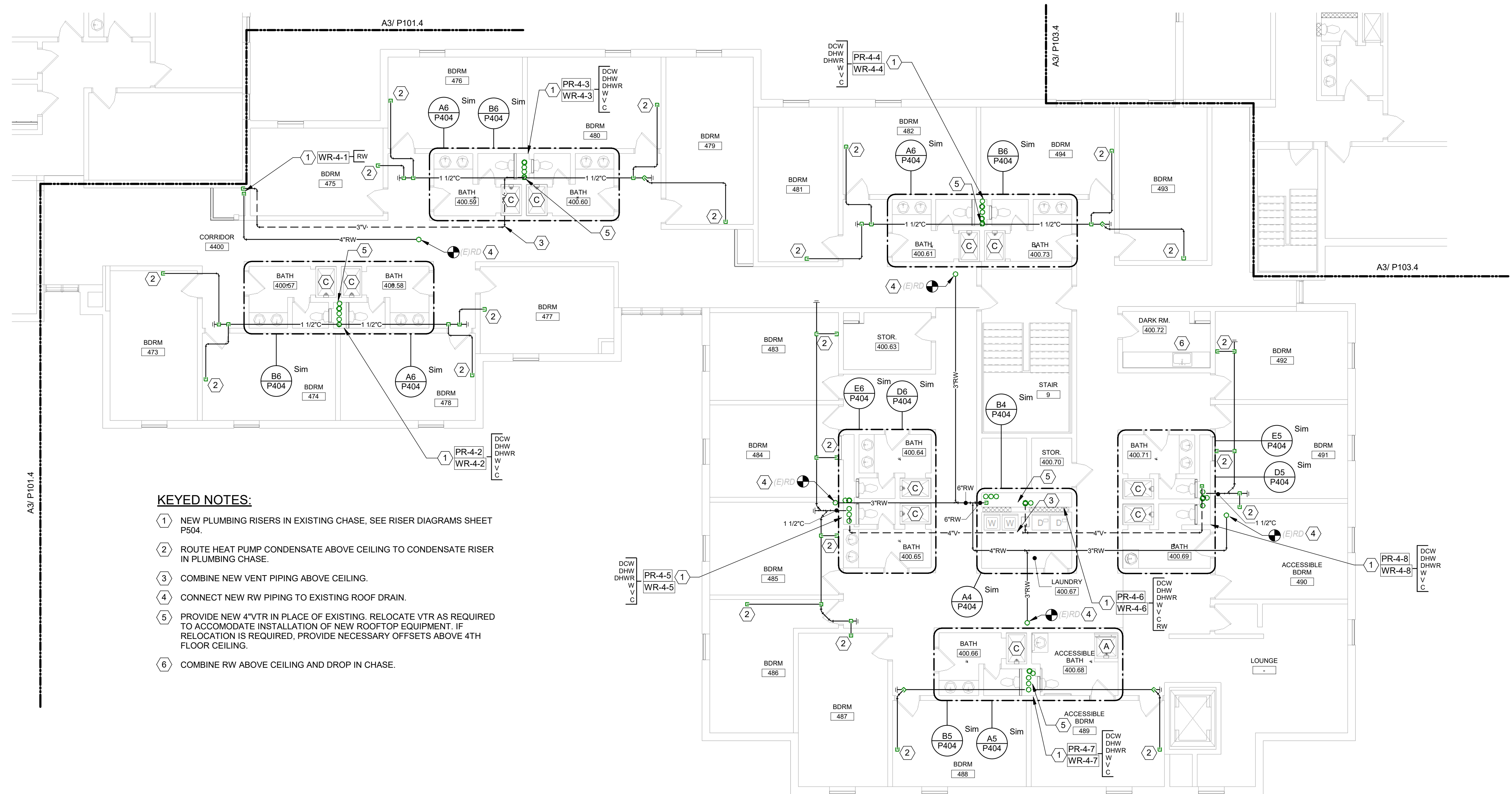
- 1 EXISTING PIPING IN CHASE TO BE REMOVED. REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET PD501 WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN. ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING. DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE. UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE. REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.
- 5 REMOVE (E) RW PIPING UP TO (E) ROOF DRAIN. (E) ROOF DRAIN TO REMAIN.
- 6 UNLESS OTHERWISE NOTED, REMOVE EXISTING VENT THROUGH ROOF AND PREP AREA FOR NEW VTR.

GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

C6 PHASE 4 FOURTH FLOOR PLUMBING DEMOLITION PLAN

1/8" = 1'-0"



KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE. SEE RISER DIAGRAMS SHEET P504.
- 2 ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 3 COMBINE NEW VENT PIPING ABOVE CEILING.
- 4 CONNECT NEW RW PIPING TO EXISTING ROOF DRAIN.
- 5 PROVIDE NEW 4"VTR IN PLACE OF EXISTING. RELOCATE VTR AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW ROOFTOP EQUIPMENT. IF RELOCATION IS REQUIRED, PROVIDE NECESSARY OFFSETS ABOVE 4TH FLOOR CEILING.
- 6 COMBINE RW ABOVE CEILING AND DROP IN CHASE.

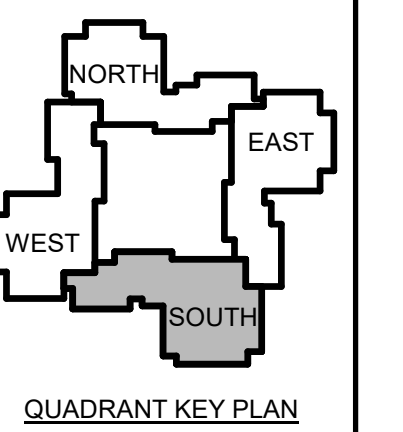
A6

PHASE 4 FOURTH FLOOR PLUMBING PLAN

1/8" = 1'-0"

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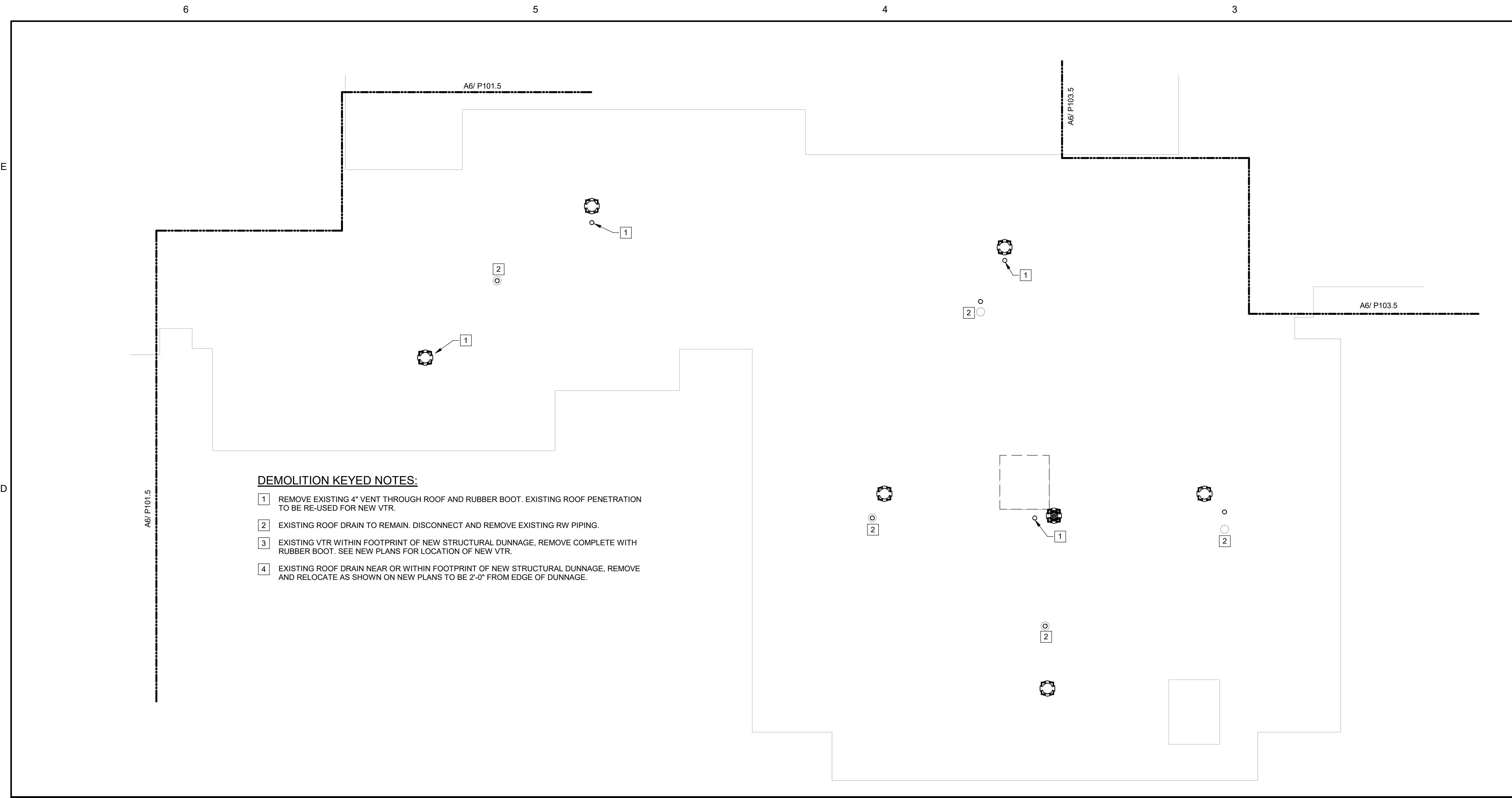
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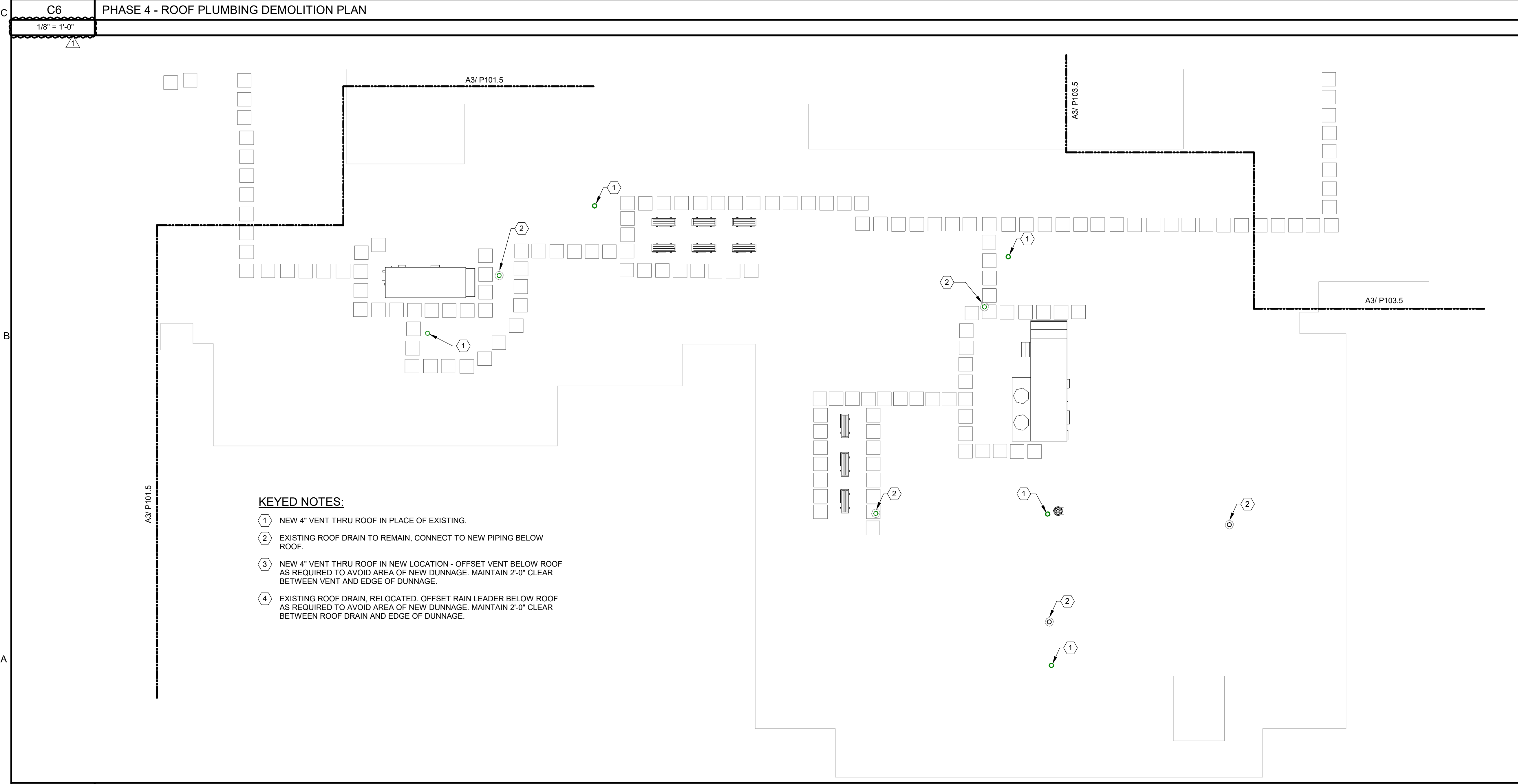
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TITLE
PHASE 4 ROOF PLUMBING DEMOLITION & NEW PLANS

SHEET
P104.5



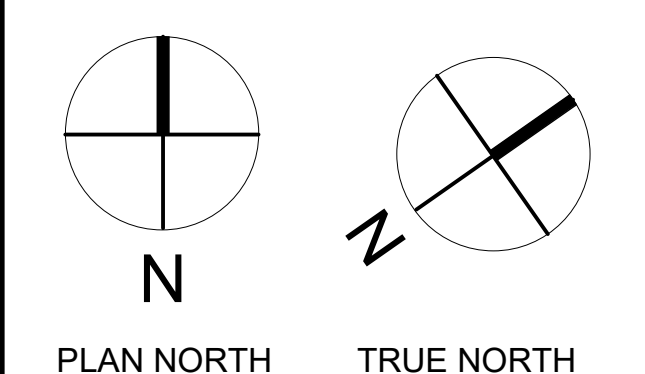
- DEMOLITION KEYED NOTES:**
- 1 REMOVE EXISTING 4" VENT THROUGH ROOF AND RUBBER BOOT. EXISTING ROOF PENETRATION TO BE RE-USED FOR NEW VTR.
 - 2 EXISTING ROOF DRAIN TO REMAIN. DISCONNECT AND REMOVE EXISTING RW PIPING.
 - 3 EXISTING VTR WITHIN FOOTPRINT OF NEW STRUCTURAL DUNNAGE, REMOVE COMPLETE WITH RUBBER BOOT. SEE NEW PLANS FOR LOCATION OF NEW VTR.
 - 4 EXISTING ROOF DRAIN NEAR OR WITHIN FOOTPRINT OF NEW STRUCTURAL DUNNAGE, REMOVE AND RELOCATE AS SHOWN ON NEW PLANS TO BE 2'-0" FROM EDGE OF DUNNAGE.



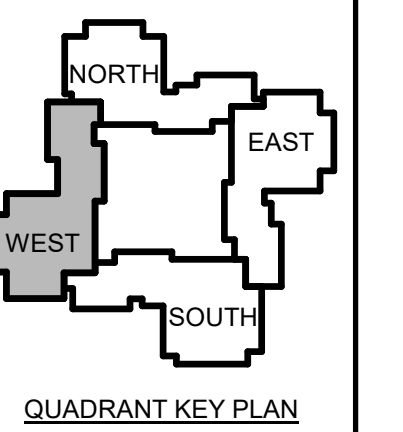
- KEYED NOTES:**
- 1 NEW 4" VENT THRU ROOF IN PLACE OF EXISTING.
 - 2 EXISTING ROOF DRAIN TO REMAIN, CONNECT TO NEW PIPING BELOW ROOF.
 - 3 NEW 4" VENT THRU ROOF IN NEW LOCATION - OFFSET VENT BELOW ROOF AS REQUIRED TO AVOID AREA OF NEW DUNNAGE. MAINTAIN 2'-0" CLEAR BETWEEN VENT AND EDGE OF DUNNAGE.
 - 4 EXISTING ROOF DRAIN, RELOCATED. OFFSET RAIN LEADER BELOW ROOF AS REQUIRED TO AVOID AREA OF NEW DUNNAGE. MAINTAIN 2'-0" CLEAR BETWEEN ROOF DRAIN AND EDGE OF DUNNAGE.

- GENERAL PLUMBING NOTES:**
1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DOW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. REINSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES. AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

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A6 PHASE 4 - ROOF PLUMBING PLAN
1/8" = 1'-0"



1	12-1	Addendum #3
5-23		
No.	Date	Description
Revision Schedule		

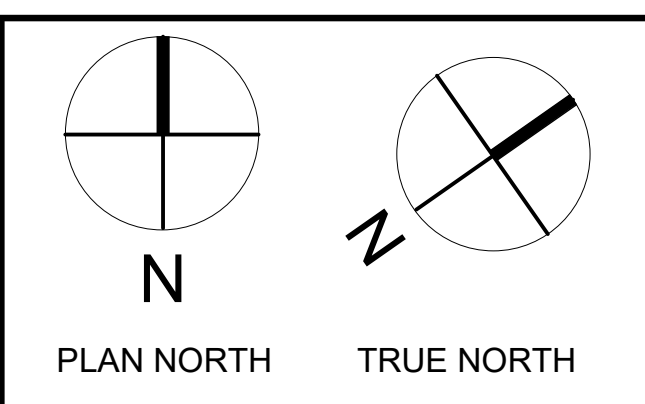
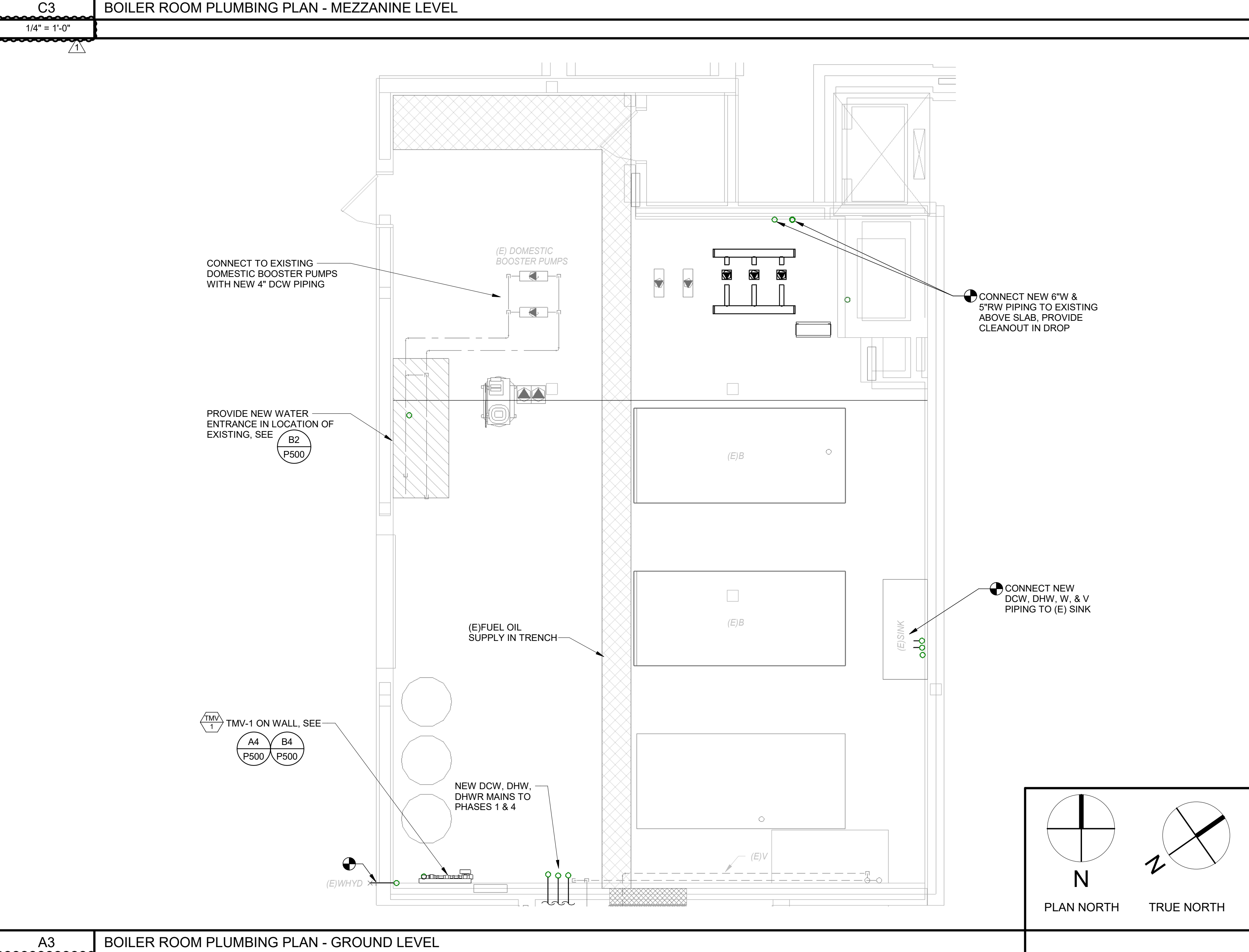
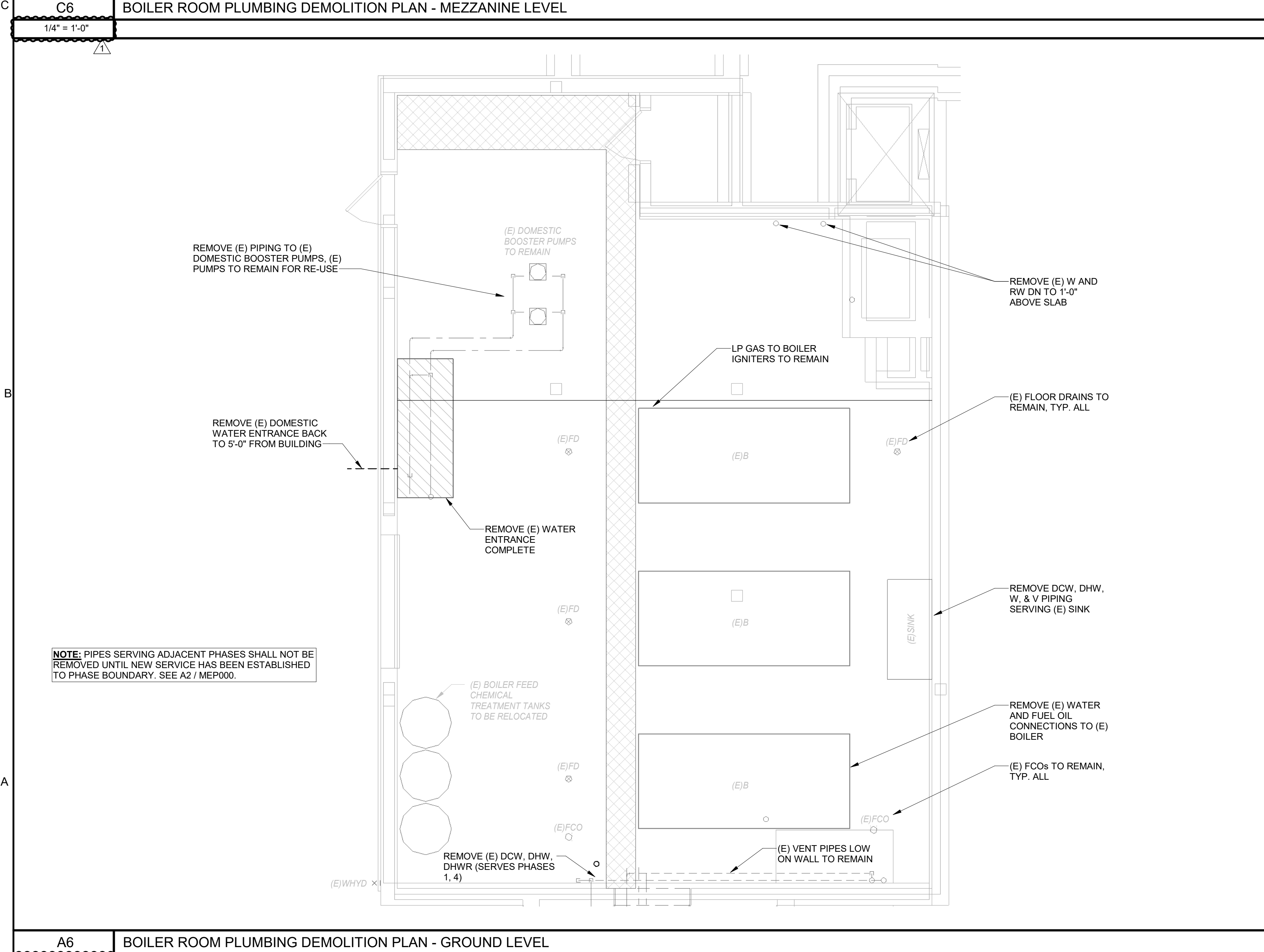
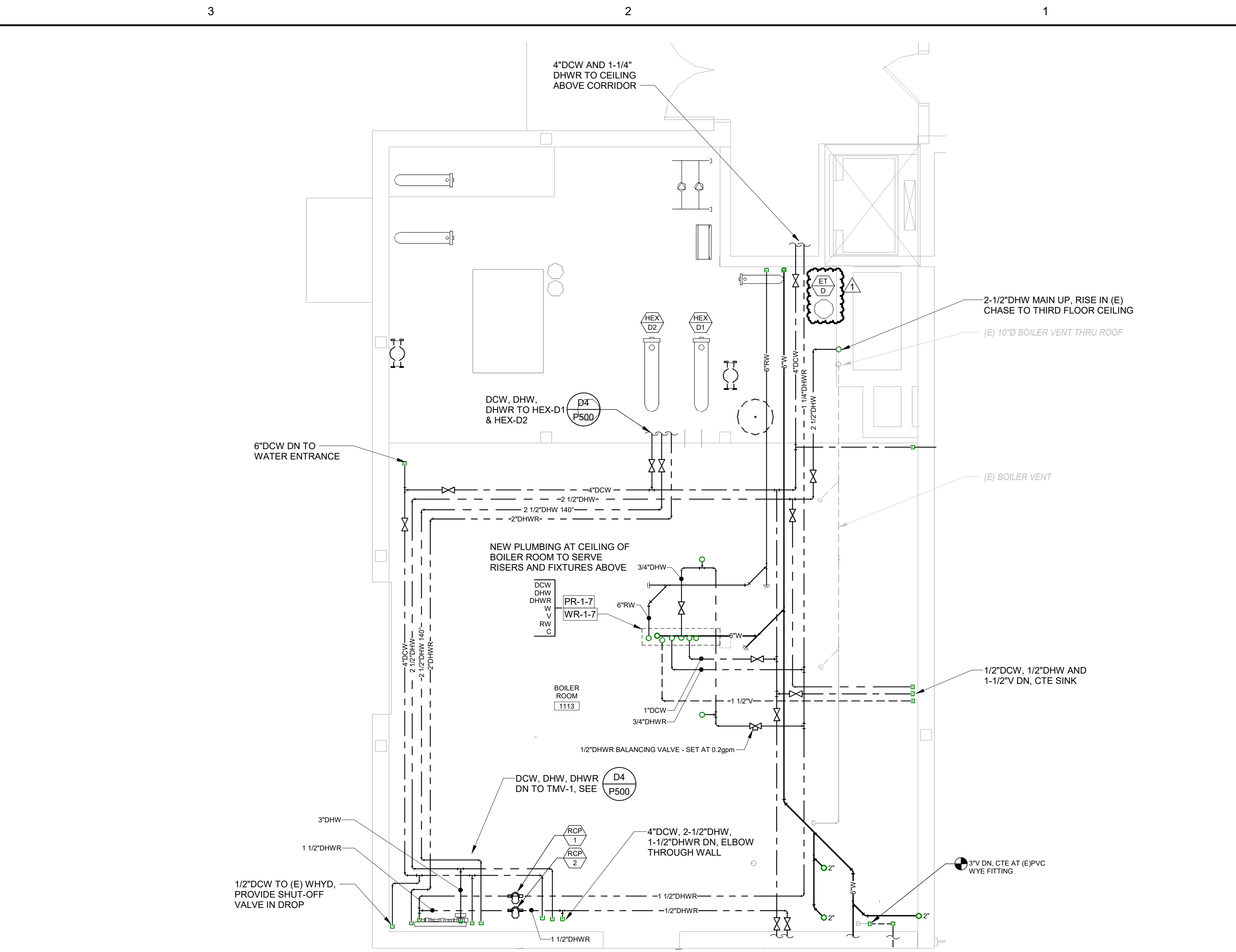
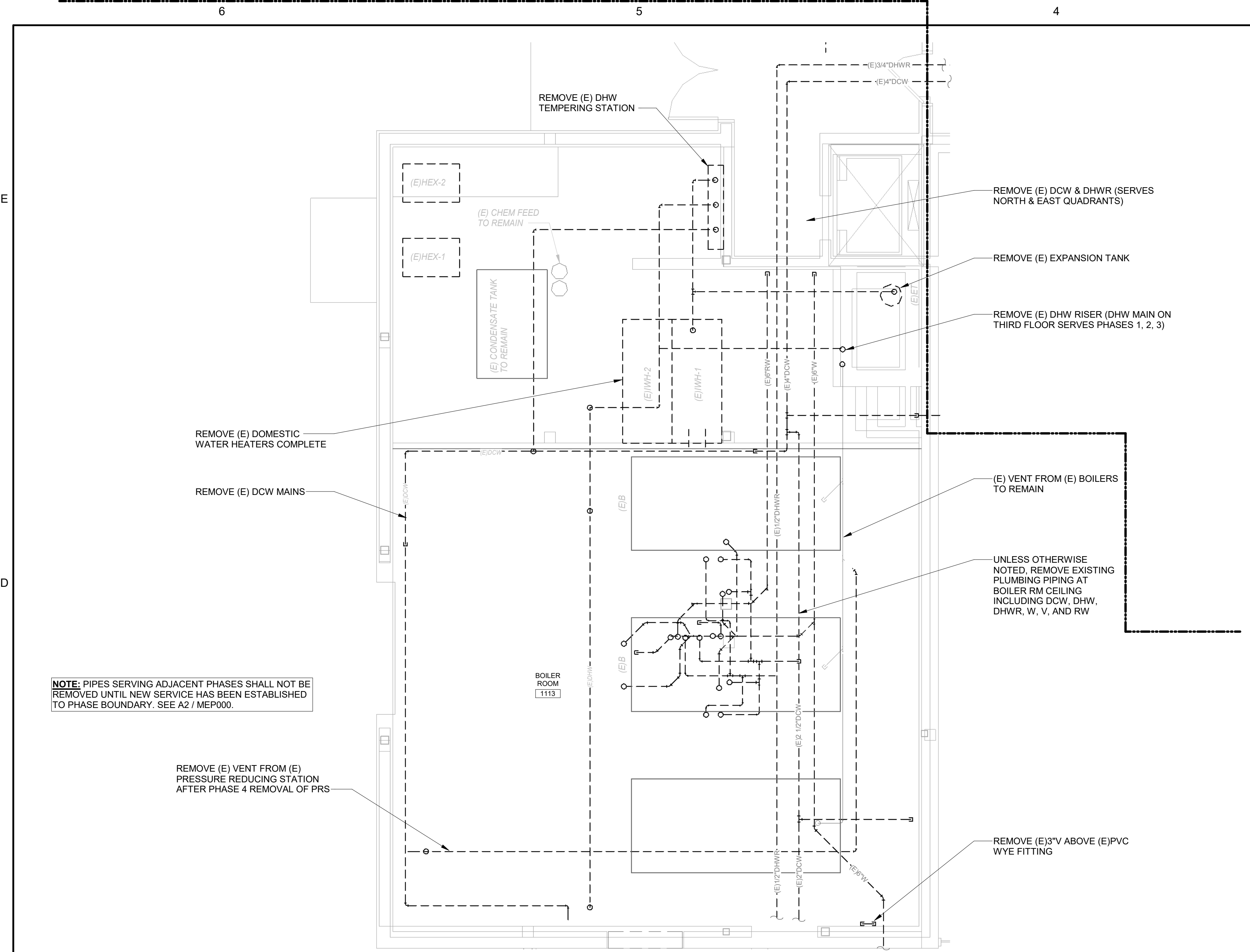
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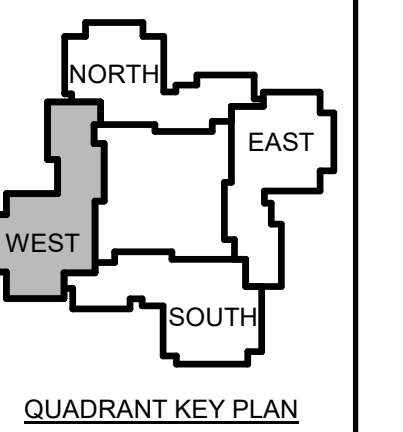
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TITLE
 PLUMBING PART PLANS - BOILER ROOM

SHEET
P400





1	12-1	Addendum #3
	5-23	
No.	Date	Description
Revision Schedule		

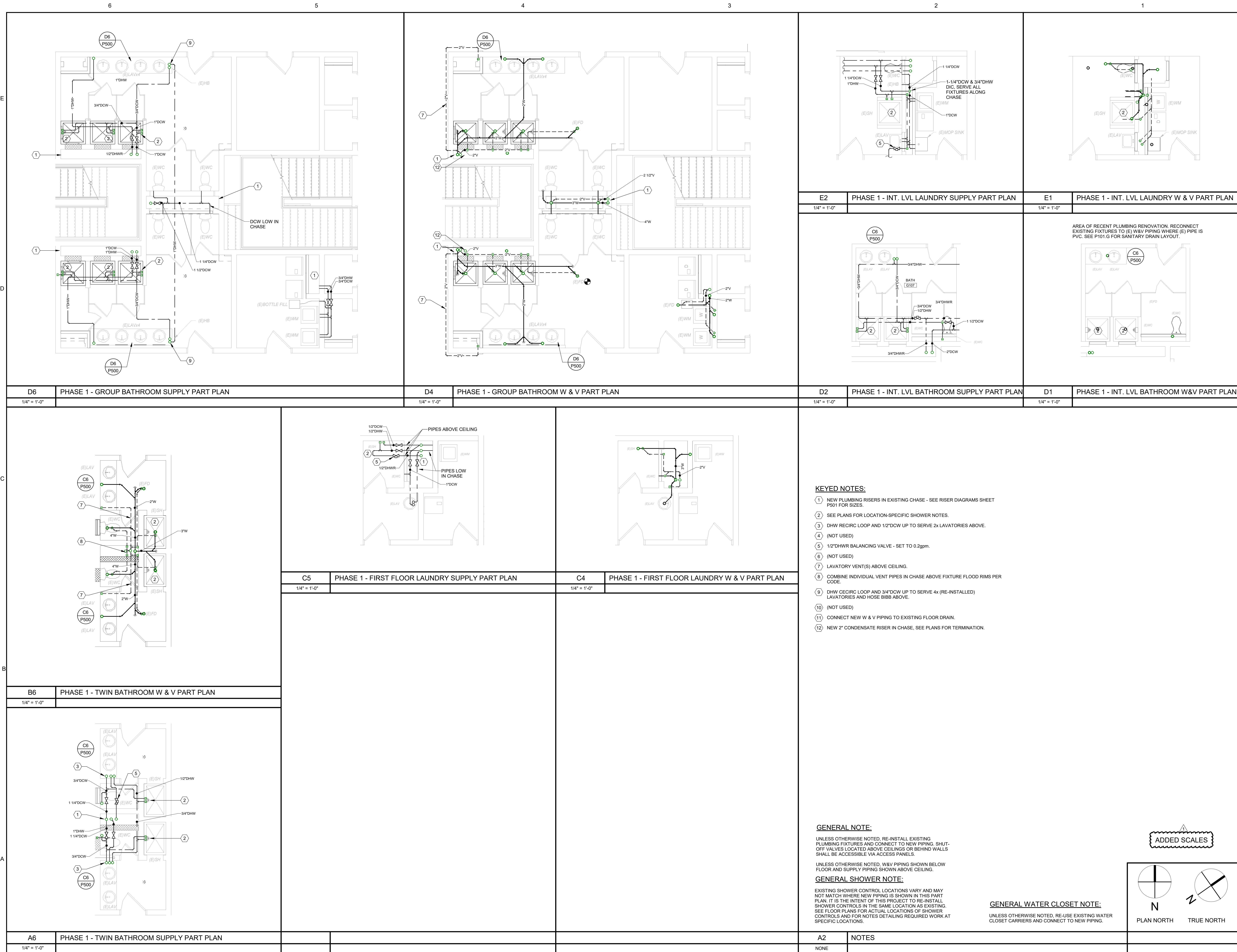
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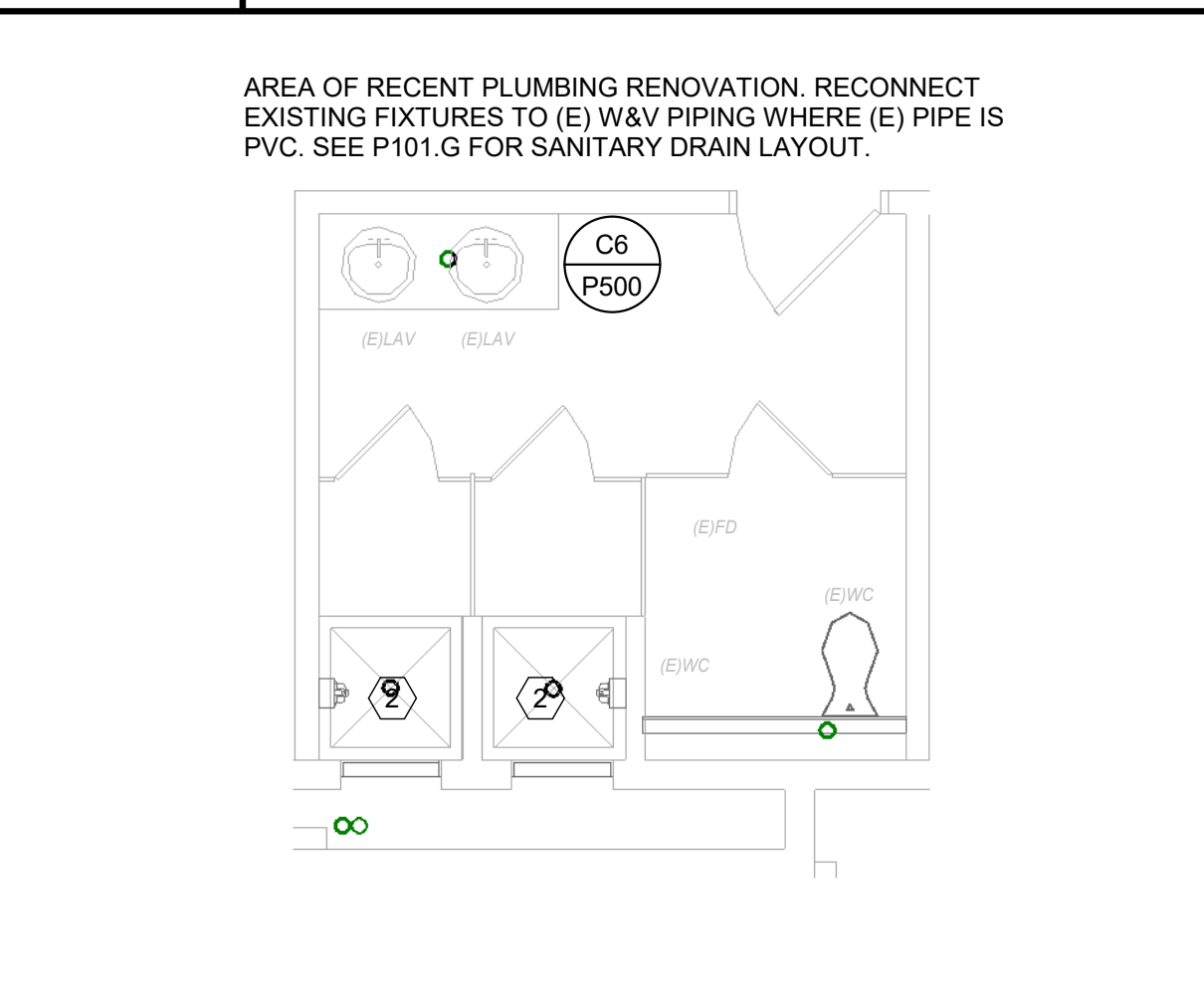
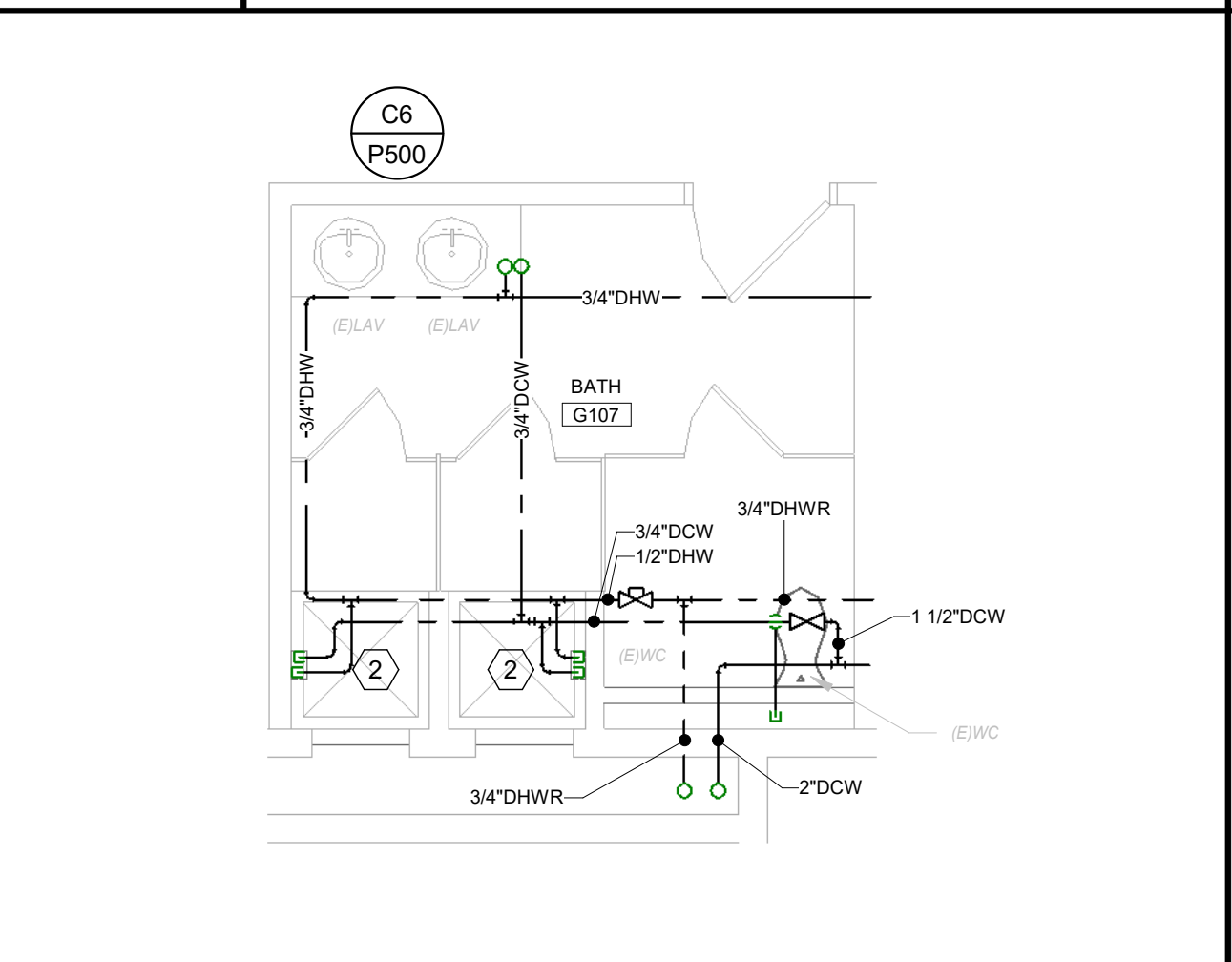
TITLE
 PHASE 1 - PLUMBING PART PLANS

SHEET
P401



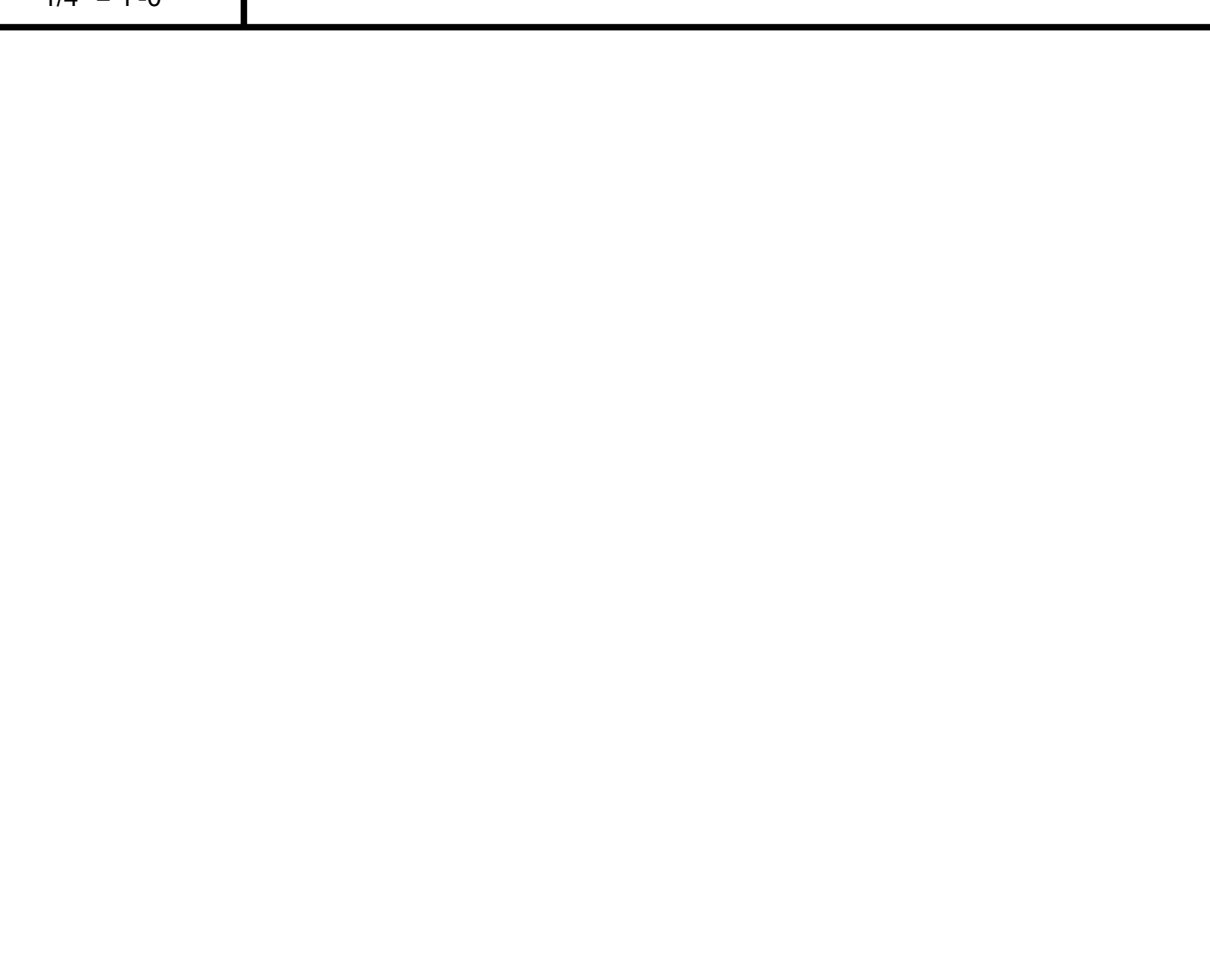
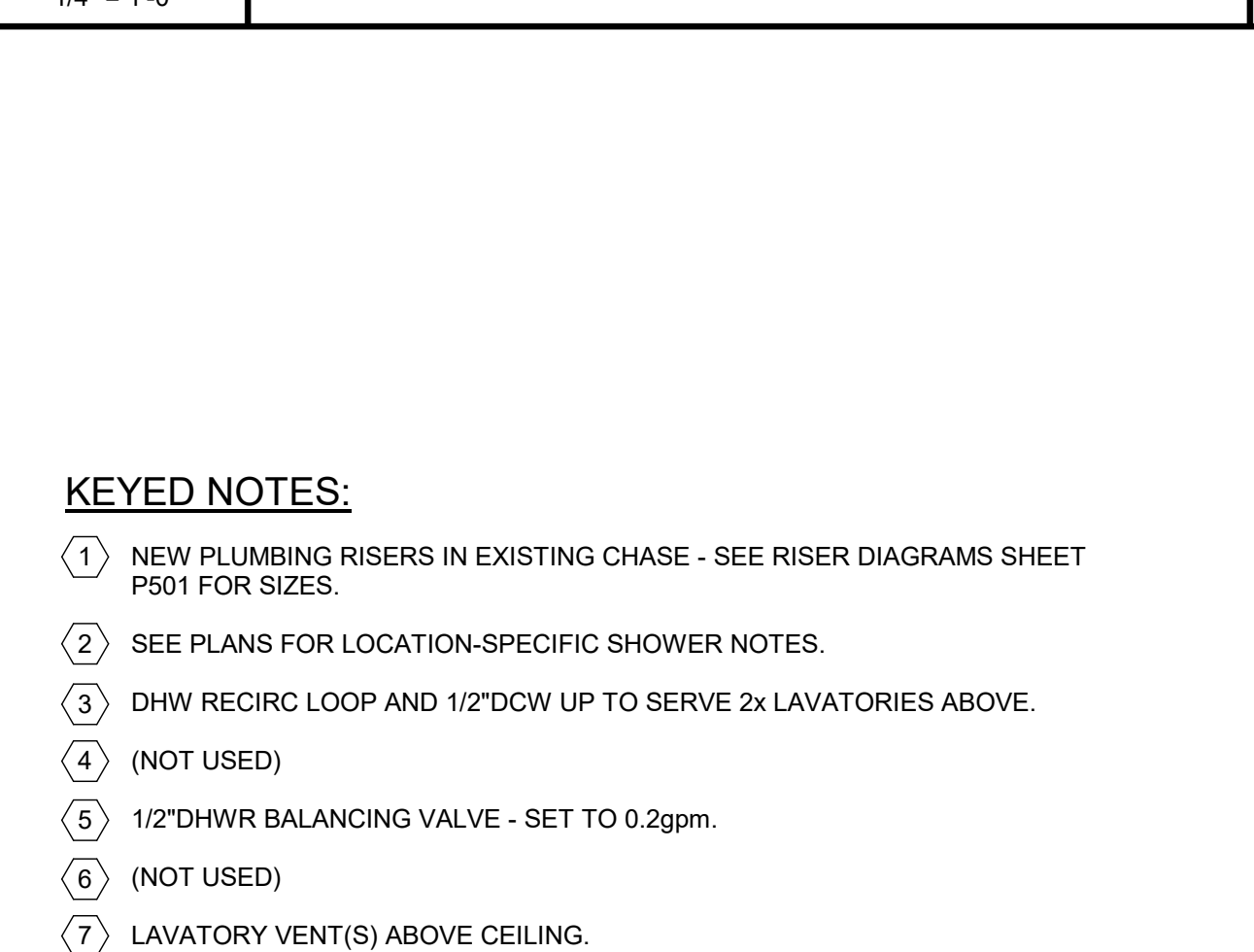
E2 PHASE 1 - INT. LVL LAUNDRY SUPPLY PART PLAN
 1/4" = 1'-0"

E1 PHASE 1 - INT. LVL LAUNDRY W & V PART PLAN
 1/4" = 1'-0"



D2 PHASE 1 - INT. LVL BATHROOM SUPPLY PART PLAN
 1/4" = 1'-0"

D1 PHASE 1 - INT. LVL BATHROOM W&V PART PLAN
 1/4" = 1'-0"

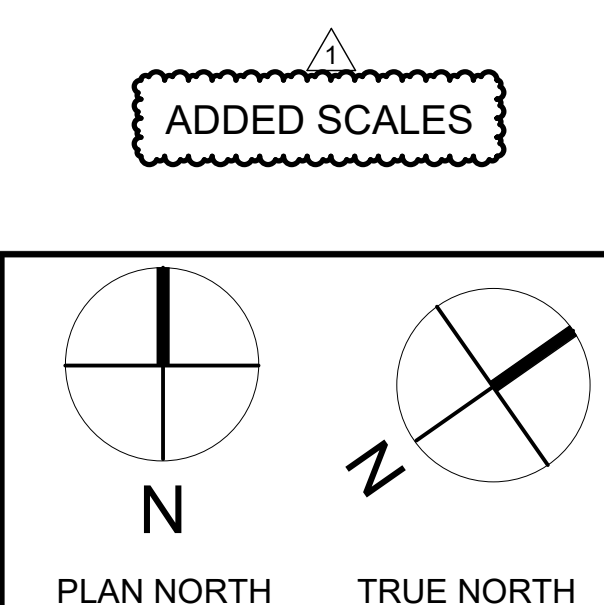


- KEYED NOTES:**
- NEW PLUMBING RISERS IN EXISTING CHASE - SEE RISER DIAGRAMS SHEET P501 FOR SIZES.
 - SEE PLANS FOR LOCATION-SPECIFIC SHOWER NOTES.
 - DHW RECIRC LOOP AND 1/2"DCW UP TO SERVE 2x LAVATORIES ABOVE.
 - (NOT USED)
 - 1/2"DHW BALANCING VALVE - SET TO 0.2gpm.
 - (NOT USED)
 - LAVATORY VENT(S) ABOVE CEILING.
 - COMBINE INDIVIDUAL VENT PIPES IN CHASE ABOVE FIXTURE FLOOD RIMS PER CODE.
 - DHW RECIRC LOOP AND 3/4"DCW UP TO SERVE 4x (RE-INSTALLED) LAVATORIES AND HOSE BIBB ABOVE.
 - (NOT USED)
 - CONNECT NEW W & V PIPING TO EXISTING FLOOR DRAIN.
 - NEW 2" CONDENSATE RISER IN CHASE. SEE PLANS FOR TERMINATION.

GENERAL NOTE:
 UNLESS OTHERWISE NOTED, RE-INSTALL EXISTING PLUMBING FIXTURES AND CONNECT TO NEW PIPING. SHUT-OFF VALVES LOCATED ABOVE CEILINGS OR BEHIND WALLS SHALL BE ACCESSIBLE VIA ACCESS PANELS.

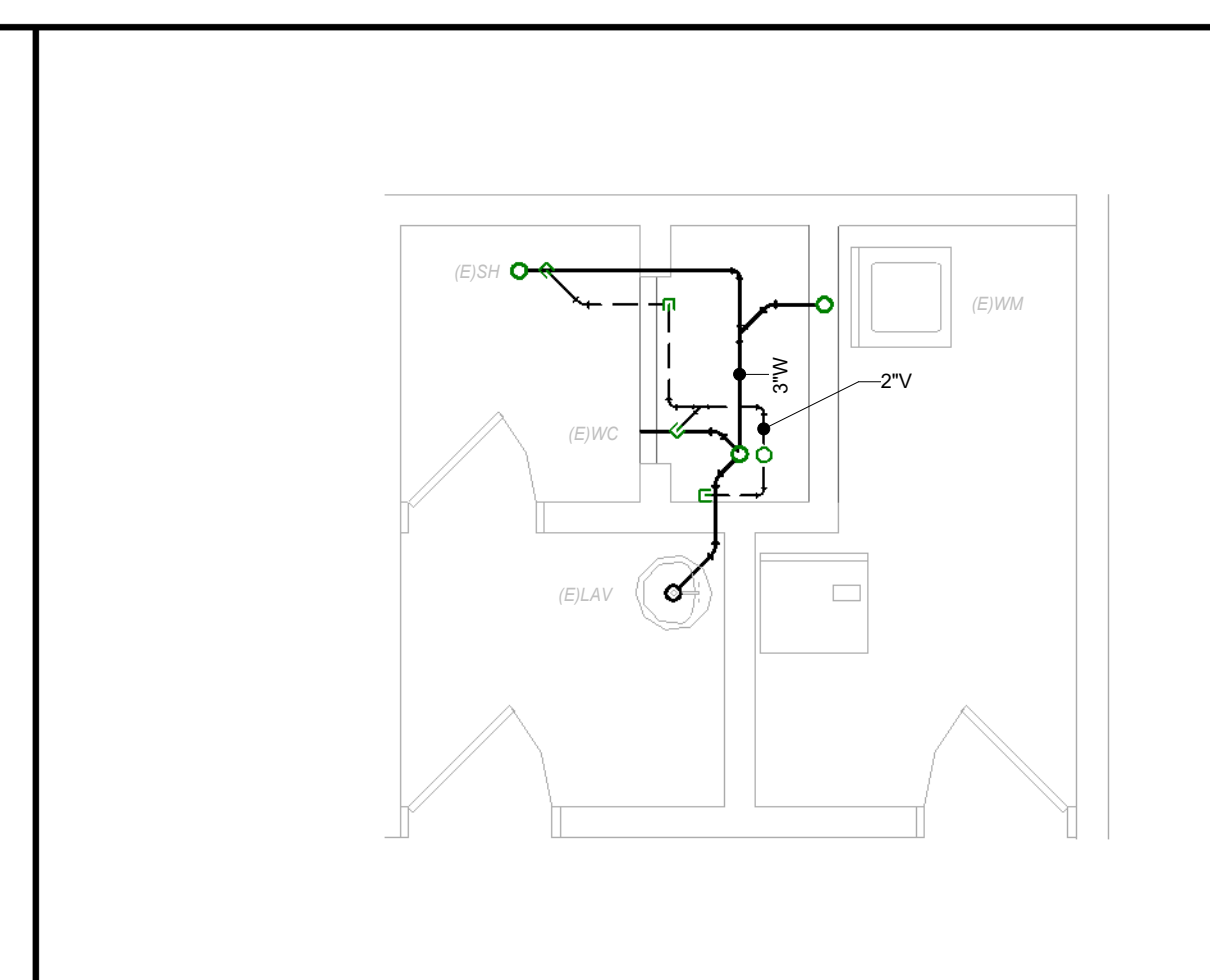
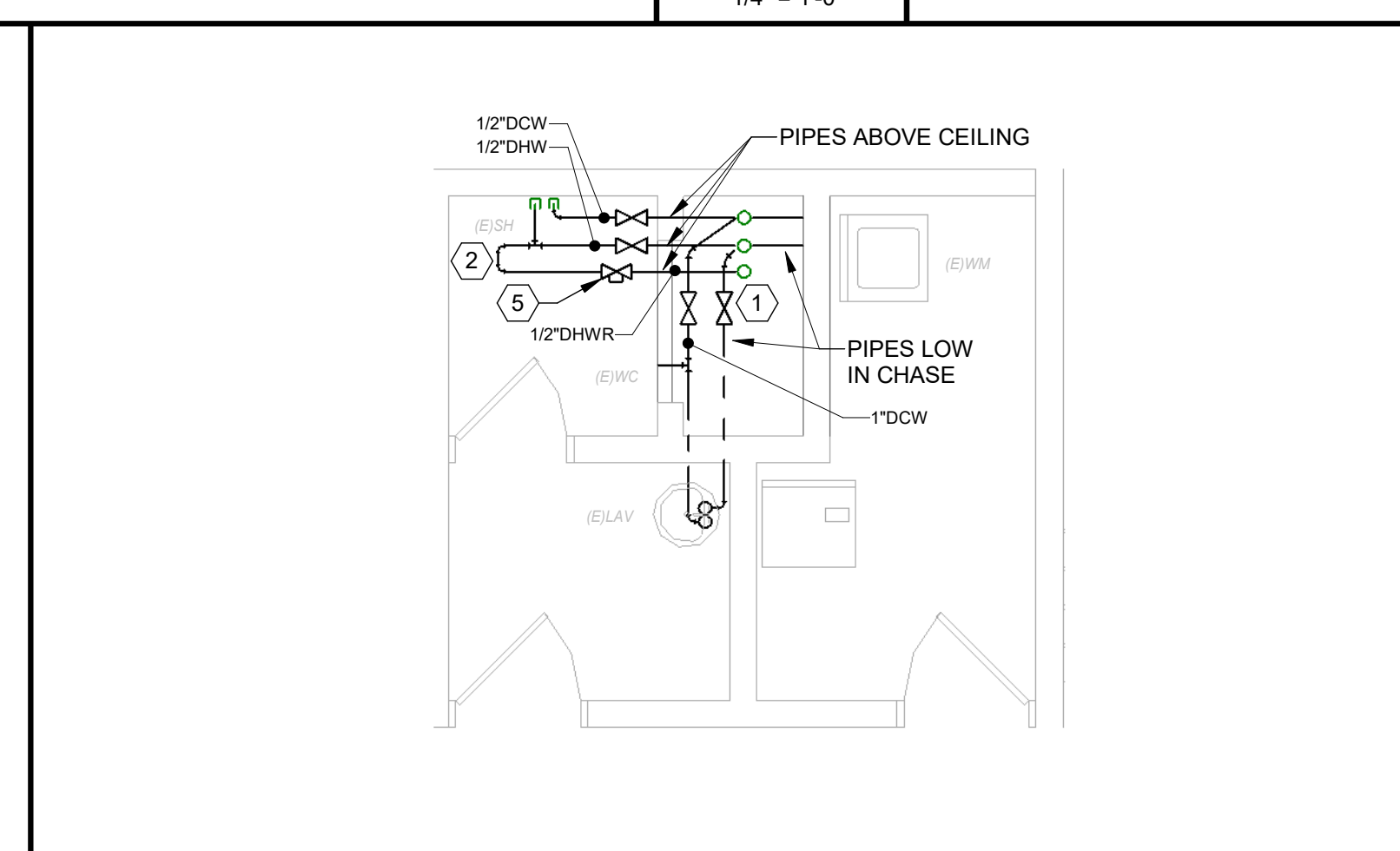
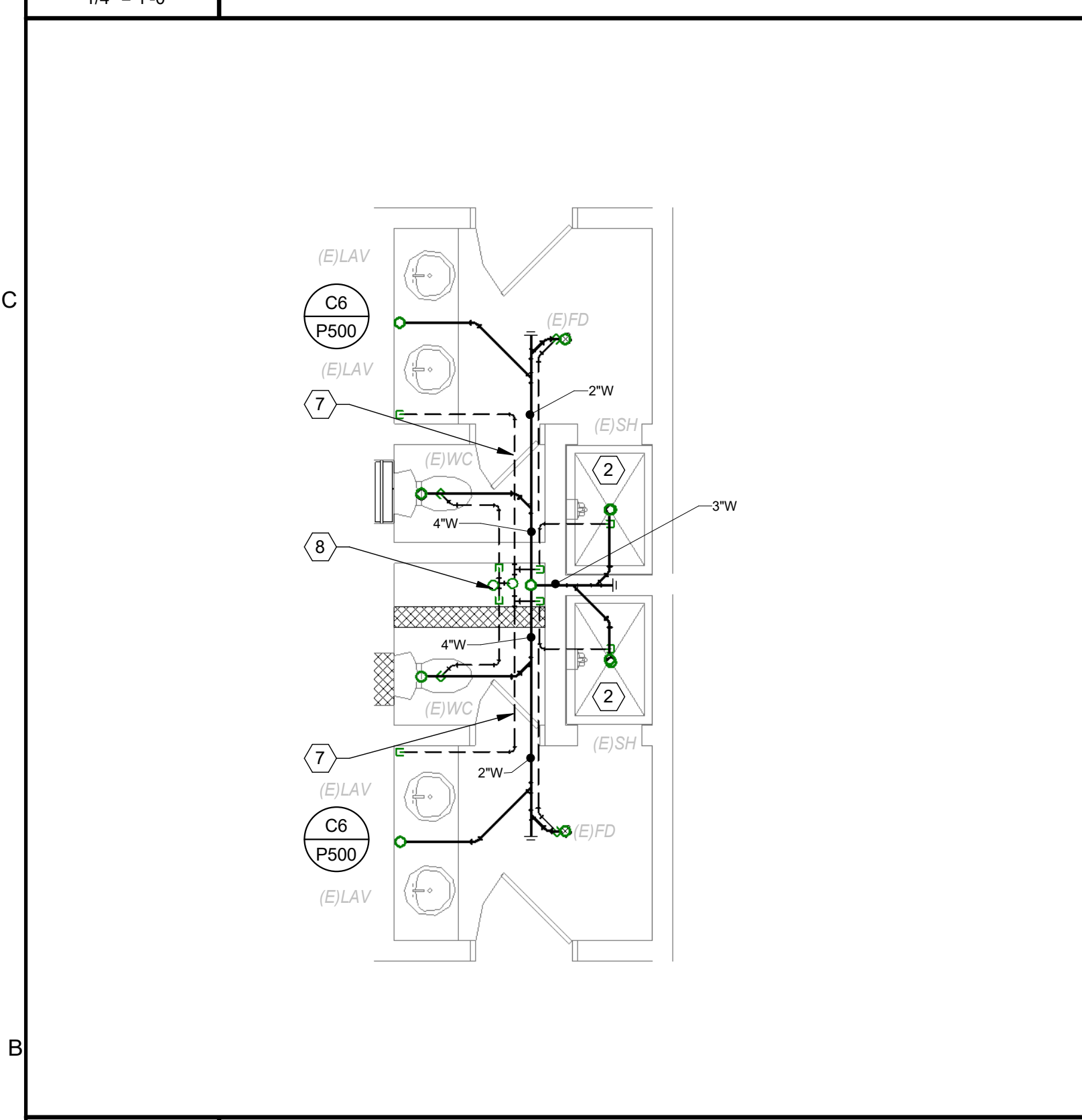
GENERAL SHOWER NOTE:
 EXISTING SHOWER CONTROL LOCATIONS VARY AND MAY NOT MATCH WHERE NEW PIPING IS SHOWN IN THIS PART PLAN. IT IS THE INTENT OF THIS PROJECT TO RE-INSTALL SHOWER CONTROLS IN THE SAME LOCATION AS EXISTING. SEE FLOOR PLANS FOR ACTUAL LOCATIONS OF SHOWER CONTROLS AND FOR NOTES DETAILING REQUIRED WORK AT SPECIFIC LOCATIONS.

GENERAL WATER CLOSET NOTE:
 UNLESS OTHERWISE NOTED, RE-USE EXISTING WATER CLOSET CARRIERS AND CONNECT TO NEW PIPING.



D6 PHASE 1 - GROUP BATHROOM SUPPLY PART PLAN
 1/4" = 1'-0"

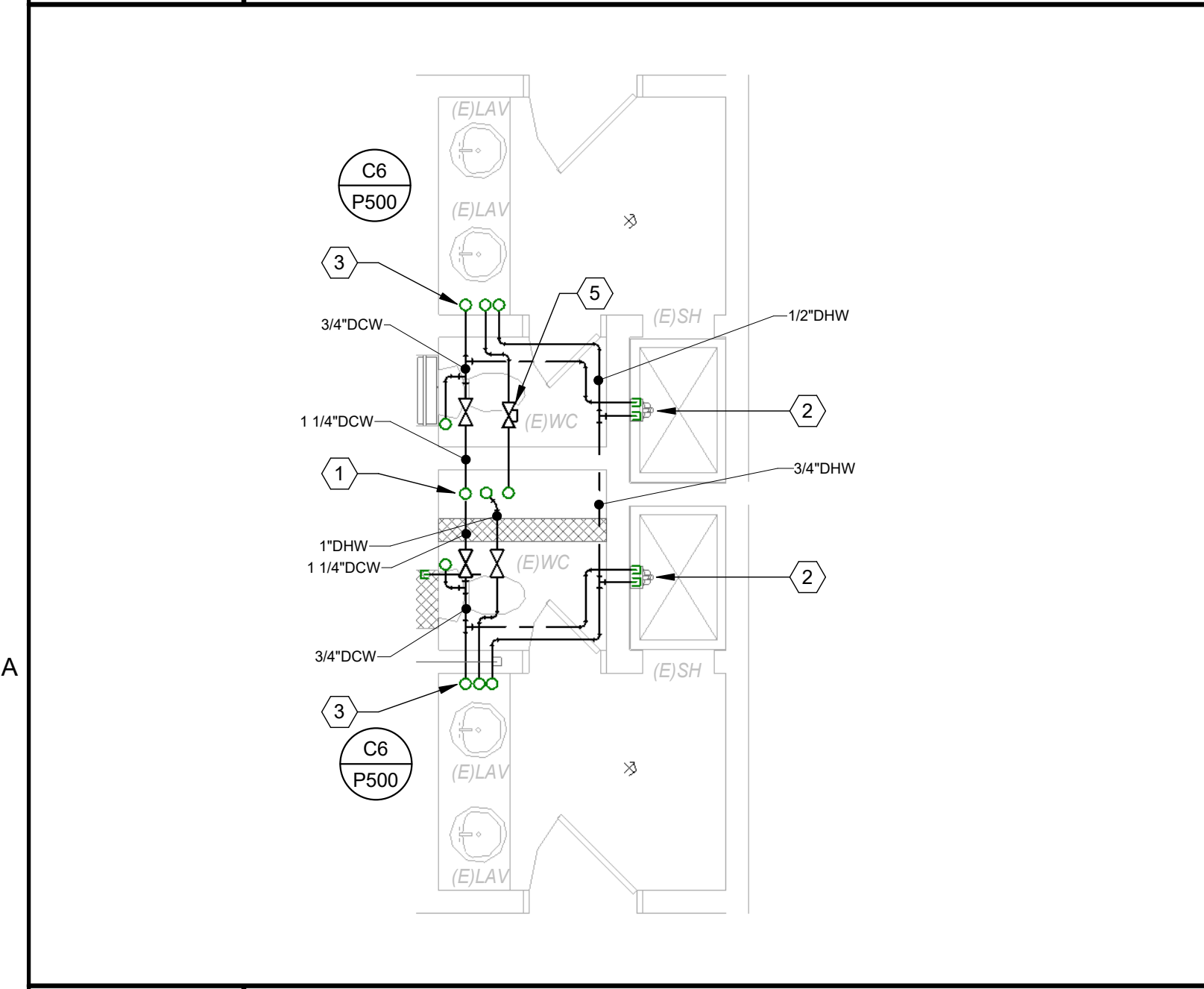
D4 PHASE 1 - GROUP BATHROOM W & V PART PLAN
 1/4" = 1'-0"



C5 PHASE 1 - FIRST FLOOR LAUNDRY SUPPLY PART PLAN
 1/4" = 1'-0"

C4 PHASE 1 - FIRST FLOOR LAUNDRY W & V PART PLAN
 1/4" = 1'-0"

B6 PHASE 1 - TWIN BATHROOM W & V PART PLAN
 1/4" = 1'-0"

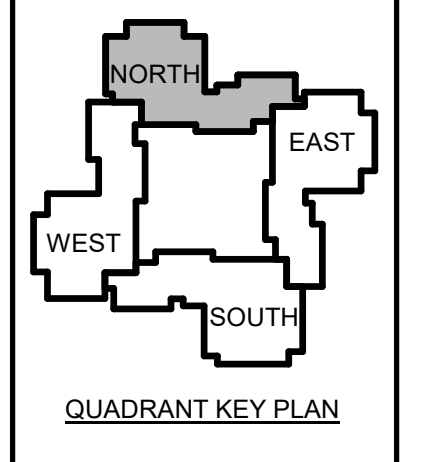


A6 PHASE 1 - TWIN BATHROOM SUPPLY PART PLAN
 1/4" = 1'-0"

A2 NOTES
 NONE

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1	12-1	Addendum #3
	5-23	
No.	Date	Description
Revision Schedule		

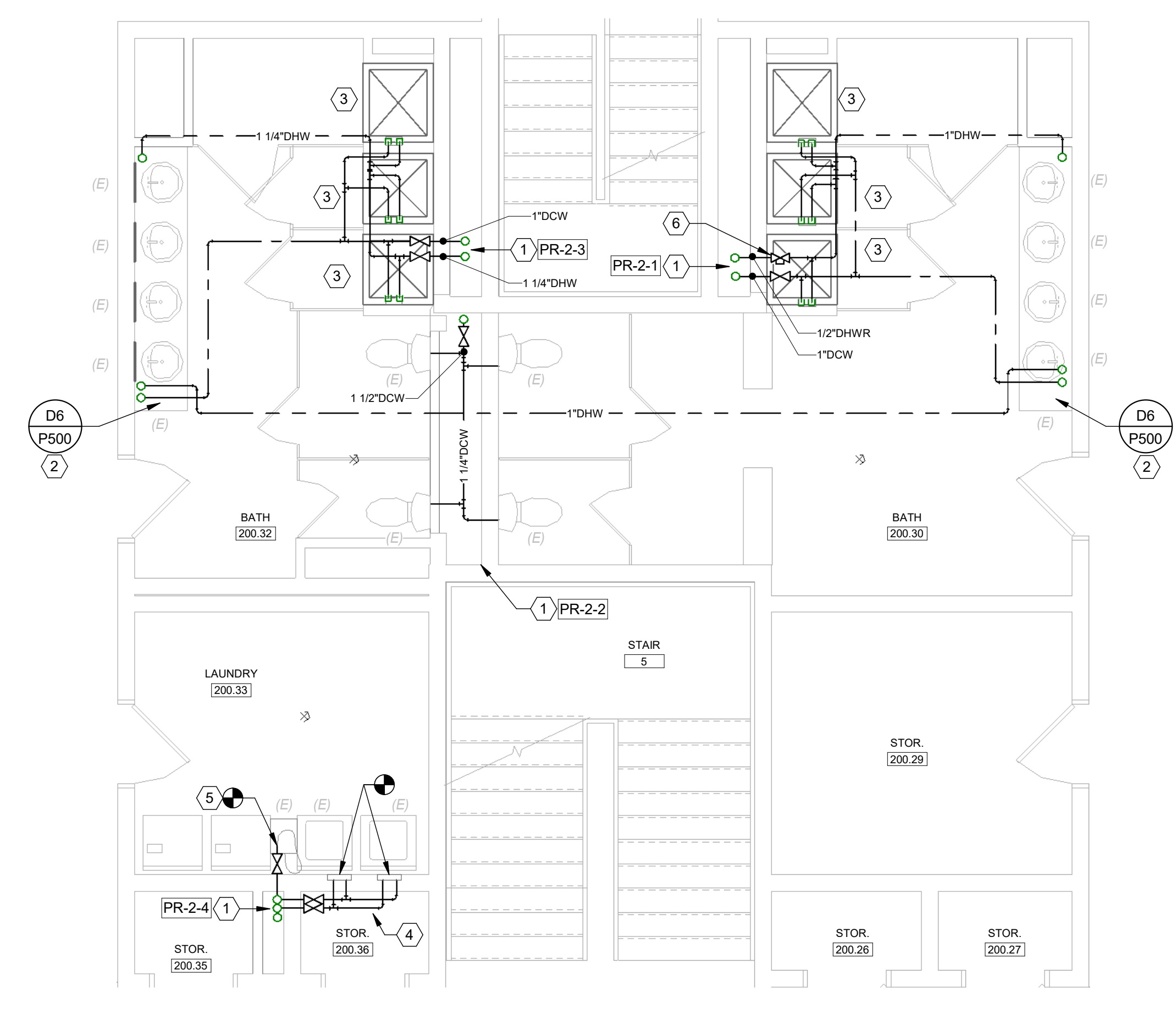
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JOB NO.
076982

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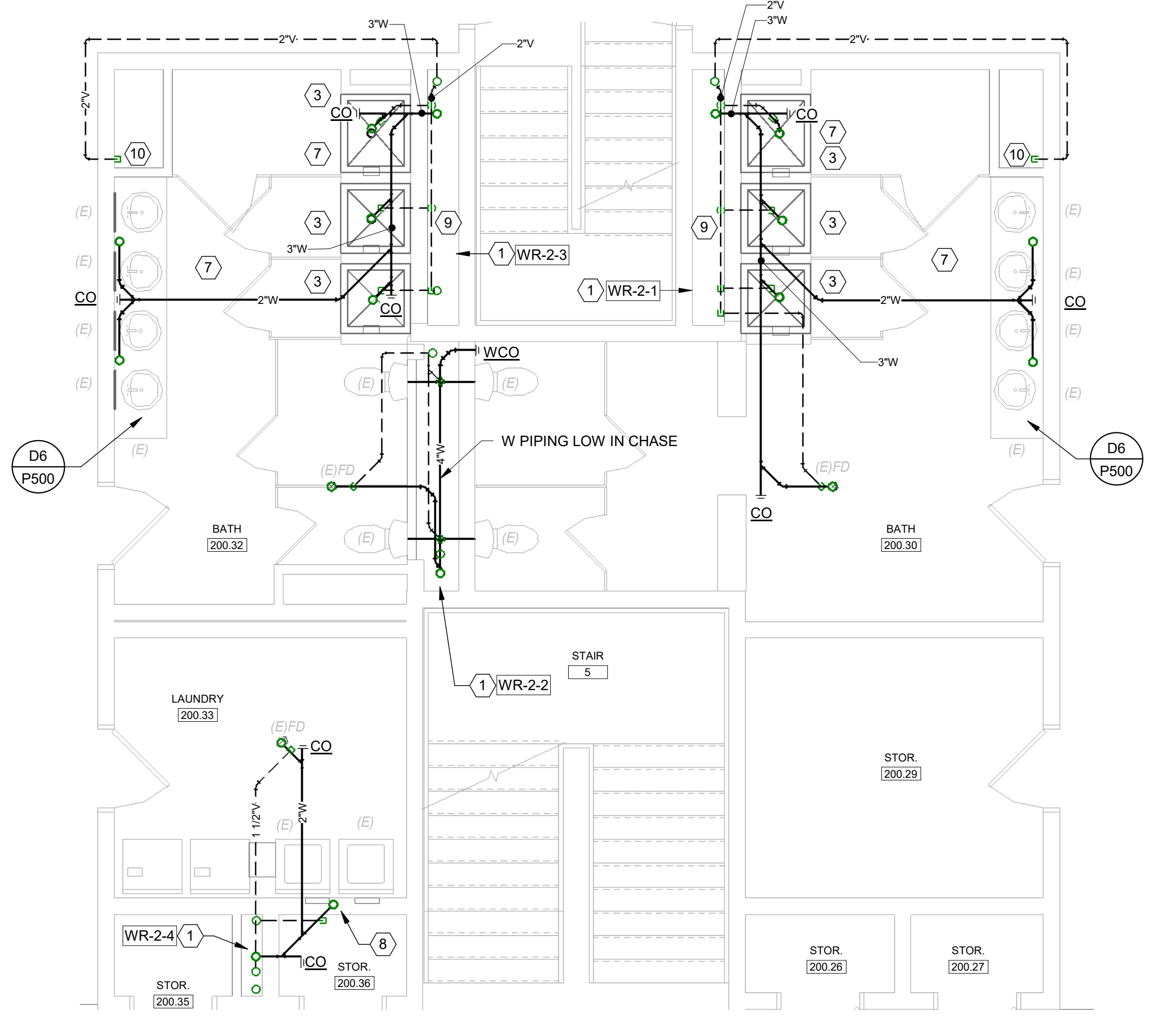
TITLE
 PHASE 2 - PLUMBING PART PLANS

SHEET
P402



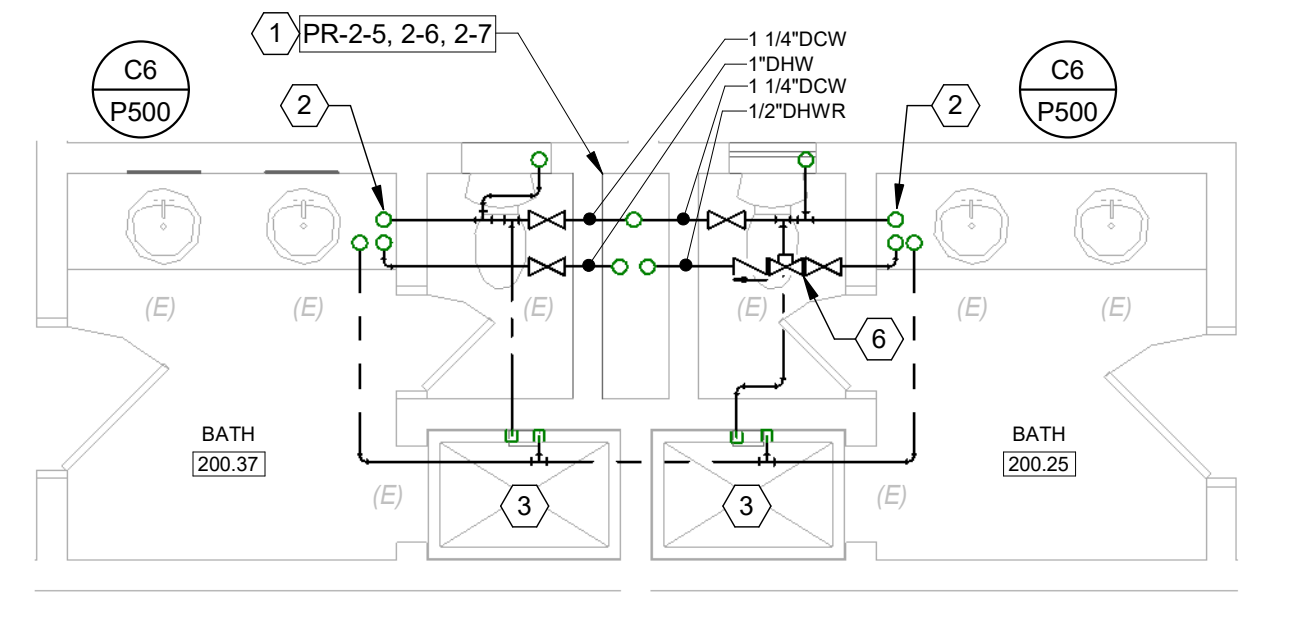
D2 PHASE 2 - GROUP BATHROOM PLUMBING SUPPLY PART PLAN

1/4" = 1'-0"



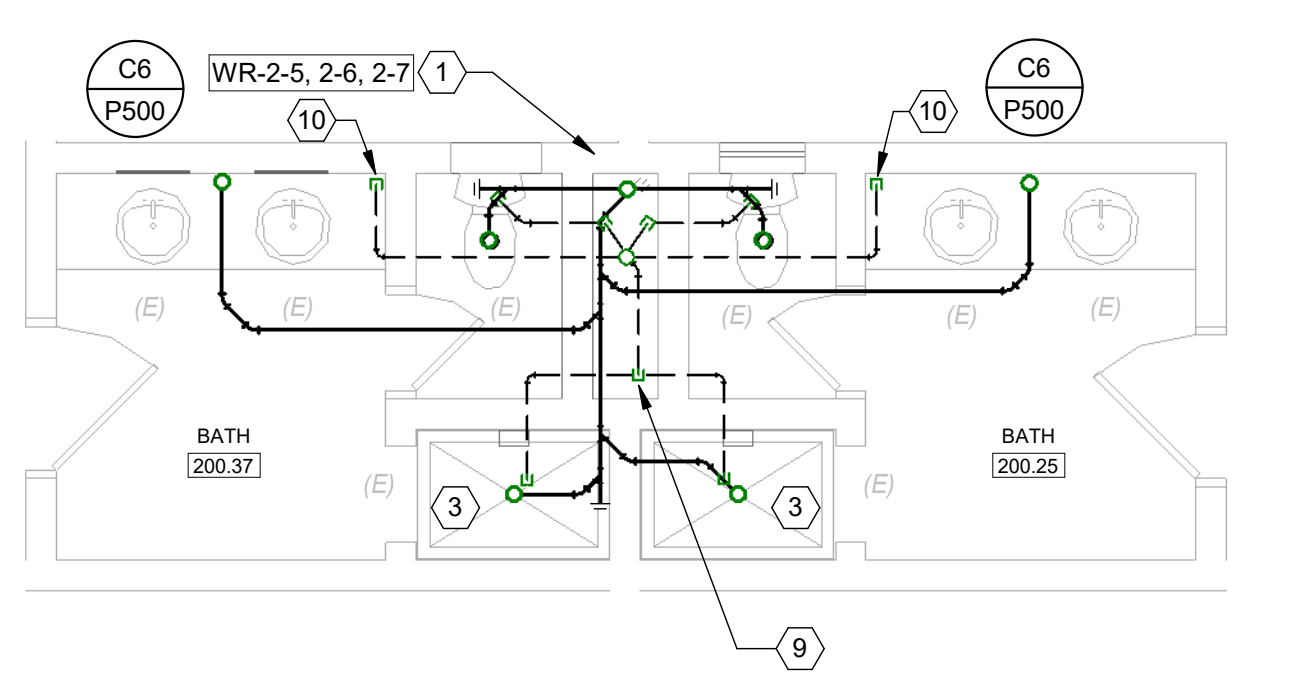
D4 PHASE 2 - GROUP BATHROOM PLUMBING W & V PART PLAN

1/4" = 1'-0"



B2 PHASE 2 - TWIN BATHROOM PLUMBING SUPPLY PART PLAN

1/4" = 1'-0"



B4 PHASE 2 - TWIN BATHROOM PLUMBING W & V PART PLAN

1/4" = 1'-0"

KEYED NOTES:

- | | |
|--|--|
| ① NEW PLUMBING RISERS IN EXISTING CHASE, SEE SHEET P502 FOR SIZES. | ⑦ RUN WASTE AND VENT PIPING AS HIGH AS POSSIBLE IN THIS AREA (ABOVE NEW DUCTWORK). |
| ② NEW DCW & DHW PIPING UP THROUGH FLOOR INTO BOTTOM OF LAV APRON. | ⑧ COMBINE WASTE FROM WASHER OUTLET BOXES IN WALL. |
| ③ SEE PLANS FOR LOCATION-SPECIFIC SHOWER NOTES. | ⑨ COMBINE VENTS IN CHASE ABOVE FLOOD RIM PER CODE. |
| ④ SURFACE MOUNT 3/4\"/> | |
| ⑤ 1/2\"/> | |
| ⑥ 1/2\"/> | |

GENERAL NOTE:

UNLESS OTHERWISE NOTED, RE-INSTALL EXISTING PLUMBING FIXTURES AND CONNECT TO NEW PIPING. SHUT-OFF VALVES LOCATED ABOVE CEILINGS OR BEHIND WALLS SHALL BE ACCESSIBLE VIA ACCESS PANELS.

UNLESS OTHERWISE NOTED, W&V PIPING SHOWN BELOW FLOOR AND SUPPLY PIPING SHOWN ABOVE CEILING.

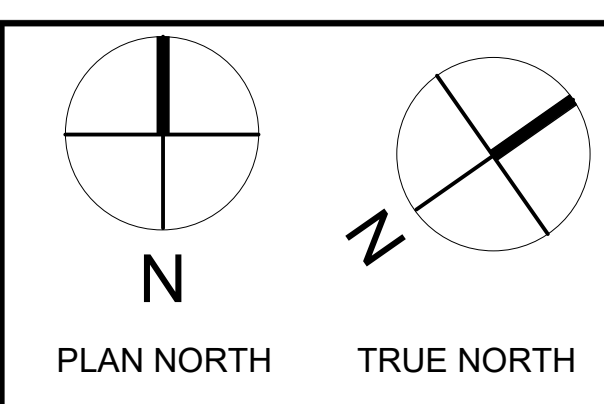
GENERAL SHOWER NOTE:

EXISTING SHOWER CONTROL LOCATIONS VARY AND MAY NOT MATCH WHERE NEW PIPING IS SHOWN IN THIS PART PLAN. IT IS THE INTENT OF THIS PROJECT TO RE-INSTALL SHOWER CONTROLS IN THE SAME LOCATION AS EXISTING. SEE FLOOR PLANS FOR ACTUAL LOCATIONS OF SHOWER CONTROLS AND FOR NOTES DETAILING REQUIRED WORK AT SPECIFIC LOCATIONS.

GENERAL WATER CLOSET NOTE:

UNLESS OTHERWISE NOTED, RE-USE EXISTING WATER CLOSET CARRIERS AND CONNECT TO NEW PIPING.

ADDED SCALES

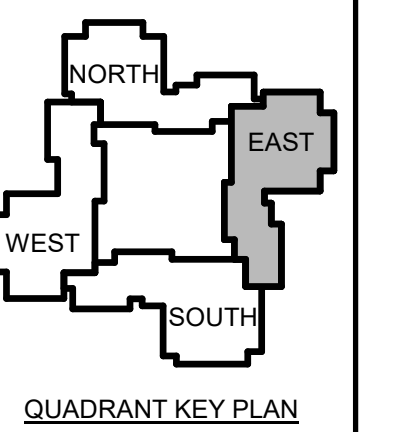


A2 NOTES

NONE

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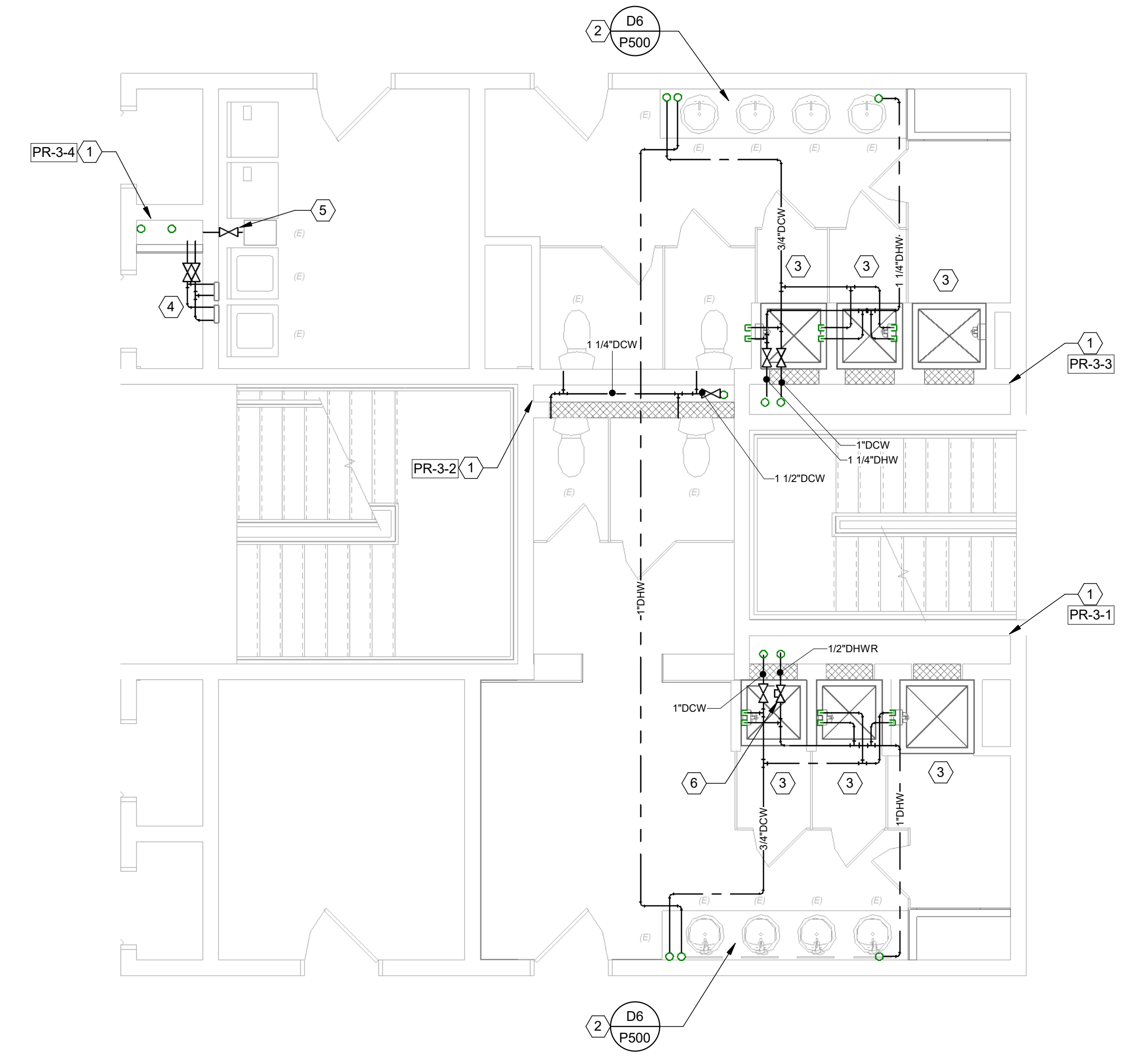
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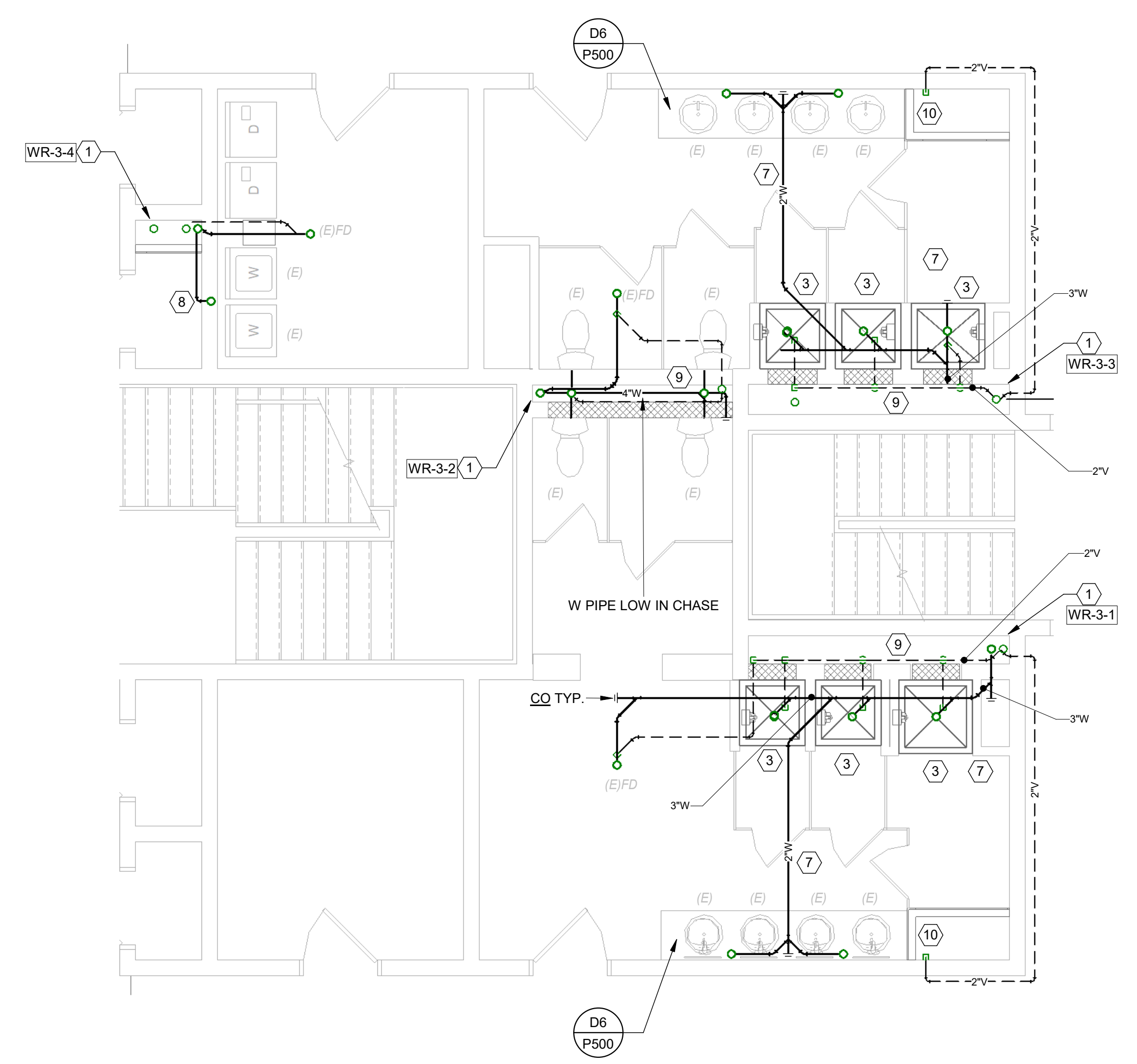
TITLE
 PHASE 3 - PLUMBING PART PLANS

SHEET
P403



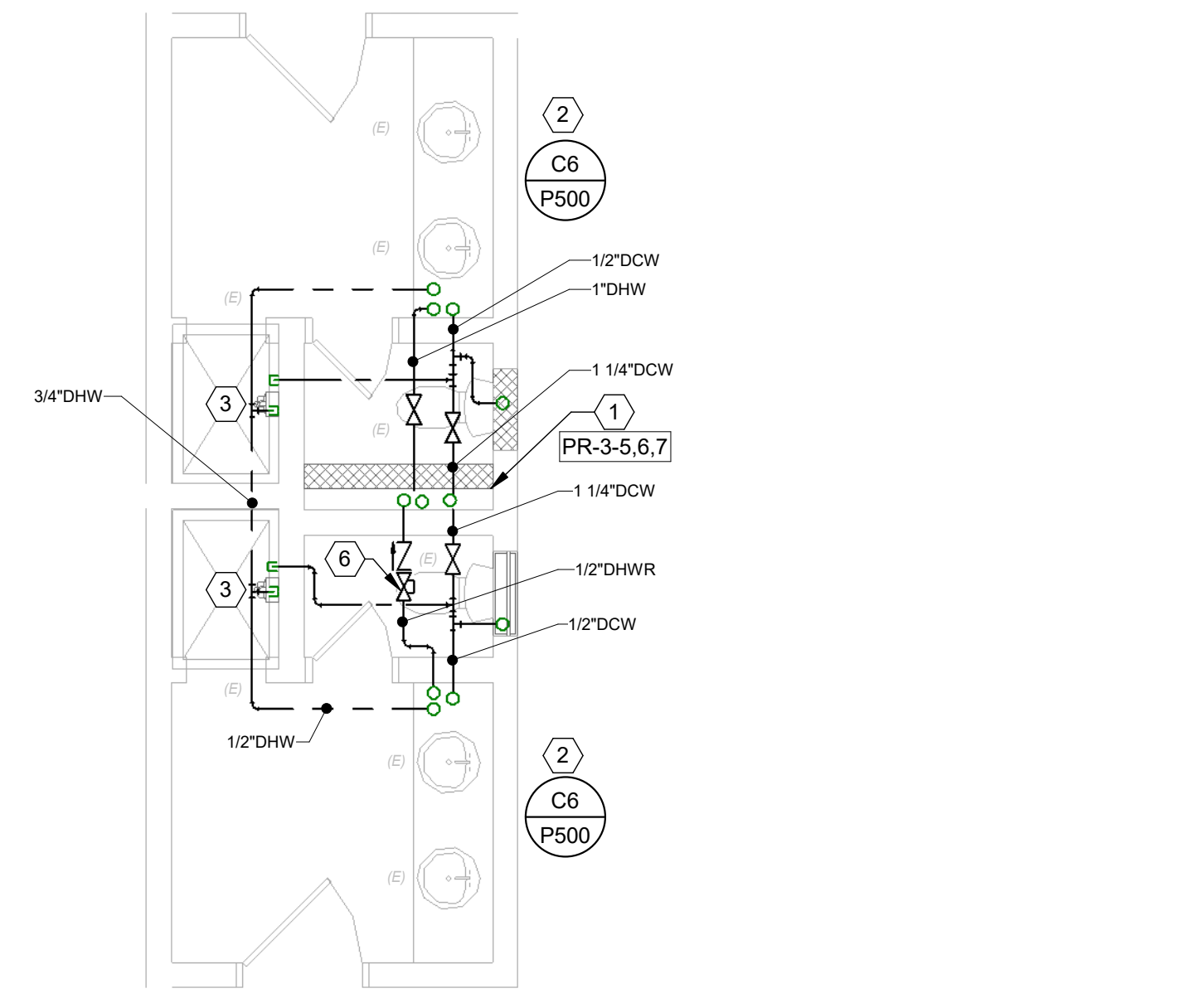
D2 PHASE 3 - GROUP BATHROOM PLUMBING SUPPLY PART PLAN

1/4" = 1'-0"



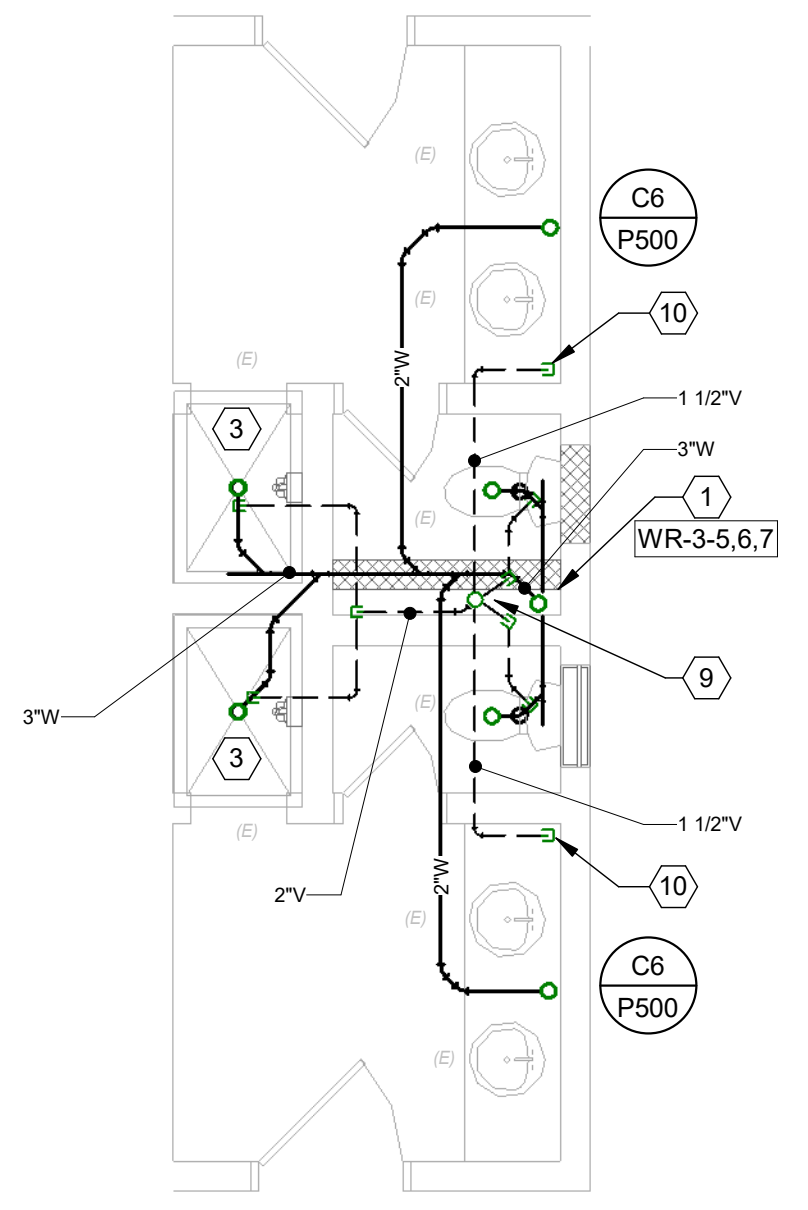
D4 PHASE 3 - GROUP BATHROOM PLUMBING W & V PART PLAN

1/4" = 1'-0"



B2 PHASE 3 - TWIN BATHROOM PLUMBING SUPPLY PART PLAN

1/4" = 1'-0"



B4 PHASE 3 - TWIN BATHROOM PLUMBING W&V PART PLAN

1/4" = 1'-0"

KEYED NOTES:

- ① NEW PLUMBING RISERS IN EXISTING CHASE, SEE SHEET P503 FOR SIZES.
- ② NEW DCW & DHW PIPING UP THROUGH FLOOR INTO BOTTOM OF LAV APRON.
- ③ SEE PLANS FOR LOCATION-SPECIFIC SHOWER NOTES.
- ④ SURFACE MOUNT 3/4"DCW AND 3/4"DHW IN STORAGE CLOSET. CONNECT TO (E) WASHER OUTLET BOXES.
- ⑤ 1/2"DCW AT CEILING - PROVIDE SHUT-OFF VALVE & NECESSARY FITTINGS TO CONNECT TO EXISTING BOTTLE FILL.
- ⑥ 1/2"DHW BALANCING VALVE - SET TO 0.2gpm.
- ⑦ RUN WASTE AND VENT PIPING AS HIGH AS POSSIBLE IN THIS AREA (ABOVE NEW DUCTWORK).
- ⑧ COMBINE WASTE FROM WASHER OUTLET BOXES IN WALL.
- ⑨ COMBINE VENTS IN CHASE ABOVE FLOOD RIM PER CODE.
- ⑩ LAVATORY VENT UP (CONCEALED). SEE LAVATORY PIPING DETAIL.

GENERAL NOTE:

UNLESS OTHERWISE NOTED, RE-INSTALL EXISTING PLUMBING FIXTURES AND CONNECT TO NEW PIPING. SHUT-OFF VALVES LOCATED ABOVE CEILINGS OR BEHIND WALLS SHALL BE ACCESSIBLE VIA ACCESS PANELS.

UNLESS OTHERWISE NOTED, W&V PIPING SHOWN BELOW FLOOR AND SUPPLY PIPING SHOWN ABOVE CEILING.

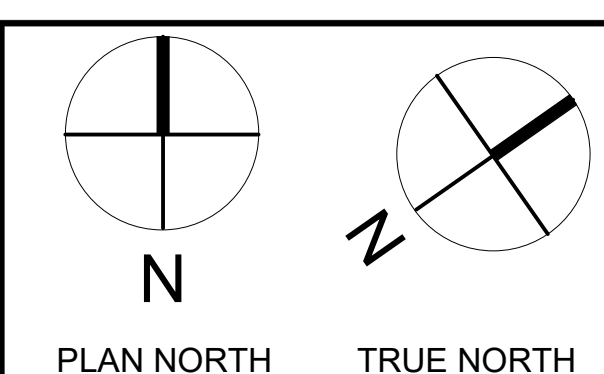
GENERAL SHOWER NOTE:

EXISTING SHOWER CONTROL LOCATIONS VARY AND MAY NOT MATCH WHERE NEW PIPING IS SHOWN IN THIS PART PLAN. IT IS THE INTENT OF THIS PROJECT TO RE-INSTALL SHOWER CONTROLS IN THE SAME LOCATION AS EXISTING. SEE FLOOR PLANS FOR ACTUAL LOCATIONS OF SHOWER CONTROLS AND FOR NOTES DETAILING REQUIRED WORK AT SPECIFIC LOCATIONS.

GENERAL WATER CLOSET NOTE:

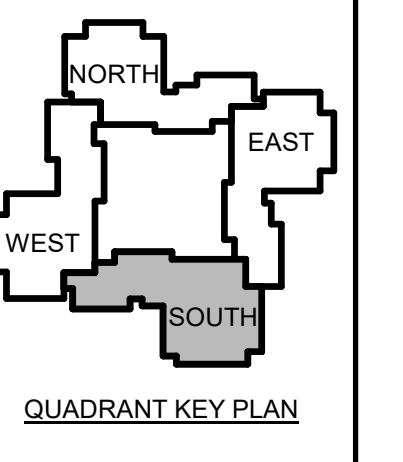
UNLESS OTHERWISE NOTED, RE-USE EXISTING WATER CLOSET CARRIERS AND CONNECT TO NEW PIPING.

ADDED SCALES



A2 NOTES

NONE



1	12-1	Addendum #3
	5-23	
No.	Date	Description
Revision Schedule		

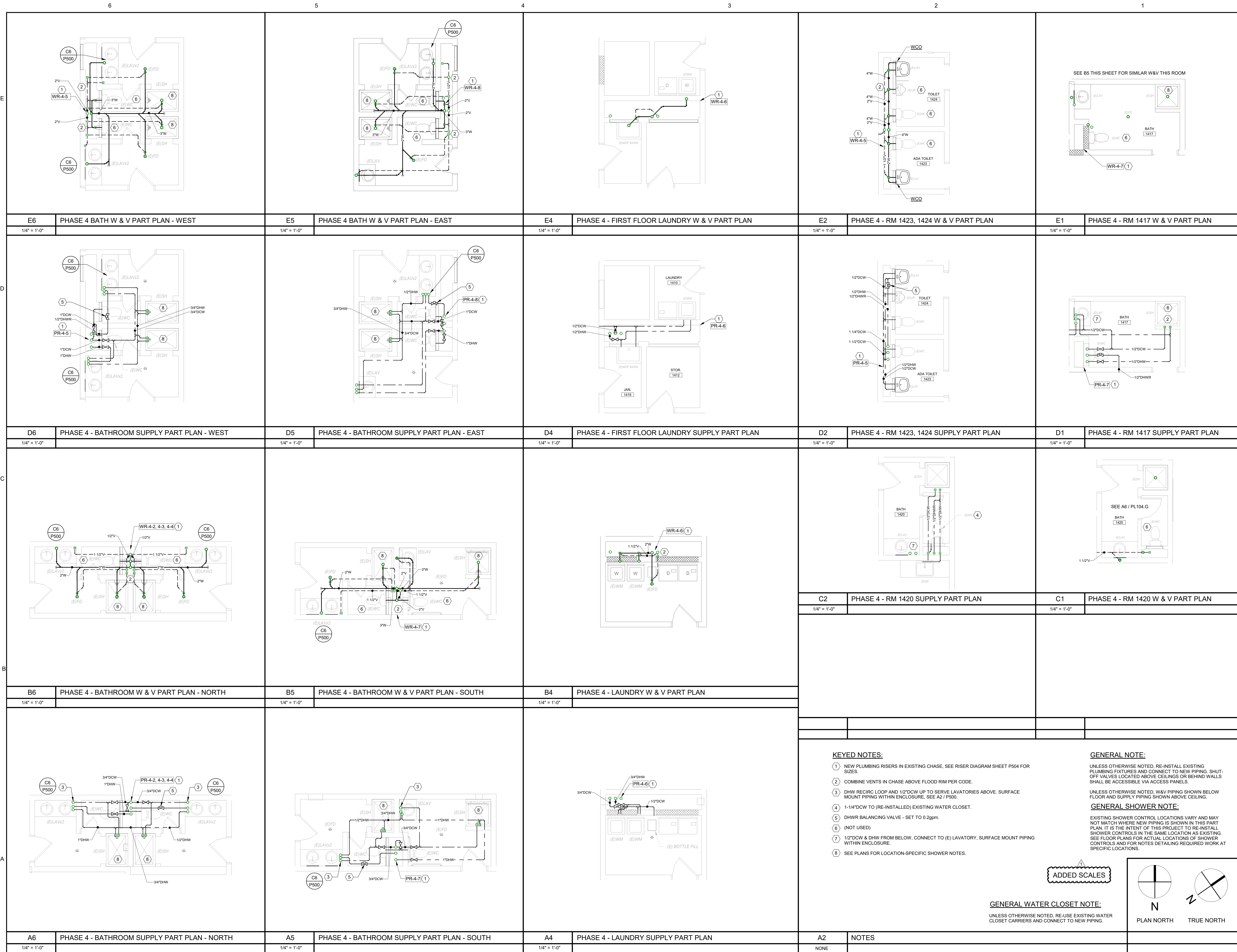
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TITLE
 PHASE 4 - PLUMBING PART PLANS

SHEET
P404

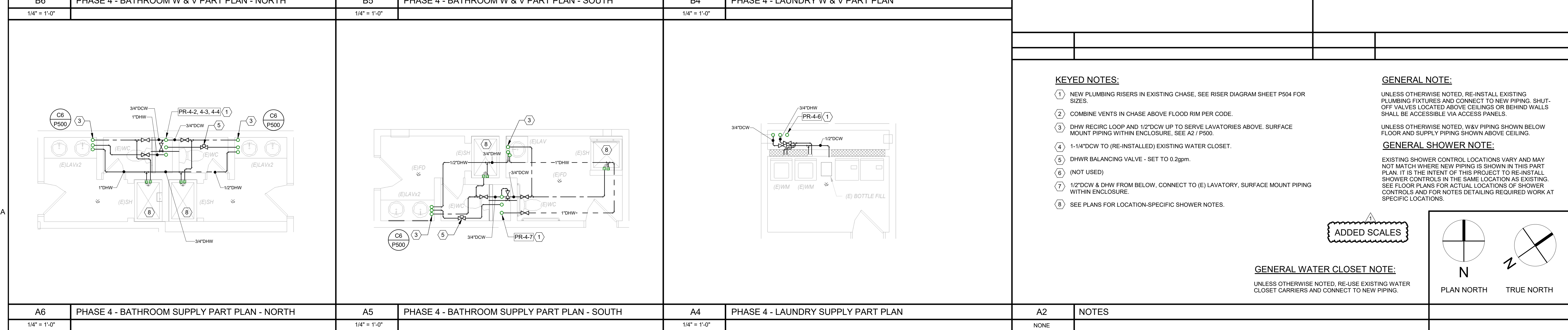
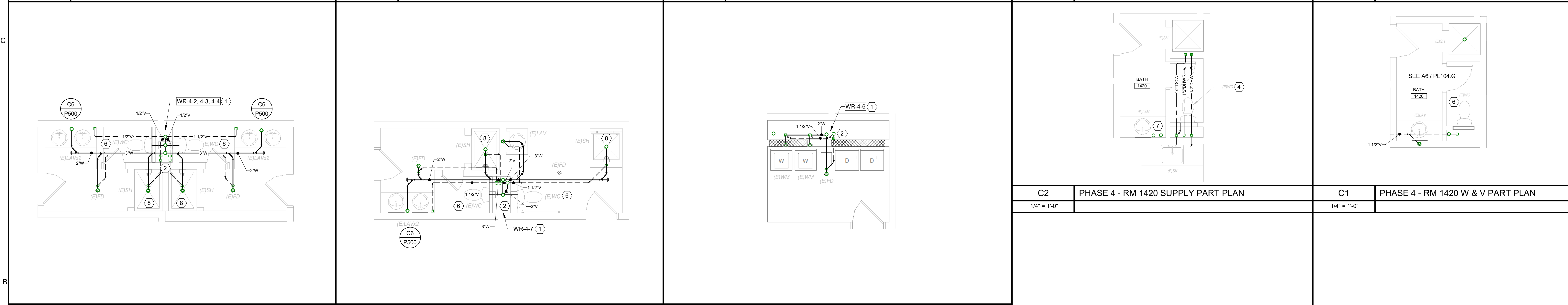
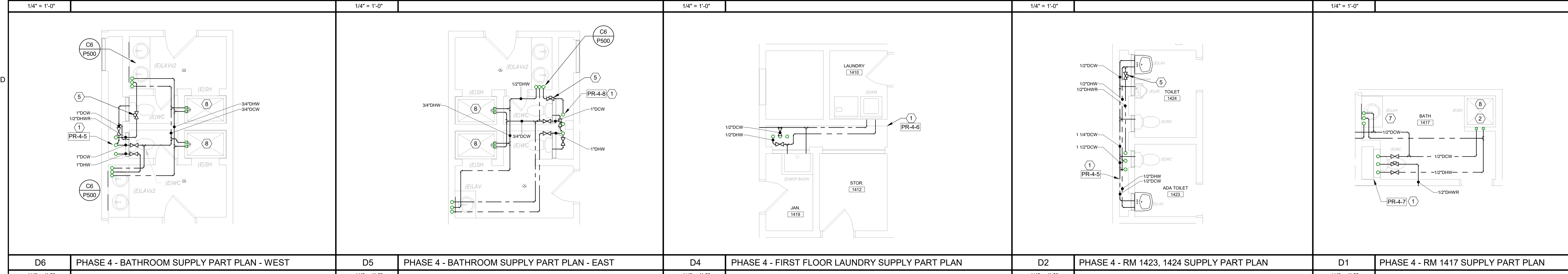
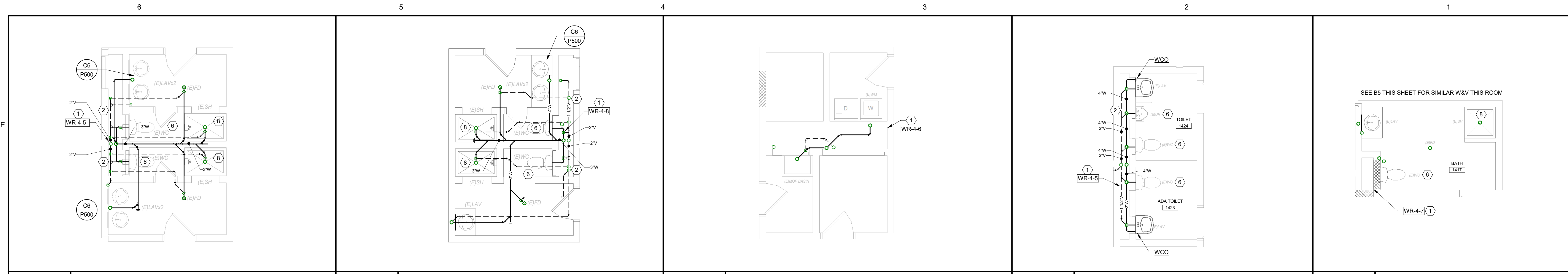
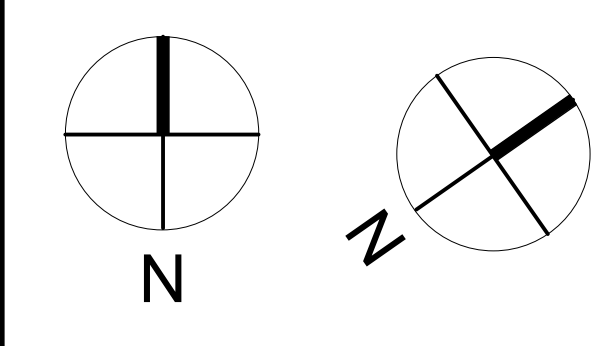


- KEYED NOTES:**
- NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAM SHEET P504 FOR SIZES.
 - COMBINE VENTS IN CHASE ABOVE FLOOD RIM PER CODE.
 - DHW RECIRC LOOP AND 1/2"DCW UP TO SERVE LAVATORIES ABOVE. SURFACE MOUNT PIPING WITHIN ENCLOSURE, SEE A2 / P500.
 - 1-1/4"DCW TO (RE-INSTALLED) EXISTING WATER CLOSET.
 - DHWR BALANCING VALVE - SET TO 0.2gpm.
 - (NOT USED)
 - 1/2"DCW & DHW FROM BELOW, CONNECT TO (E) LAVATORY, SURFACE MOUNT PIPING WITHIN ENCLOSURE.
 - SEE PLANS FOR LOCATION-SPECIFIC SHOWER NOTES.

GENERAL NOTE:
 UNLESS OTHERWISE NOTED, RE-INSTALL EXISTING PLUMBING FIXTURES AND CONNECT TO NEW PIPING. SHUT-OFF VALVES LOCATED ABOVE CEILINGS OR BEHIND WALLS SHALL BE ACCESSIBLE VIA ACCESS PANELS.

GENERAL SHOWER NOTE:
 UNLESS OTHERWISE NOTED, W&V PIPING SHOWN BELOW FLOOR AND SUPPLY PIPING SHOWN ABOVE CEILING. EXISTING SHOWER CONTROL LOCATIONS VARY AND MAY NOT MATCH WHERE NEW PIPING IS SHOWN IN THIS PART PLAN. IT IS THE INTENT OF THIS PROJECT TO RE-INSTALL SHOWER CONTROLS IN THE SAME LOCATION AS EXISTING. SEE FLOOR PLANS FOR ACTUAL LOCATIONS OF SHOWER CONTROLS AND FOR NOTES DETAILING REQUIRED WORK AT SPECIFIC LOCATIONS.

GENERAL WATER CLOSET NOTE:
 UNLESS OTHERWISE NOTED, RE-USE EXISTING WATER CLOSET CARRIERS AND CONNECT TO NEW PIPING.



1	12-1	Addendum #3
	5-23	

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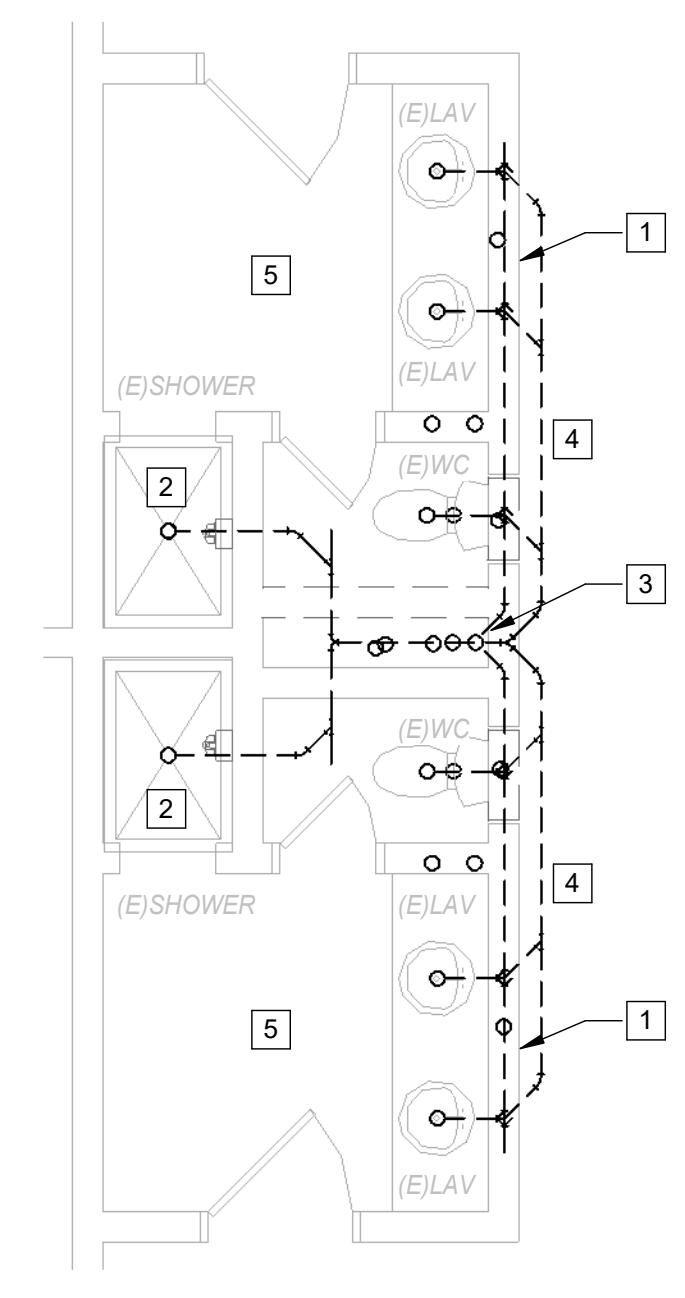
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TITLE
PLUMBING DEMOLITION PART PLANS

SHEET
PD401

- DEMOLITION KEYED NOTES:**
- EXISTING LAVATORY VENT PIPES IN CMU WALLS TO BE ABANDONED IN PLACE, SEE C6 / P500.
 - SEE SHOWER DEMOLITION NOTES ON PLANS FOR EXTENT OF DEMOLITION AT SHOWERS.
 - REMOVE EXISTING PLUMBING PIPES WITHIN CHASE.
 - UNLESS OTHERWISE NOTED, REMOVE ALL EXISTING PLUMBING BRANCH PIPING.
 - UNLESS OTHERWISE NOTED, EXISTING FLOOR DRAINS THROUGHOUT THE PROJECT TO REMAIN FOR RE-USE.

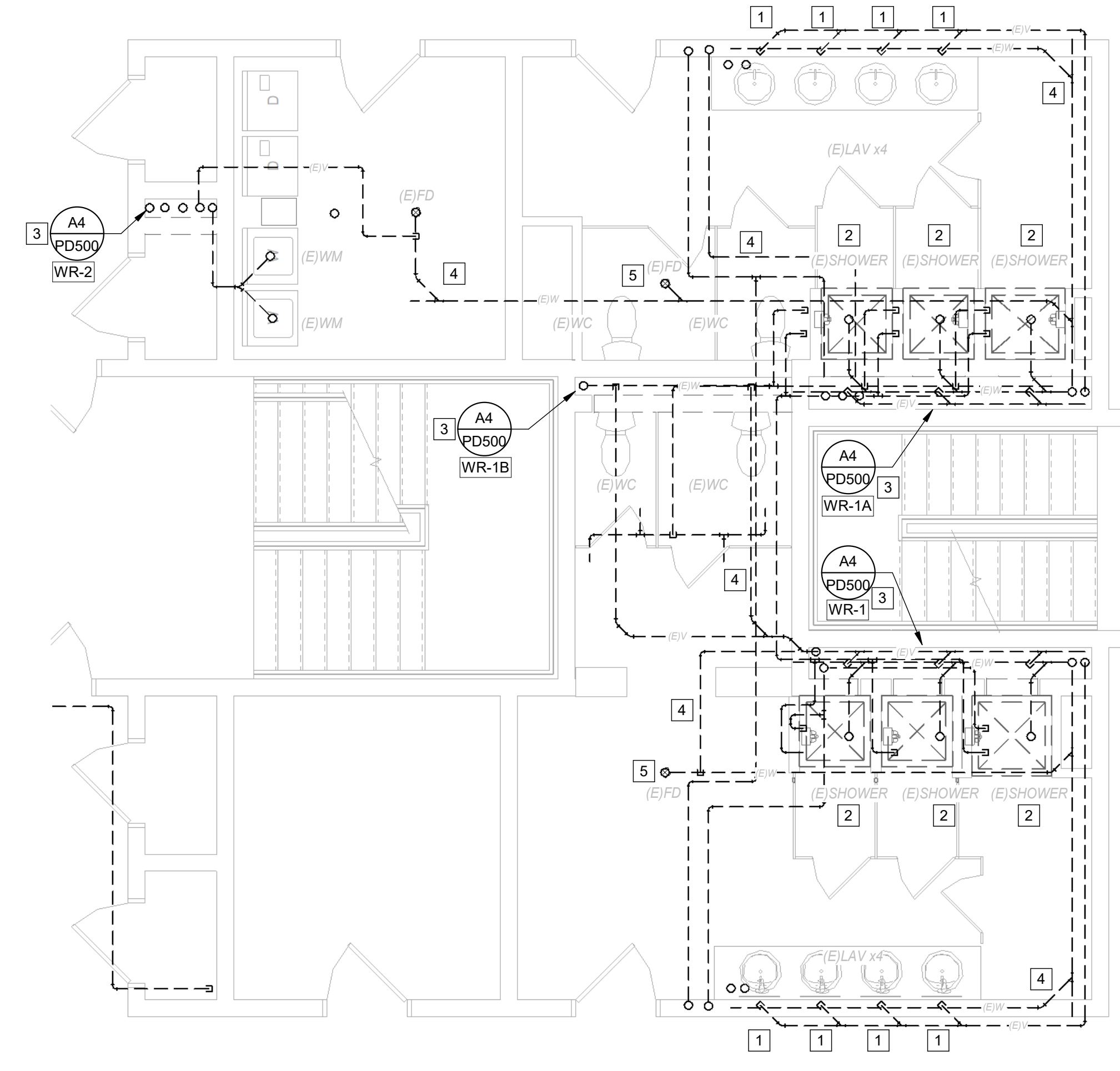
REMOVE ALL (E) PIPING UNLESS OTHERWISE NOTED



C2 PLUMBING DEMOLITION PART PLAN - TYPICAL TWIN BATHROOM
 1/4" = 1'-0"

- DEMOLITION KEYED NOTES:**
- EXISTING LAVATORY VENT PIPES IN CMU WALLS TO BE ABANDONED IN PLACE, SEE C6 / P500.
 - SEE SHOWER DEMOLITION NOTES ON PLANS FOR EXTENT OF DEMOLITION AT SHOWERS.
 - REMOVE EXISTING PLUMBING PIPES WITHIN CHASE.
 - UNLESS OTHERWISE NOTED, REMOVE ALL EXISTING PLUMBING BRANCH PIPING.
 - UNLESS OTHERWISE NOTED, EXISTING FLOOR DRAINS THROUGHOUT PROJECT TO REMAIN FOR RE-USE.

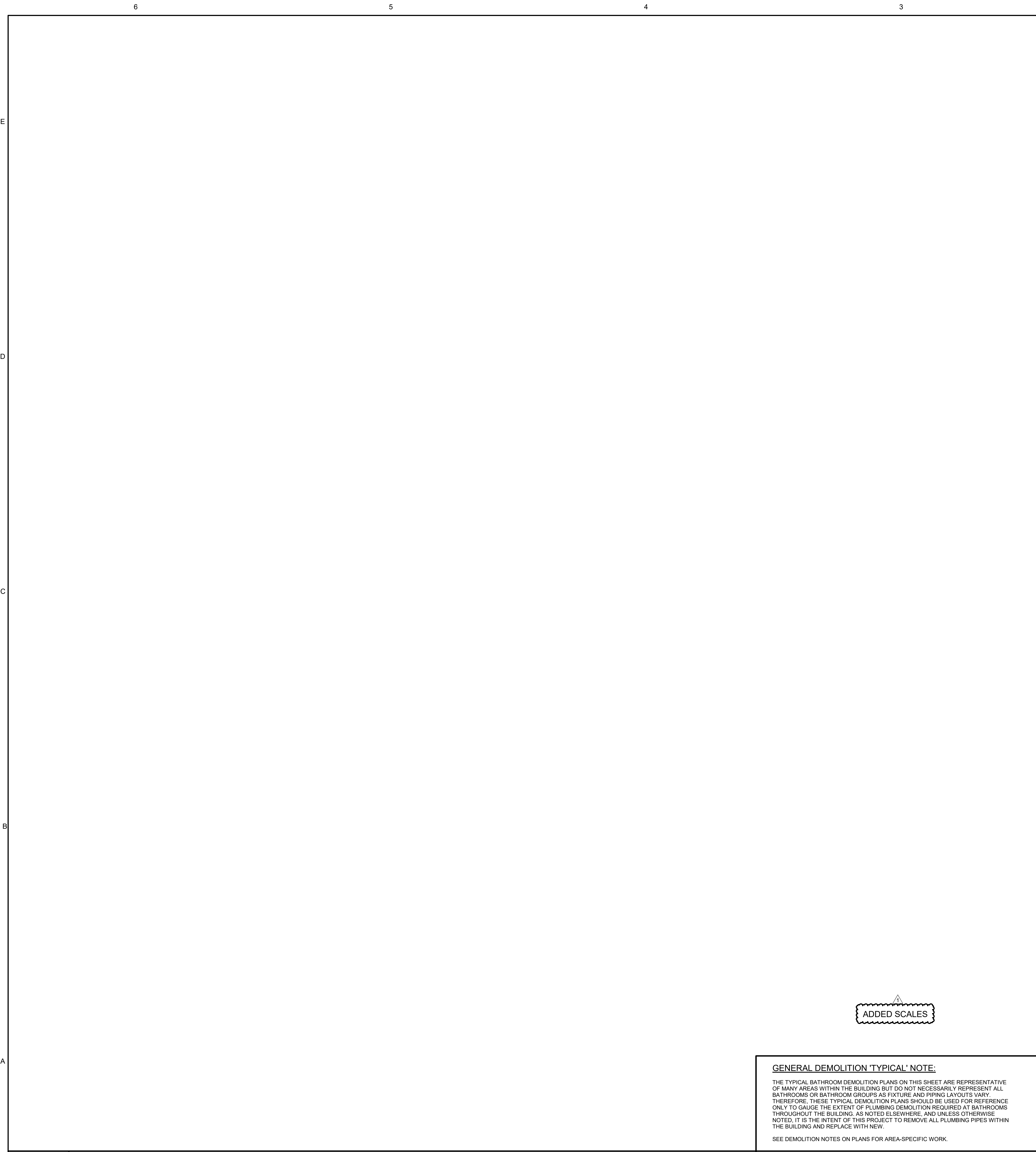
REMOVE ALL (E) PIPING UNLESS OTHERWISE NOTED



A2 PLUMBING DEMOLITION PART PLAN - TYPICAL GROUP BATHROOM
 1/4" = 1'-0"

GENERAL DEMOLITION 'TYPICAL' NOTE:
 THE TYPICAL BATHROOM DEMOLITION PLANS ON THIS SHEET ARE REPRESENTATIVE OF MANY AREAS WITHIN THE BUILDING BUT DO NOT NECESSARILY REPRESENT ALL BATHROOMS OR BATHROOM GROUPS AS FIXTURE AND PIPING LAYOUTS VARY. THEREFORE, THESE TYPICAL DEMOLITION PLANS SHOULD BE USED FOR REFERENCE ONLY TO GAUGE THE EXTENT OF PLUMBING DEMOLITION REQUIRED AT BATHROOMS THROUGHOUT THE BUILDING. AS NOTED ELSEWHERE, AND UNLESS OTHERWISE NOTED, IT IS THE INTENT OF THIS PROJECT TO REMOVE ALL PLUMBING PIPES WITHIN THE BUILDING AND REPLACE WITH NEW.
 SEE DEMOLITION NOTES ON PLANS FOR AREA-SPECIFIC WORK.

ADDED SCALES



1	12-1	Addendum #3
	5-23	

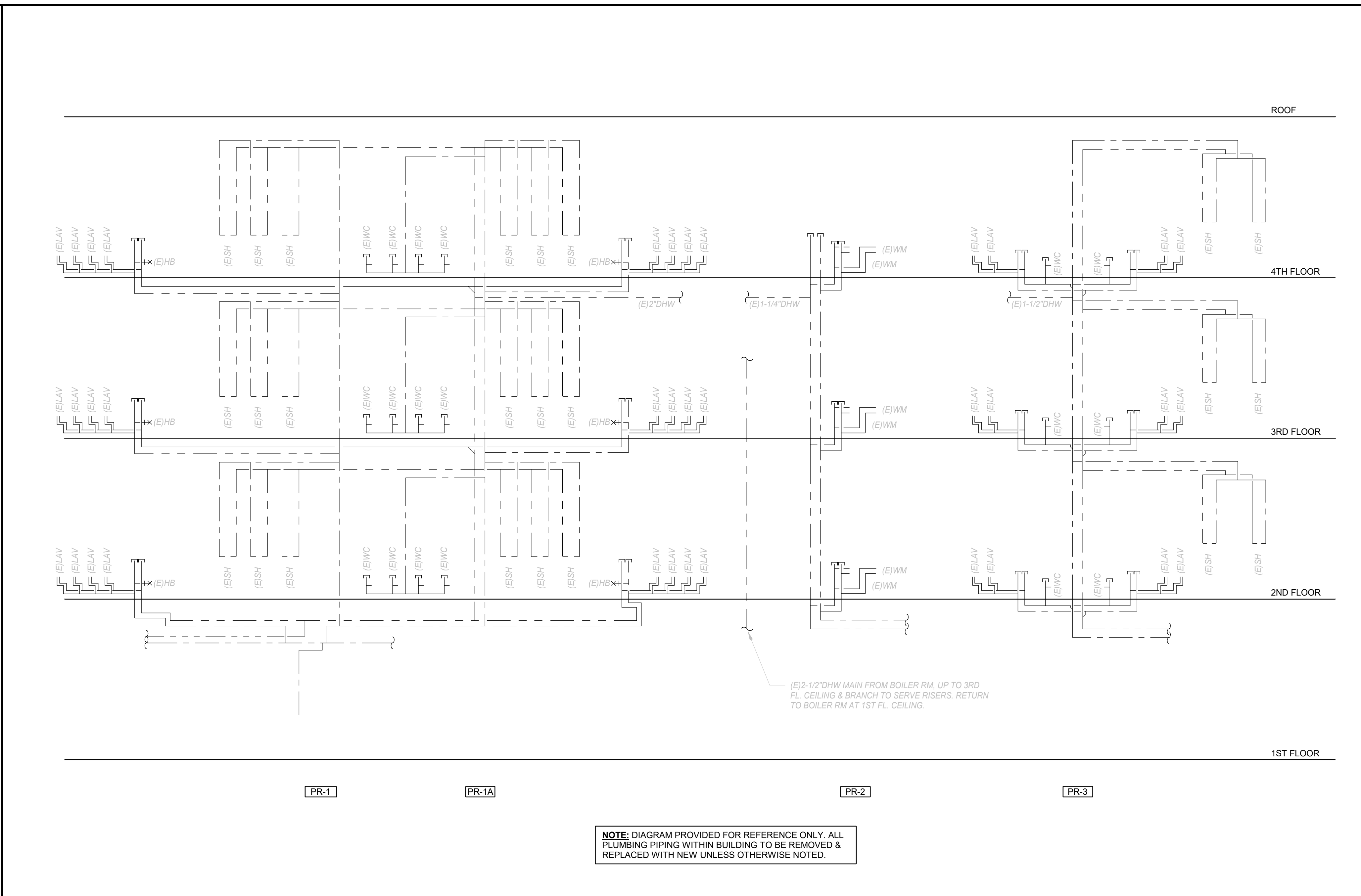
No.	Date	Description
Revision Schedule		

JOB NO.
076982

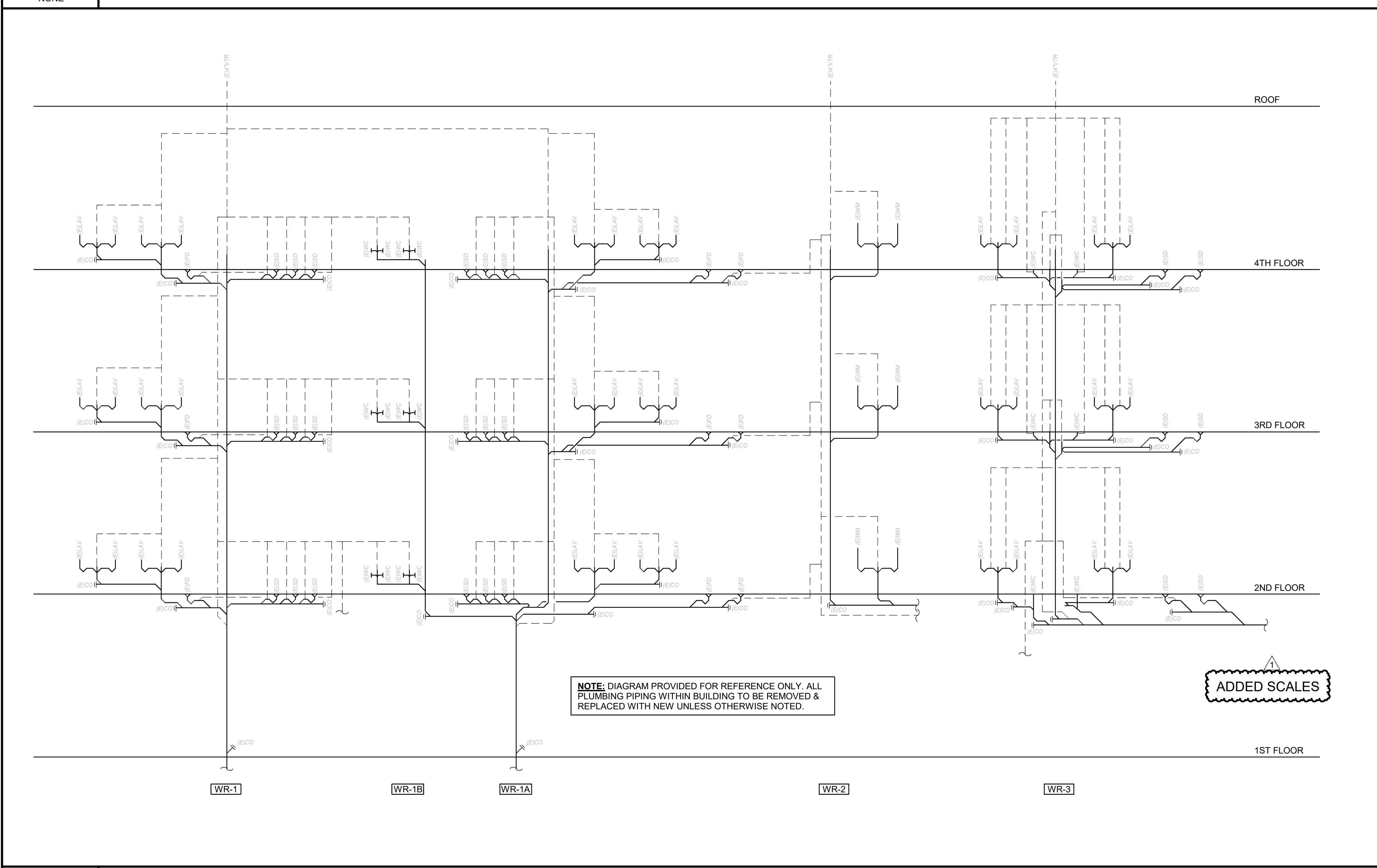
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TITLE
 EXISTING PLUMBING
 RISER DIAGRAMS

SHEET
PD500



C4 PLUMBING RISER DIAGRAM - EXISTING SUPPLY - PHASE 2 & 3
 NONE

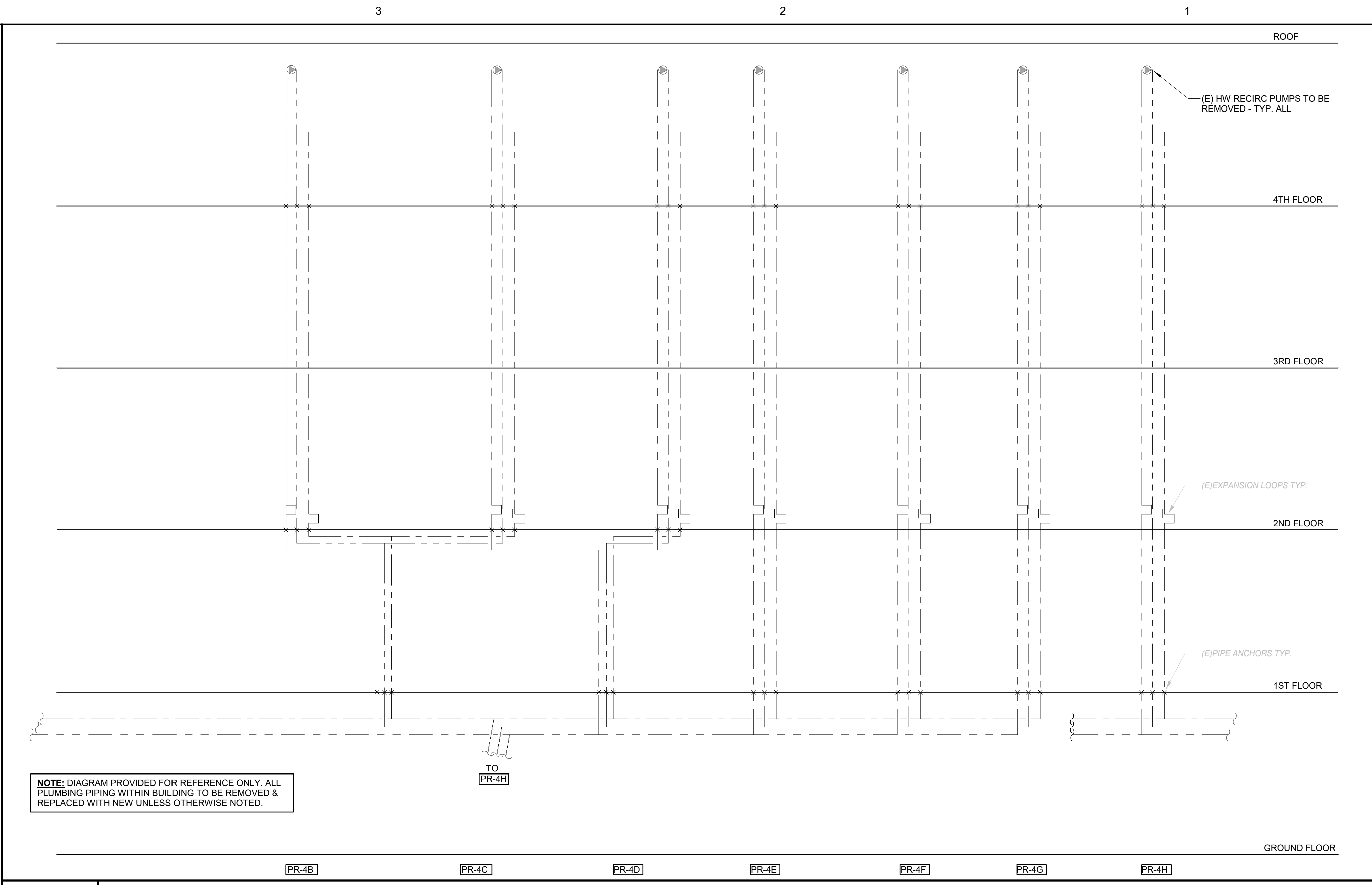


A4 PLUMBING RISER DIAGRAM - EXISTING WASTE & VENT - PHASE 2 & 3
 NONE

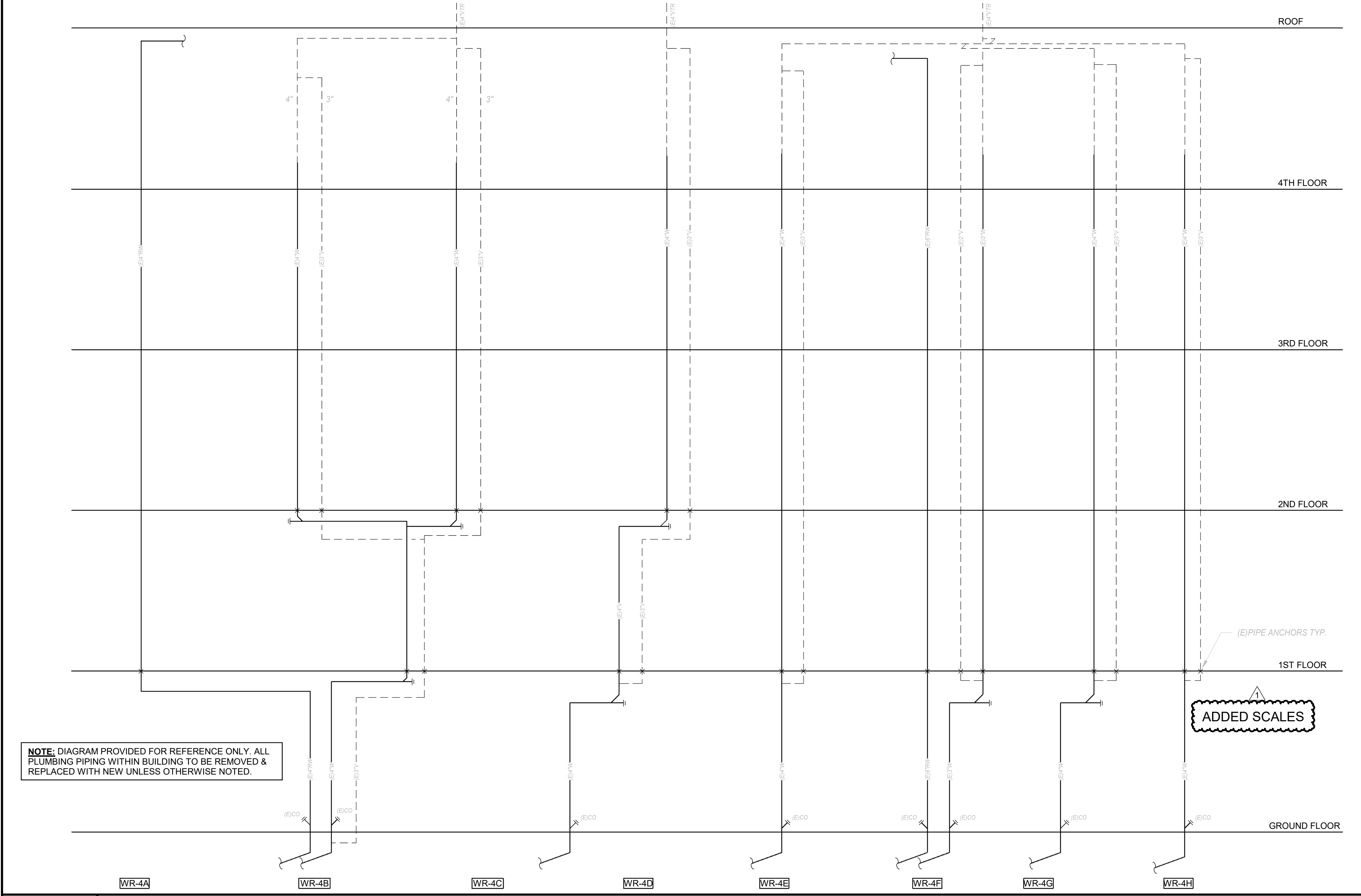
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C4 PLUMBING RISER DIAGRAM - EXISTING SUPPLY - PHASE 4



A4 PLUMBING RISER DIAGRAM - EXISTING WASTE & VENT - PHASE 4

1	12-1	Addendum #3
	5-23	
No.	Date	Description
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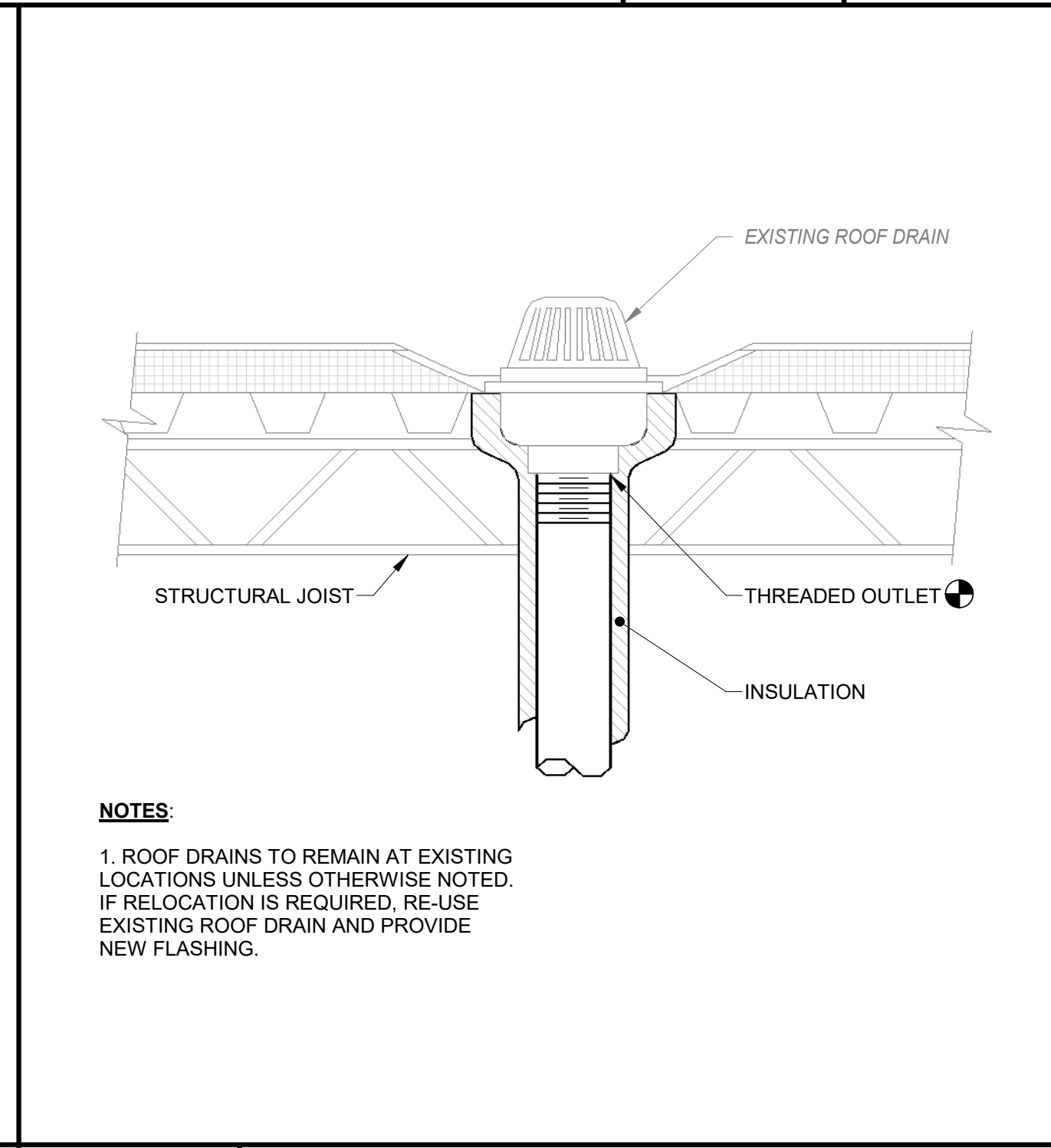
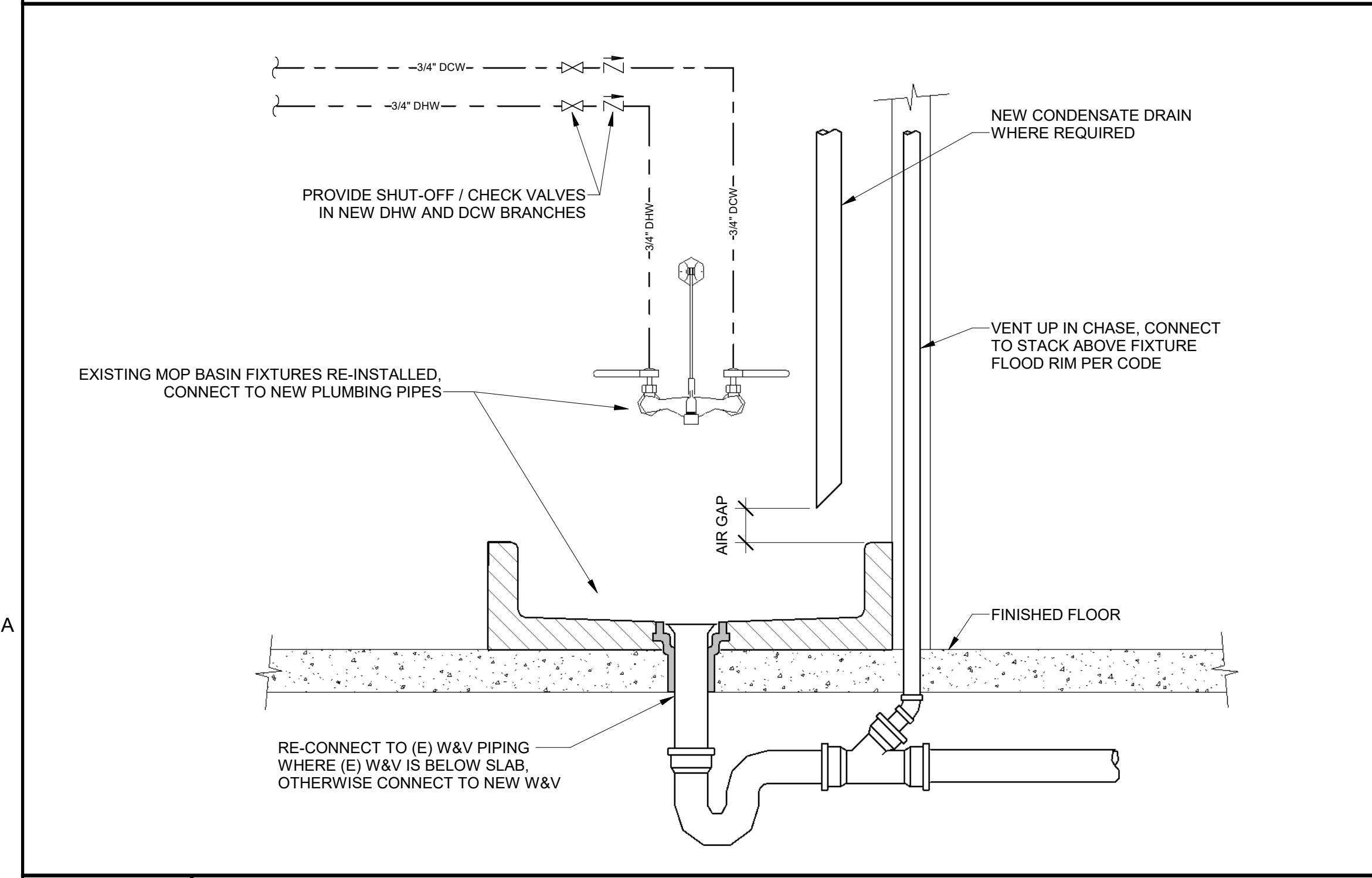
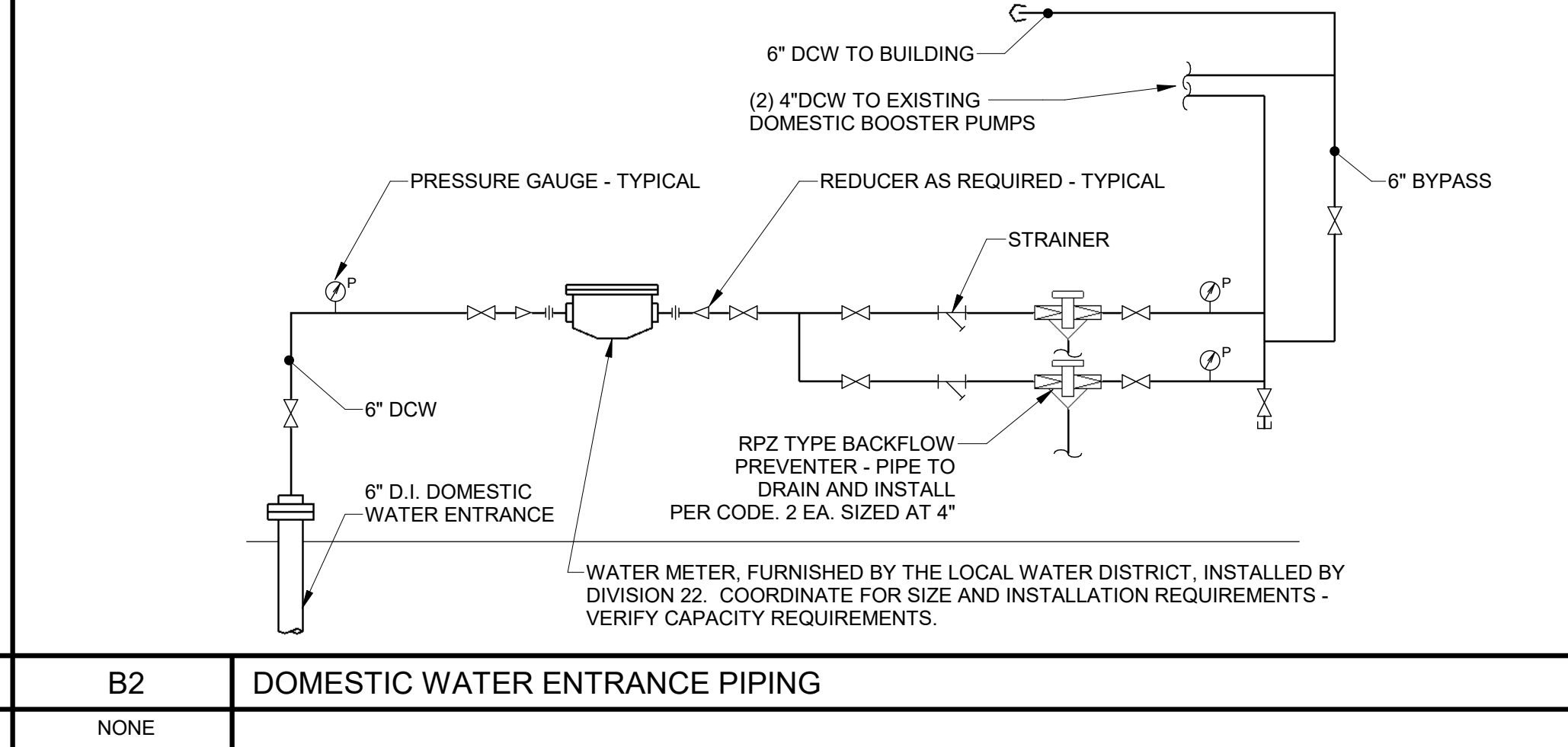
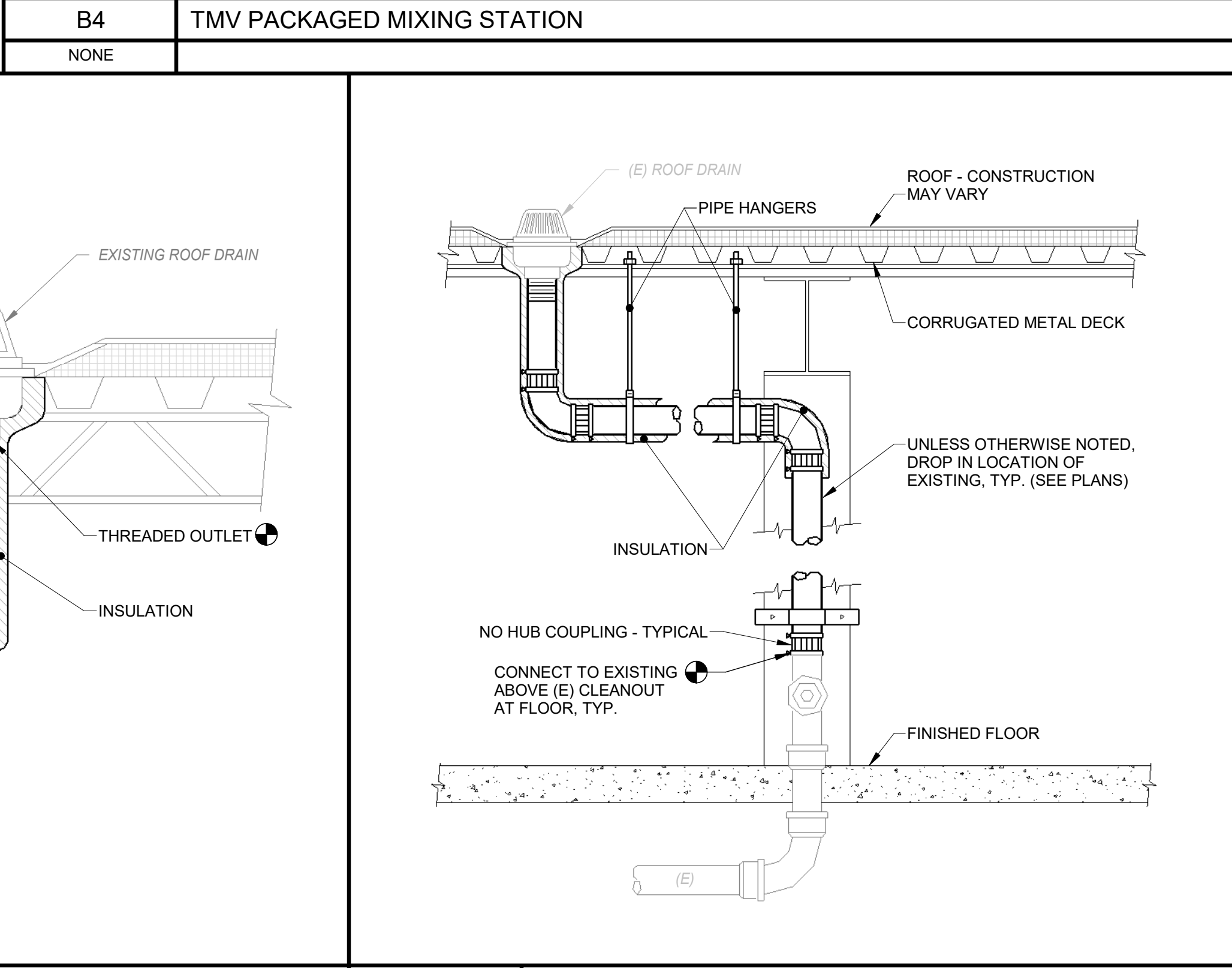
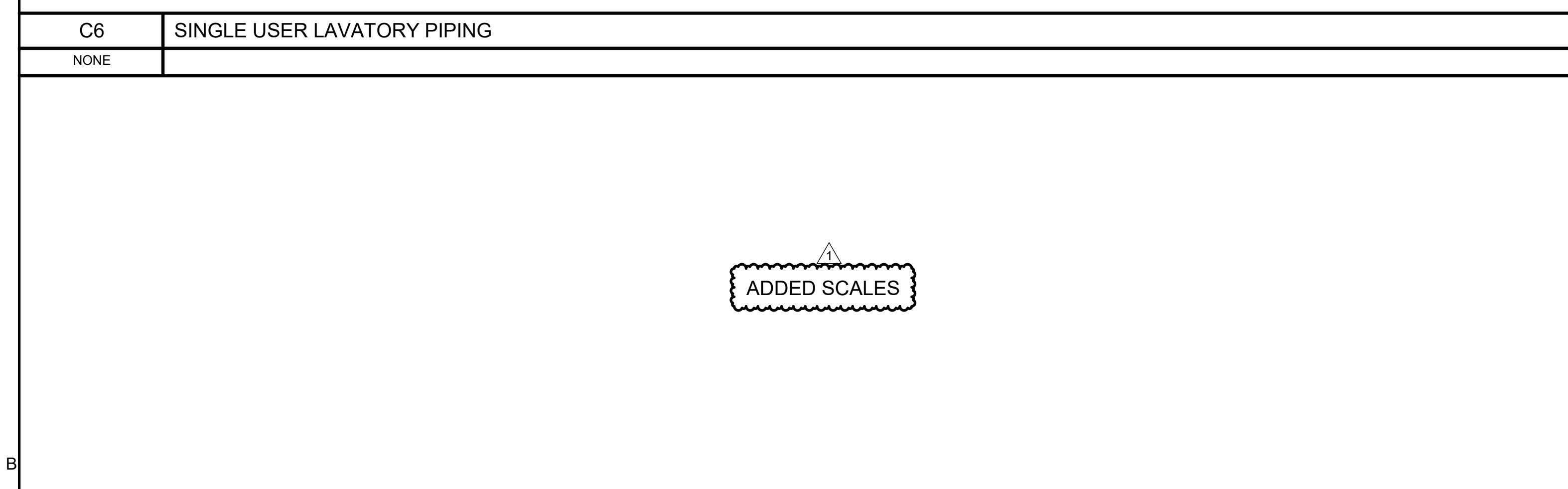
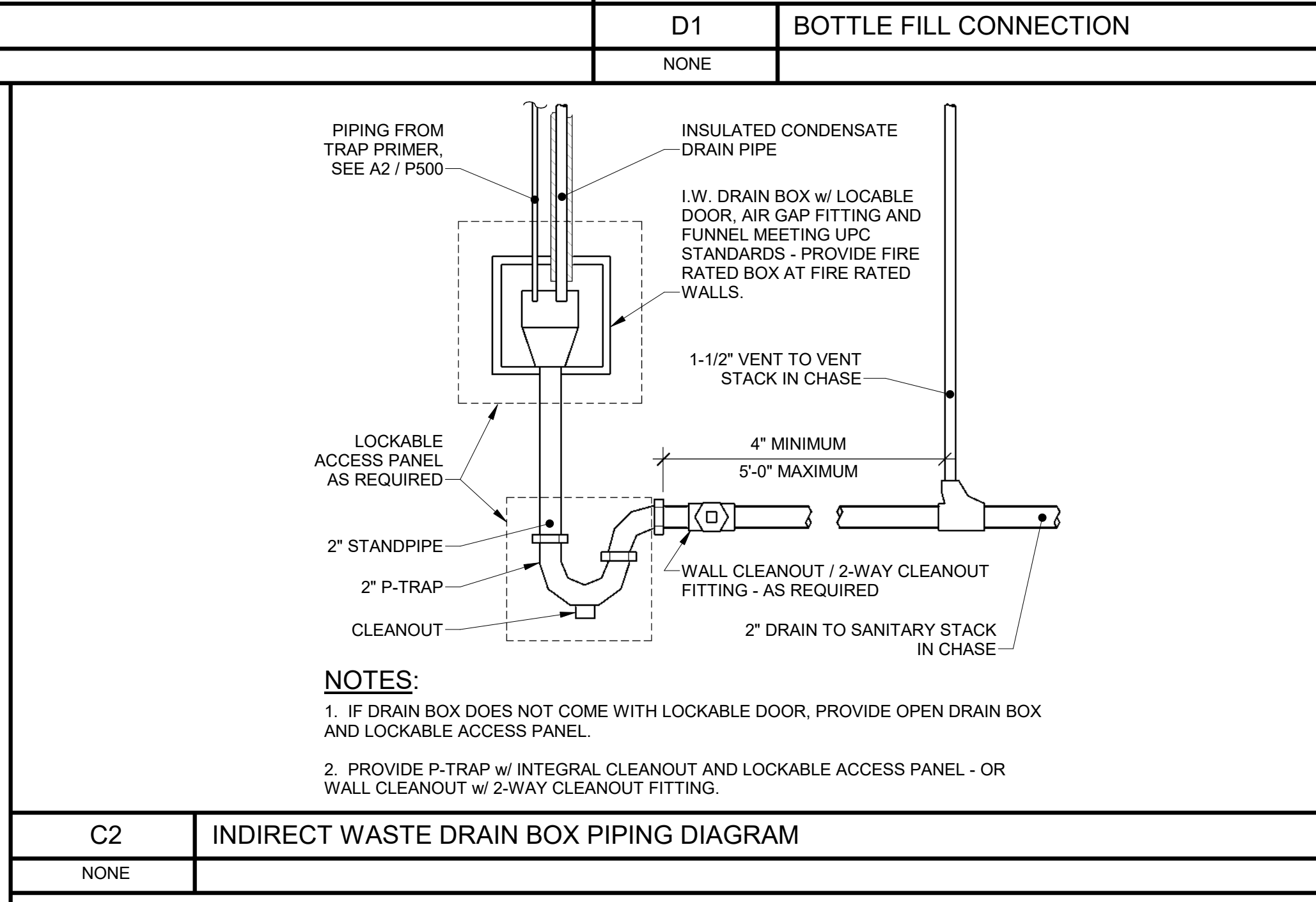
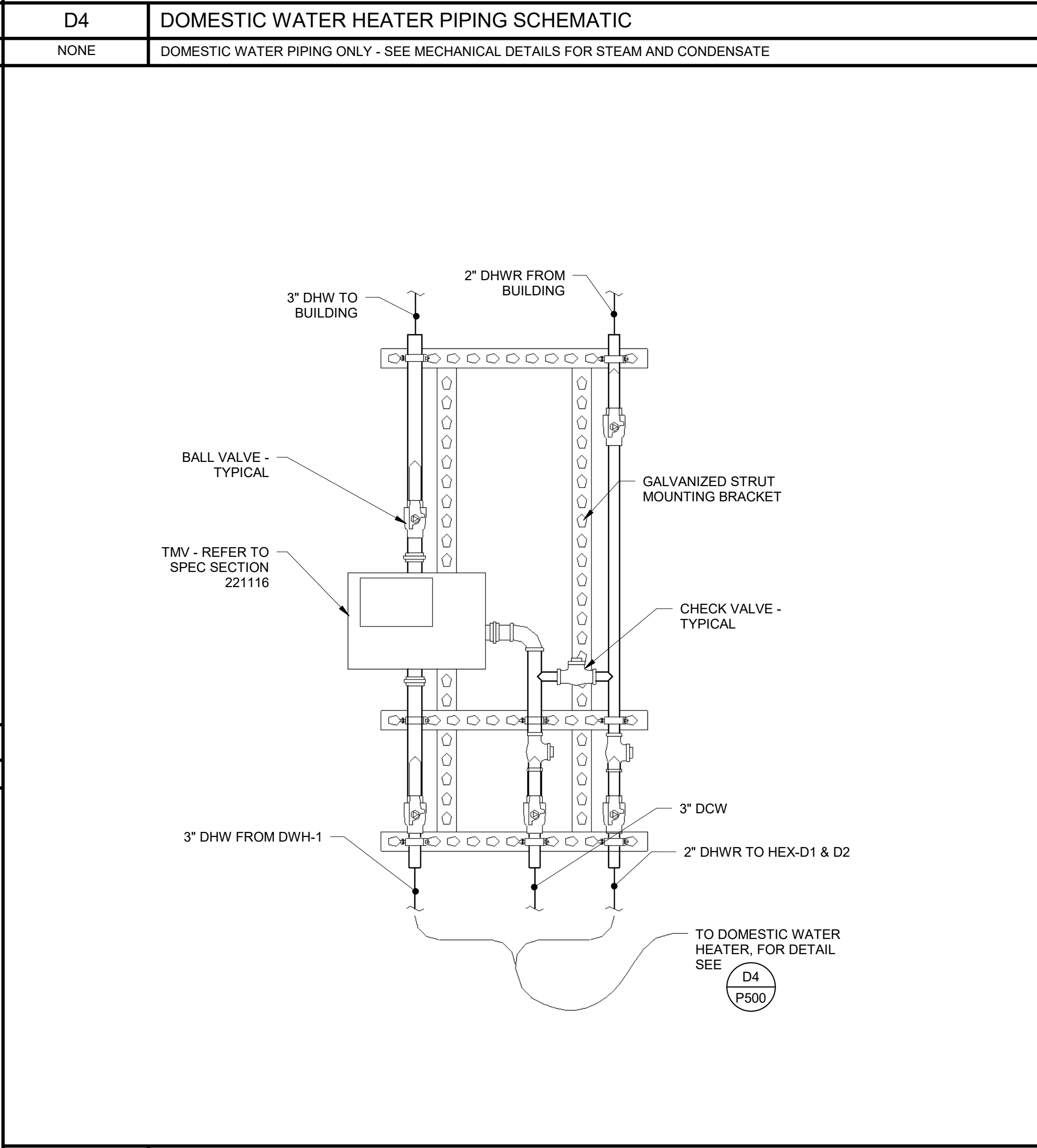
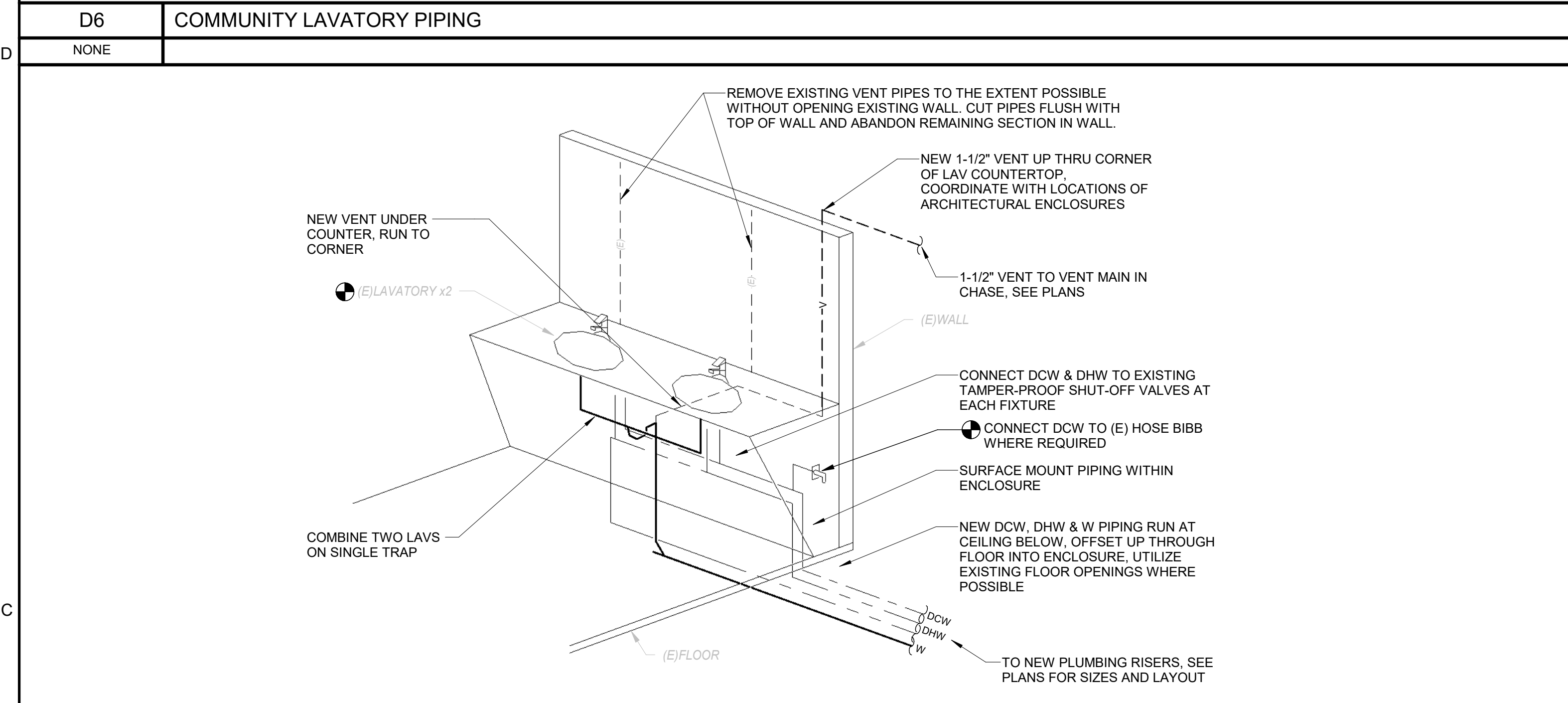
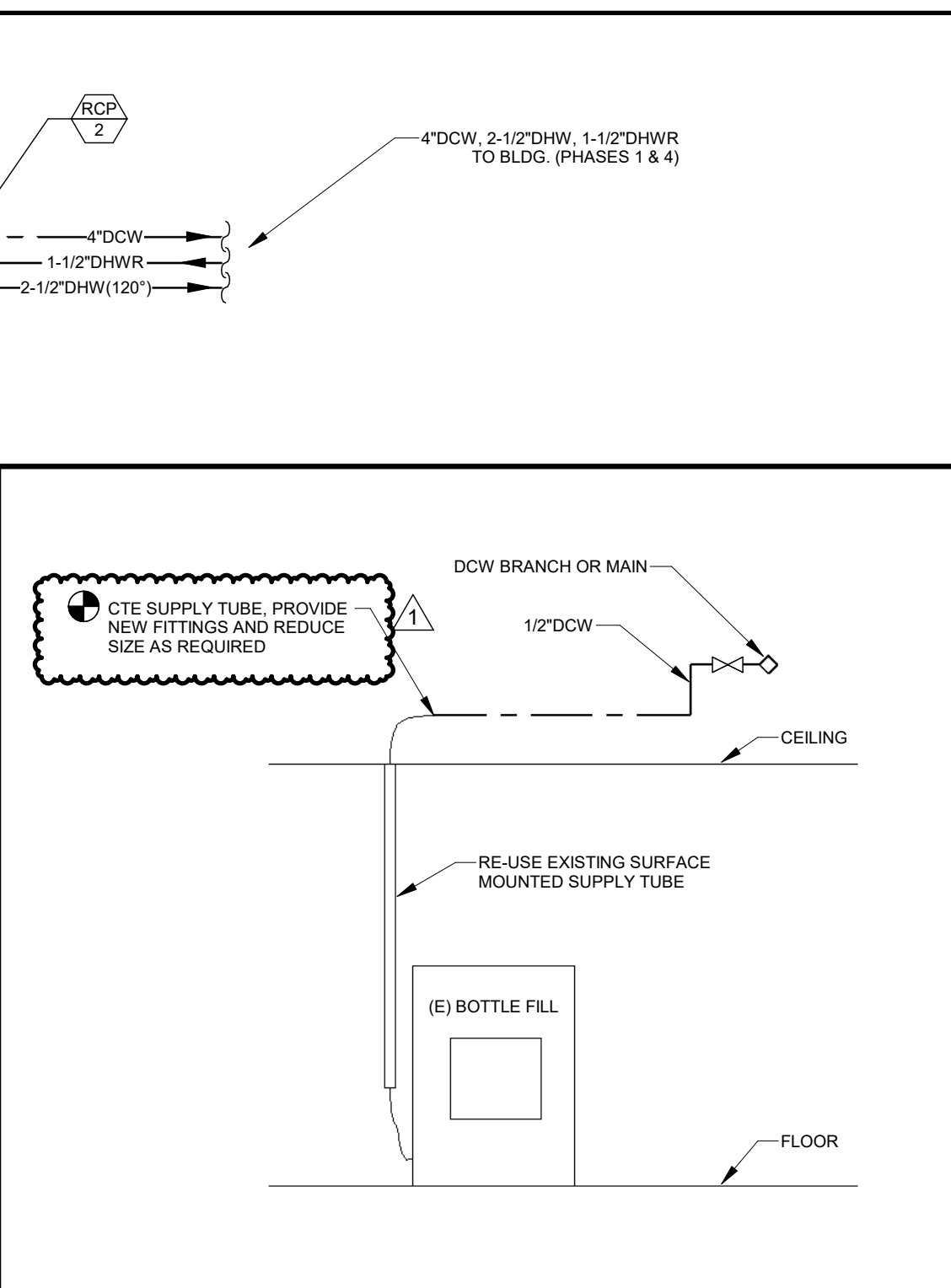
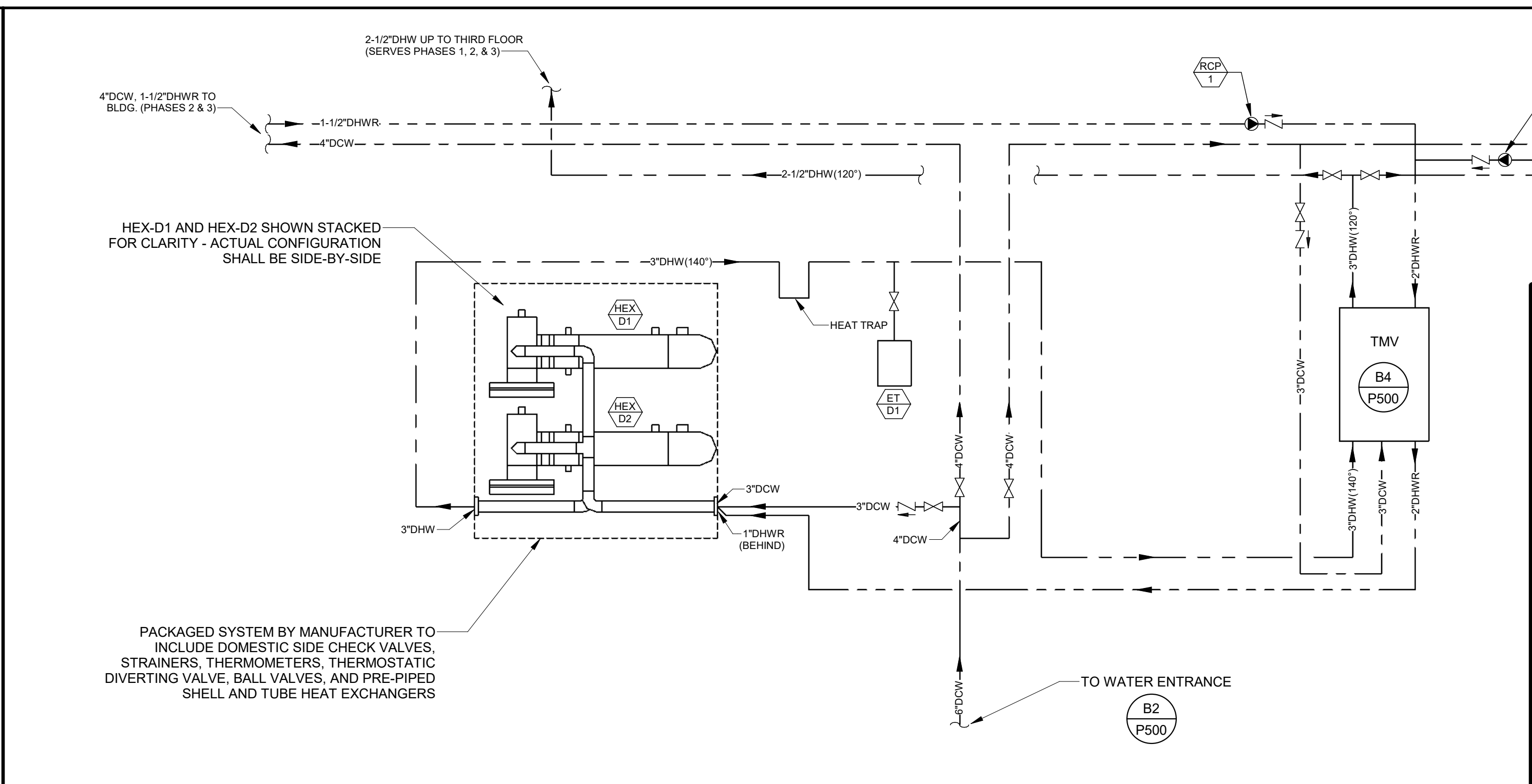
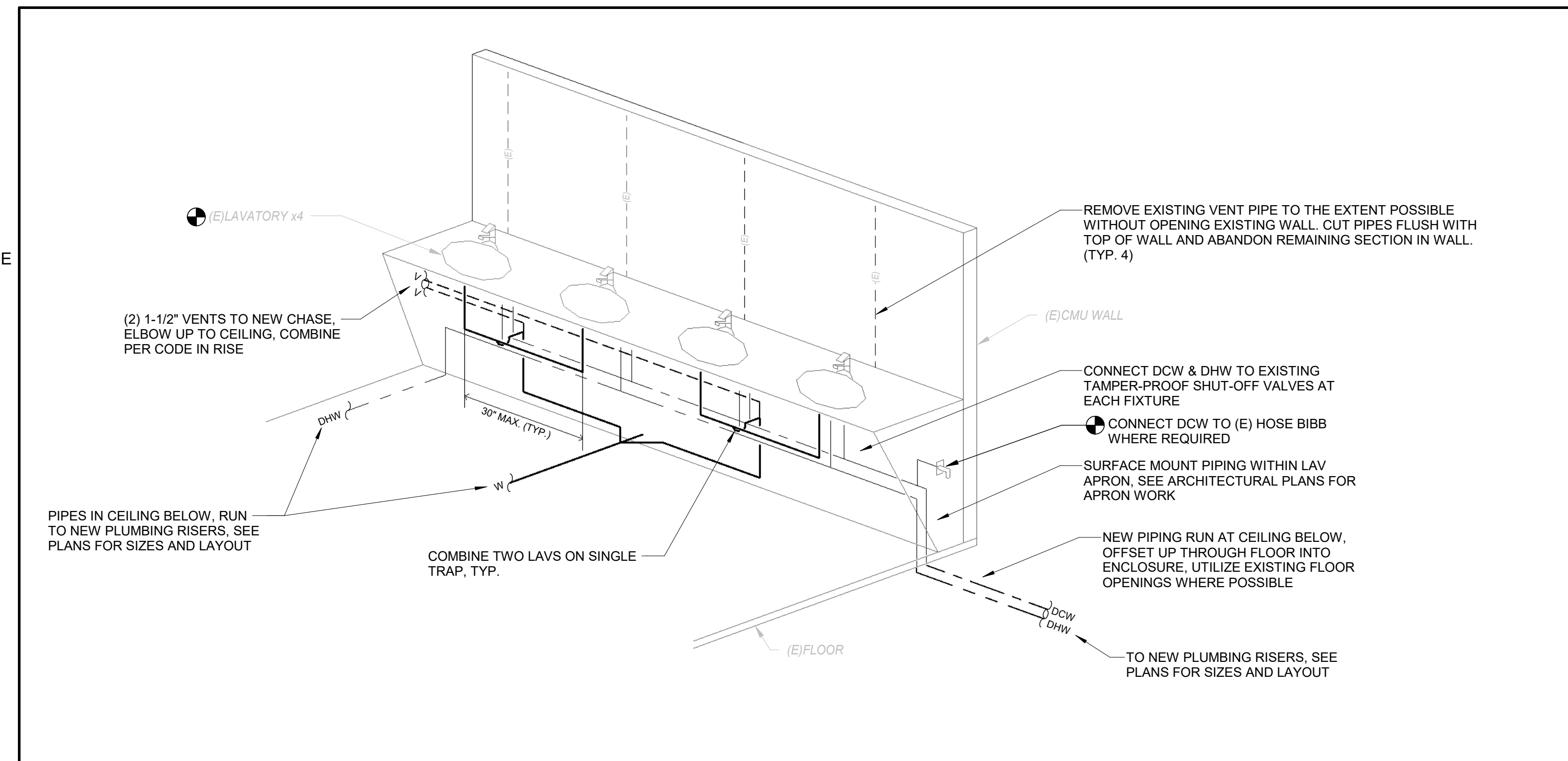
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TITLE
EXISTING PLUMBING RISER DIAGRAMS

SHEET

PD501



A6	MOP BASIN PIPING	A4	ROOF DRAIN PIPING	A3	ROOF DRAIN PIPING TO BELOW GRADE	A2	ELECTRONIC TRAP PRIMER PIPING
NONE		NONE		NONE		NONE	

B4	TMV PACKAGED MIXING STATION	B2	DOMESTIC WATER ENTRANCE PIPING
NONE		NONE	

C6	SINGLE USER LAVATORY PIPING	C2	INDIRECT WASTE DRAIN BOX PIPING DIAGRAM
NONE		NONE	

D4	DOMESTIC WATER HEATER PIPING SCHEMATIC	D1	BOTTLE FILL CONNECTION
NONE	DOMESTIC WATER PIPING ONLY - SEE MECHANICAL DETAILS FOR STEAM AND CONDENSATE	NONE	

D6	COMMUNITY LAVATORY PIPING
NONE	

1	12-1	Addendum #3
	5-23	

No.	Date	Description
		Revision Schedule

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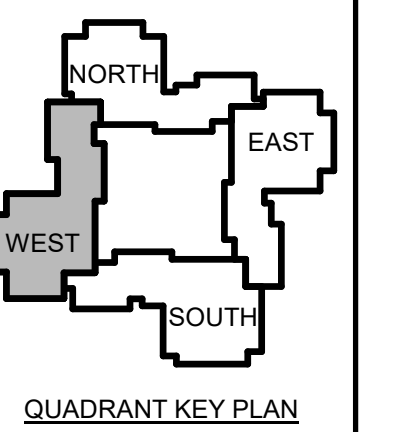
11/22/2023

TITLE PLUMBING DETAILS

SHEET

P500

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1	12-1	Addendum #3
	5-23	

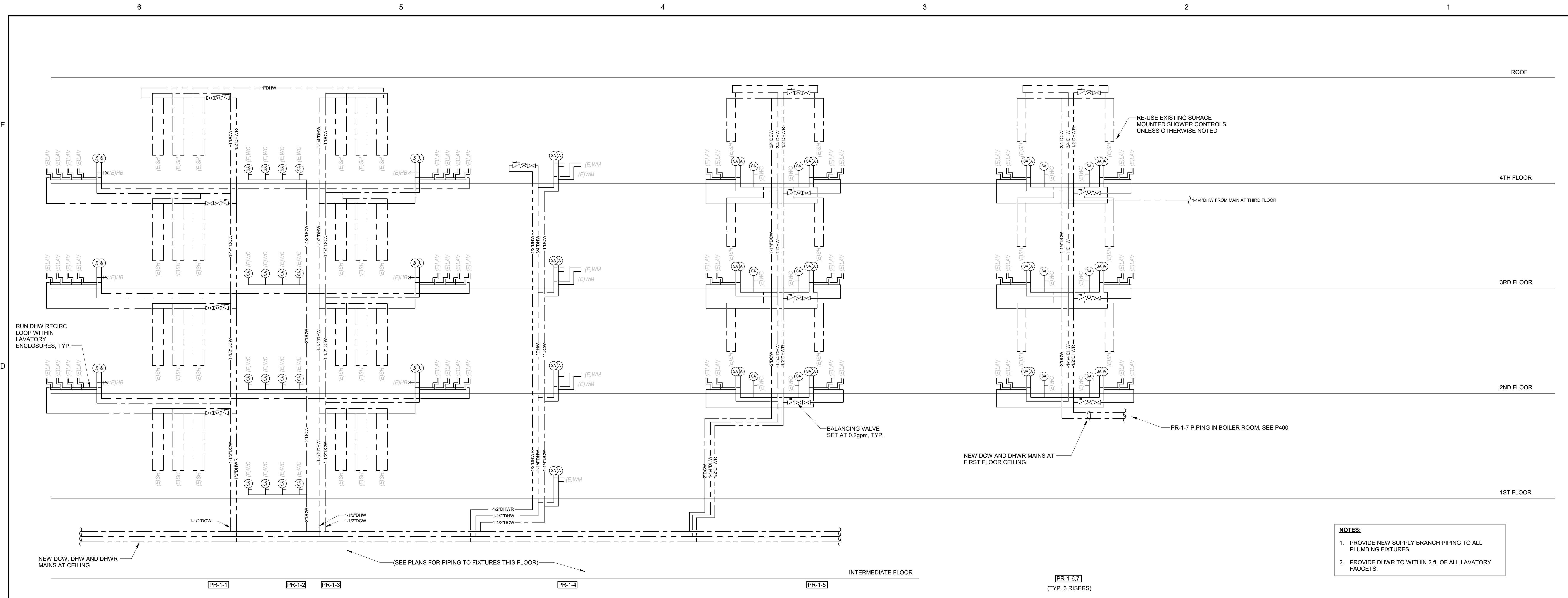
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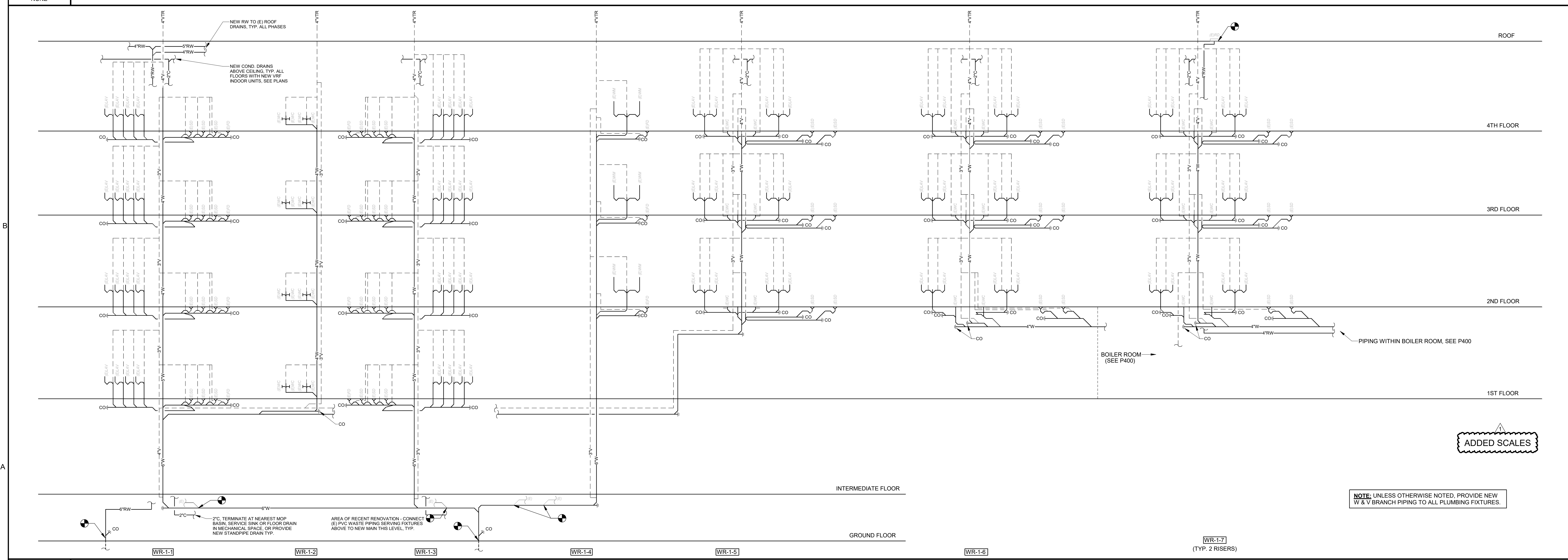
TITLE
PHASE 1 - PLUMBING
RISER DIAGRAMS

SHEET
P501



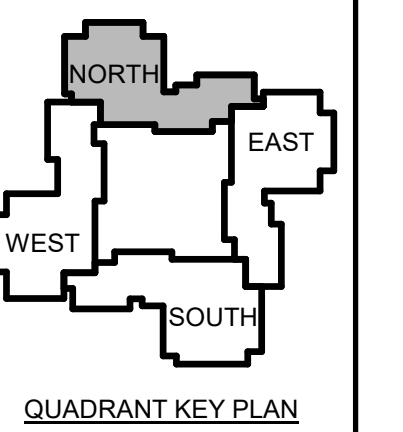
- NOTES:**
1. PROVIDE NEW SUPPLY BRANCH PIPING TO ALL PLUMBING FIXTURES.
 2. PROVIDE DHWR TO WITHIN 2 FT. OF ALL LAVATORY FAUCETS.

C4 PLUMBING RISER DIAGRAM - NEW SUPPLY - PHASE 1



- NOTE:** UNLESS OTHERWISE NOTED, PROVIDE NEW W & V BRANCH PIPING TO ALL PLUMBING FIXTURES.

A4 PLUMBING RISER DIAGRAM - NEW WASTE & VENT - PHASE 1



1	12-1	Addendum #3
	5-23	

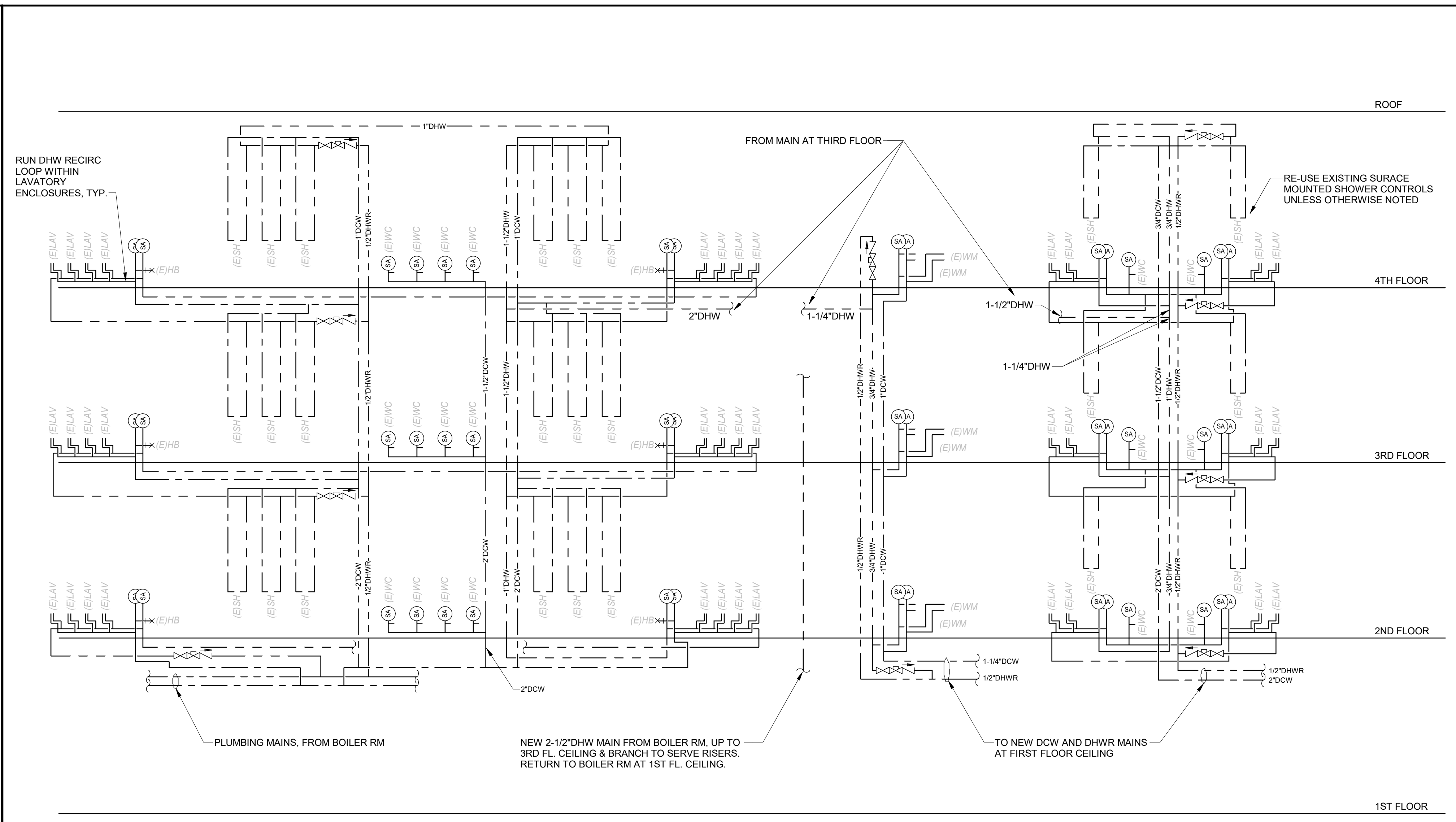
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JOB NO.
076982

ISSUE
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TITLE
PHASE 2 - PLUMBING RISER DIAGRAMS

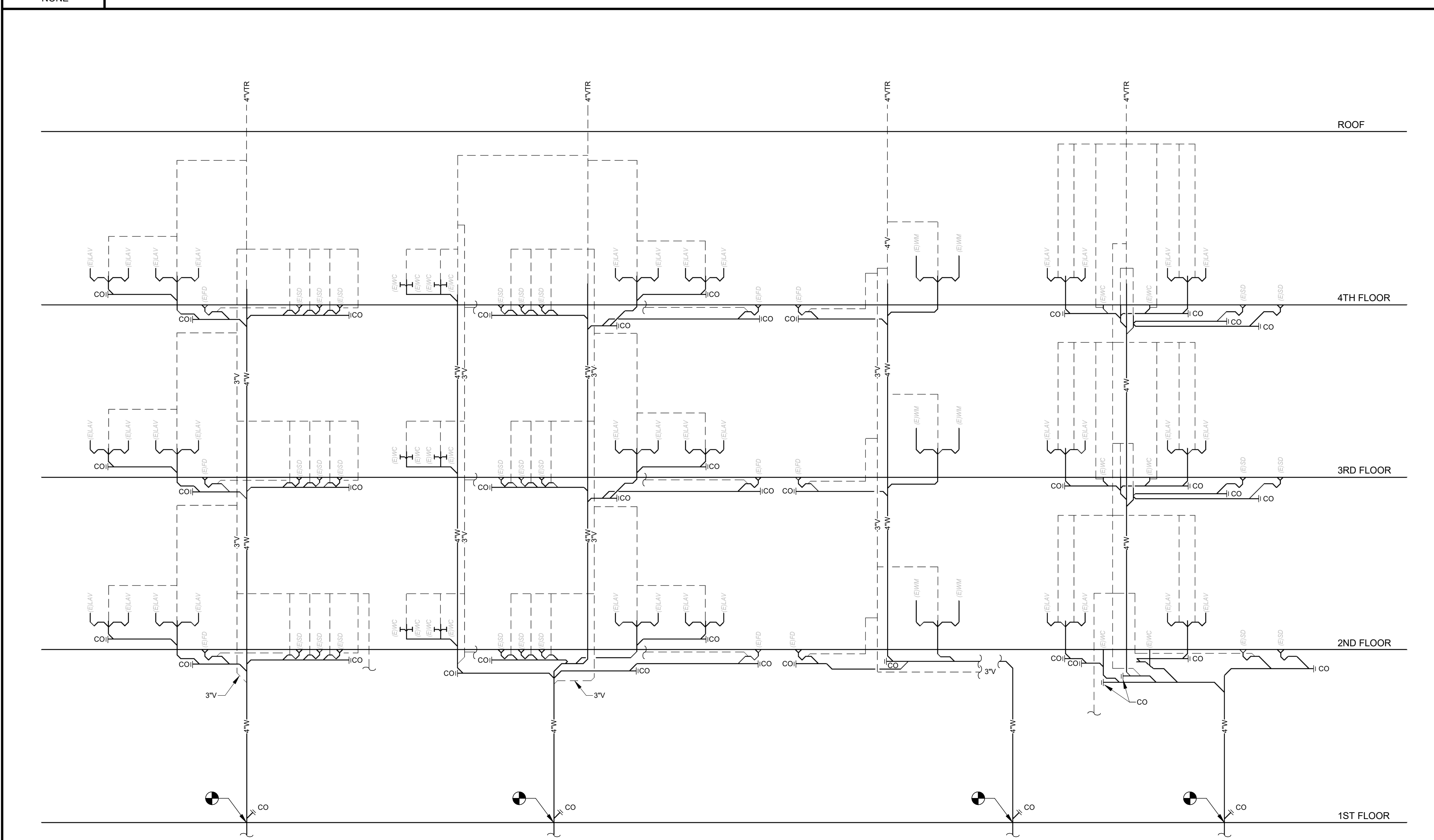
SHEET
P502



PR-2-1 PR-2-2 PR-2-3 PR-2-4 PR-2-5,6,7 (TYP. 3 RISERS)

- NOTES:**
1. PROVIDE NEW SUPPLY BRANCH PIPING TO ALL PLUMBING FIXTURES.
 2. PROVIDE DHWR TO WITHIN 2 ft. OF ALL LAVATORY FAUCETS.

C4 PLUMBING RISER DIAGRAM - NEW SUPPLY - PHASE 2



WR-2-1 WR-2-2 WR-2-3 WR-2-4 WR-2-5,6,7 (TYP. 3 RISERS)

NOTE: UNLESS OTHERWISE NOTED, PROVIDE NEW W & V BRANCH PIPING TO ALL PLUMBING FIXTURES.

A4 PLUMBING RISER DIAGRAM - NEW WASTE & VENT - PHASE 2

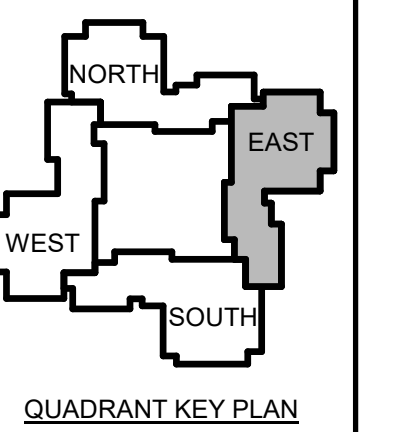
ADDED SCALES

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1	12-1	Addendum #3
	5-23	

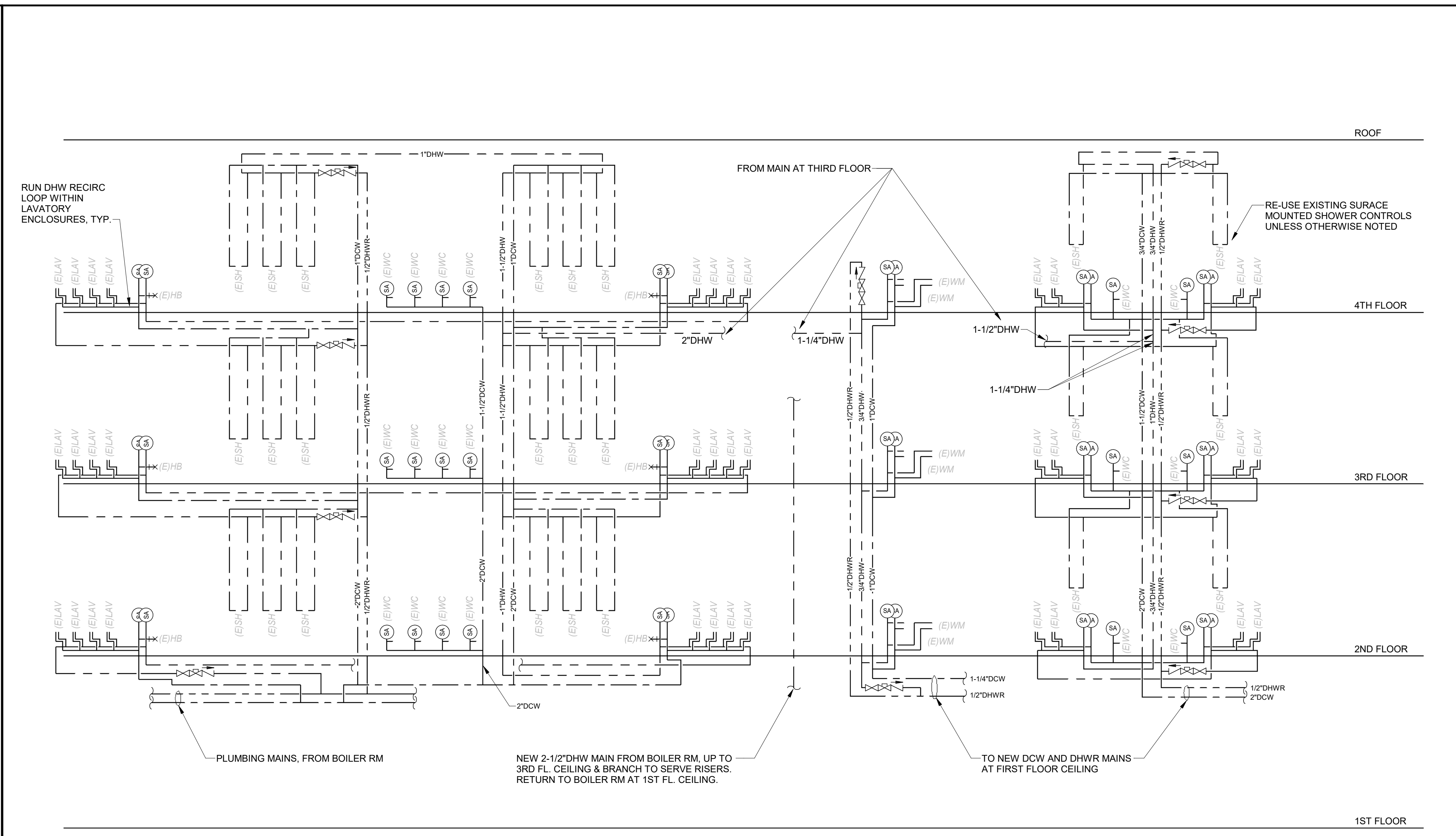
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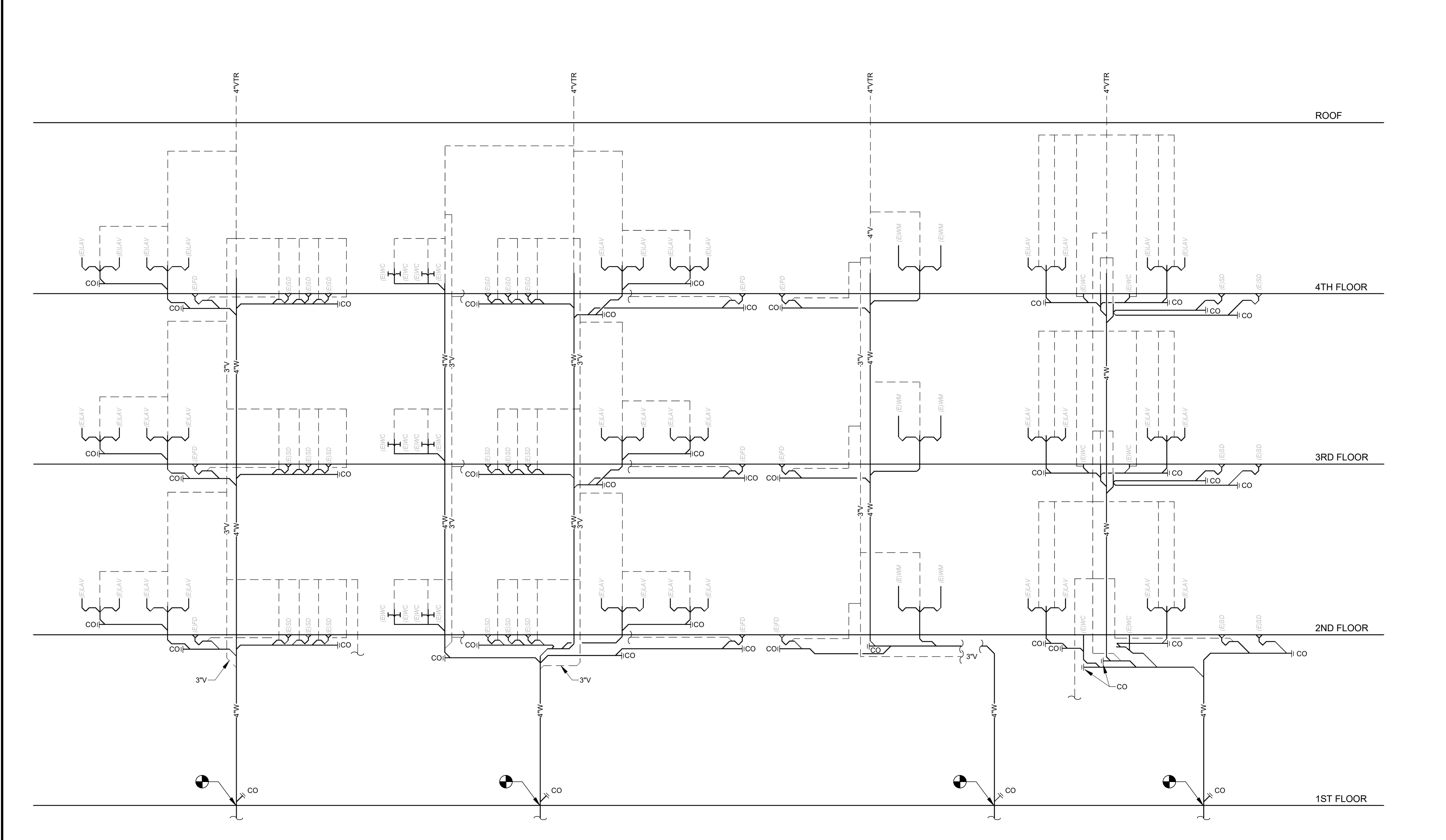
TITLE
 PHASE 3 - PLUMBING RISER DIAGRAMS

SHEET
P503



- NOTES:**
1. PROVIDE NEW SUPPLY BRANCH PIPING TO ALL PLUMBING FIXTURES.
 2. PROVIDE DHWR TO WITHIN 2 FT. OF ALL LAVATORY FAUCETS.

C4 PLUMBING RISER DIAGRAM - NEW SUPPLY - PHASE 3



- NOTE:** UNLESS OTHERWISE NOTED, PROVIDE NEW W & V BRANCH PIPING TO ALL PLUMBING FIXTURES.

A4 PLUMBING RISER DIAGRAM - NEW WASTE & VENT - PHASE 3

ADDED SCALES

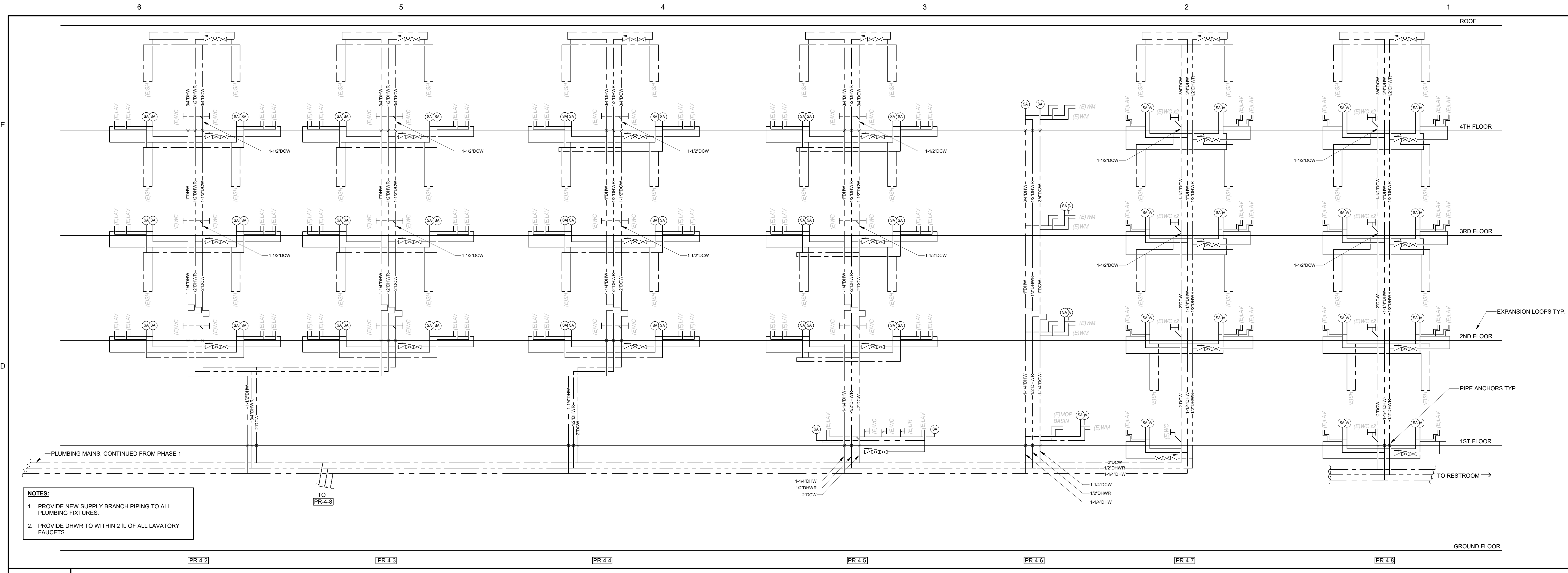
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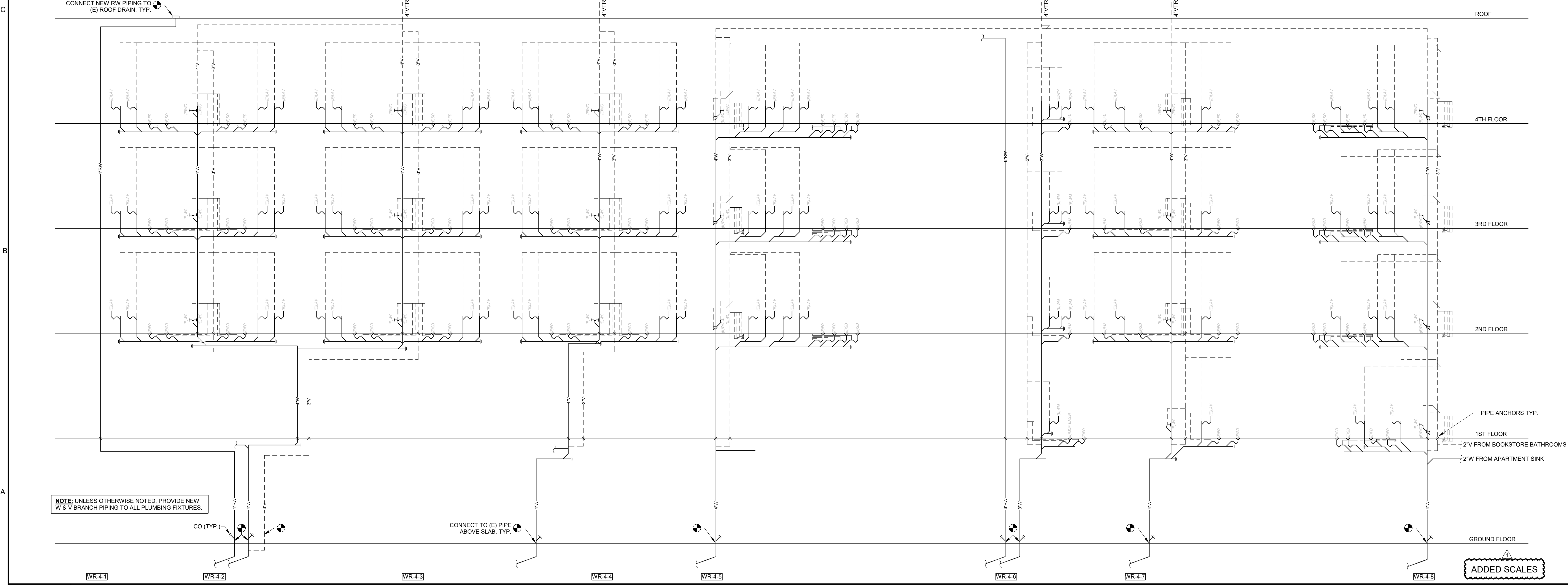
CURTIS HALL RENOVATIONS

 Maine Maritime Academy, Curtis Hall

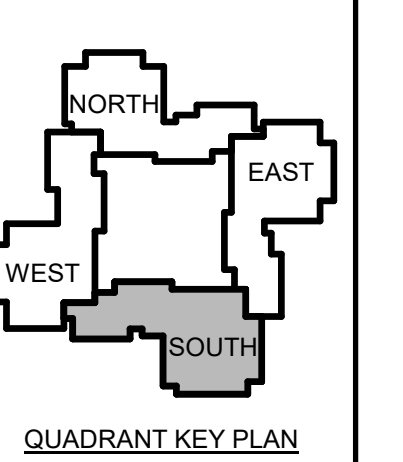
 1 Pleasant Street, Castine, Maine 04421



C4 PLUMBING RISER DIAGRAM - NEW SUPPLY - PHASE 4



A4 PLUMBING RISER DIAGRAM - NEW WASTE & VENT - PHASE 4



1	12-1	Addendum #3
	5-23	

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No.	Date	Description
Revision Schedule		

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P504

PLUMBING PUMP SCHEDULE											
TAG	SERVICE	MAKE & MODEL	TYPE	FLOW (GPM)	HEAD (FT)	CONN SIZES	ELECTRICAL			NOTES	
							MOTOR HP	AMPS	V / PH / HZ		
RCP-1	DHW RECIRC PH1&4	ENOVATIVE AUTOHOT 150-SERIES	3-SPEED WET ROTOR PUMP	10	30	3/4" X 3/4"	1/6	10.0	120/1/60	1, 2	
RCP-2	DHW RECIRC PH2&3	ENOVATIVE AUTOHOT 150-SERIES	3-SPEED WET ROTOR PUMP	10	30	3/4" X 3/4"	1/6	10.0	120/1/60	1, 2	

NOTES:
1. SEE SPEC SECTION 22 11 16.
2. PROVIDE 120V, 10A RECEPTACLE FOR DC-150 PUMP CONTROLLER. RCP GRUNDFOS UPS-26-15-SF PUMP IS POWERED FROM THE CONTROLLER.

INSTANTANEOUS DHW HEATER SCHEDULE																	
TAG	MFR.	MODEL	GPM	TEMP RISE (DEG-F)	STEAM INLET PRESSURE (PSIG)	STEAM INLET SIZE	F&T TRAP SIZE	STEAM lbs/hr	INTAKE	VENT	WIDTH (INCHES)	HEIGHT (INCHES)	DEPTH (INCHES)	DCW CONNECTION SIZE	DHW CONNECTION SIZE	DHW CONNECTION SIZE	NOTES
HEX-D2	ARMSTRONG	FLO-RITE TEMP FRT8120DWPR	120.0	100	15	4"	2"	6000	----	3/4"	34	46	97	3"	3"	1"	1

NOTES:
1. TWO HEAT EXCHANGERS TOTAL, FACTORY PIPED TOGETHER UNDER LISTED MODEL NUMBER IN SIDE-BY-SIDE CONFIGURATION.

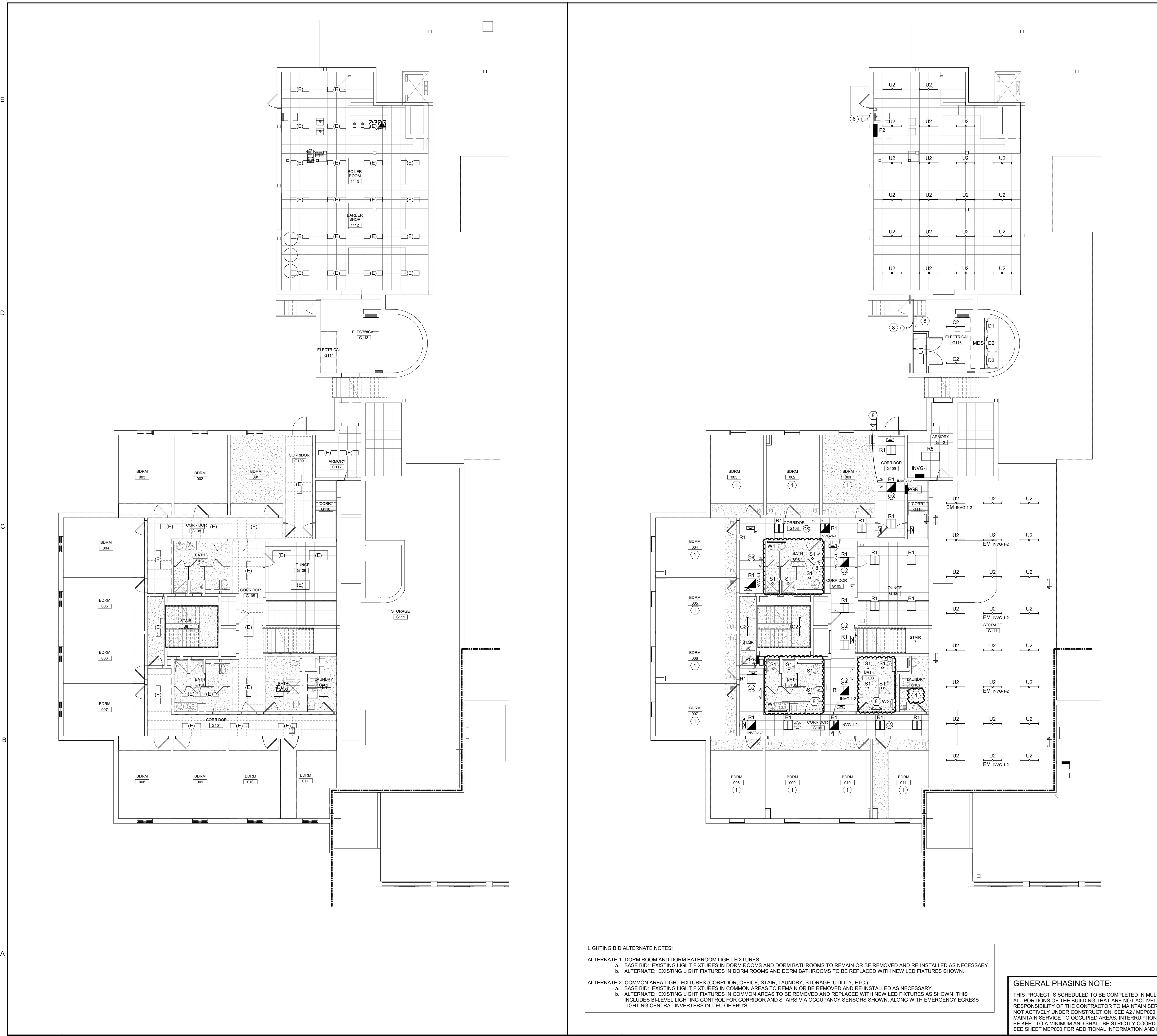
THERMOSTATIC MIXING VALVE											
TAG	SYSTEM	MFR.	MODEL	PD (PSI)	MIN GPM FLOW	PEAK GPM FLOW	INLET	OUTLET	ELECT VOLT / PH	ELECT AMPS	NOTES
TMV-1	DHW	POWERS INTELLISTATION JR	LFIS200VL-SYS200RTN	5	1.0	125	2-1/2"	2-1/2"	120/1	20 VA	1

NOTES:
1. PRE-PIPED SYSTEM WITH BUILT-IN INLET AND OUTLET SHUTOFF VALVES.

PLUMBING FIXTURE SCHEDULE						
TAG	DESCRIPTION	BRANCH SIZES				NOTES
		CW	HW	VENT	WASTE	
P-1A	WATER CLOSET	1"	----	2"	3"	ADA COMPLIANT
P-2A	LAVATORY	3/8"	3/8"	1-1/2"	1-1/2"	ADA COMPLIANT
TP-1	TRAP PRIMER	1/2"	----	----	----	

EXISTING PLUMBING FIXTURE SCHEDULE (PROVIDED FOR REFERENCE, VERIFY SIZES IN FIELD)						
TAG	DESCRIPTION	BRANCH SIZES				NOTES
		CW	HW	VENT	WASTE	
WC	WATER CLOSET	1"	----	2"	3"	
UR	URINAL	1"	----	2"	3"	
LAV	LAVATORY	3/8"	3/8"	1-1/2"	1-1/2"	
SH	SHOWER	1/2"	1/2"	1-1/2"	2"	
FD	URINAL	1"	----	2"	3"	
HB	HOSE BIBB	1/2"	----	----	----	
WHYD	WALL HYDRANT	3/4"	----	----	----	
FD	FLOOR DRAIN	----	----	1-1/2"	2"	

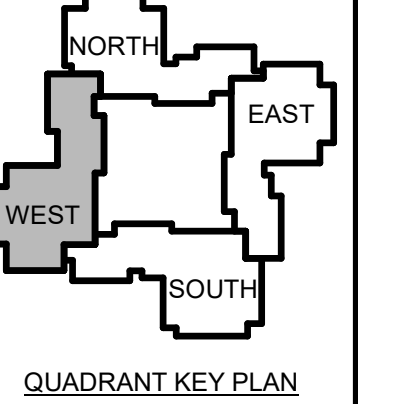
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Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



D1 KEYNOTES- LIGHTING REMOVALS

LIGHTING CONTROL GENERAL NOTES:

- UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
- IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
- IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.



2	12-1 Addendum #3
5-23	
1	12-5 Addendum #1
-23	

No.	Date	Description
Revision Schedule		

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A1 KEYNOTES- NEW LIGHTING

LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES

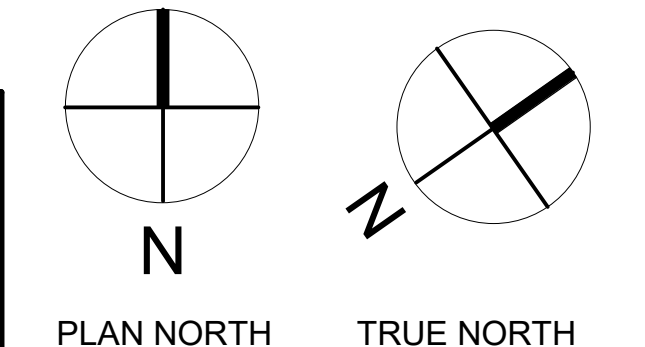
- BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
- ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

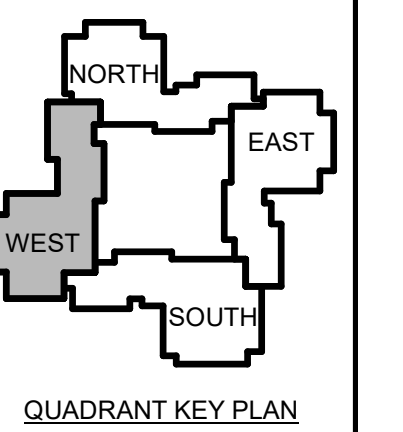
ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)

- BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
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GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





2	12-1	Addendum #3
	5-23	
1	12-5	Addendum #1
	-23	

No.	Date	Description
		Revision Schedule

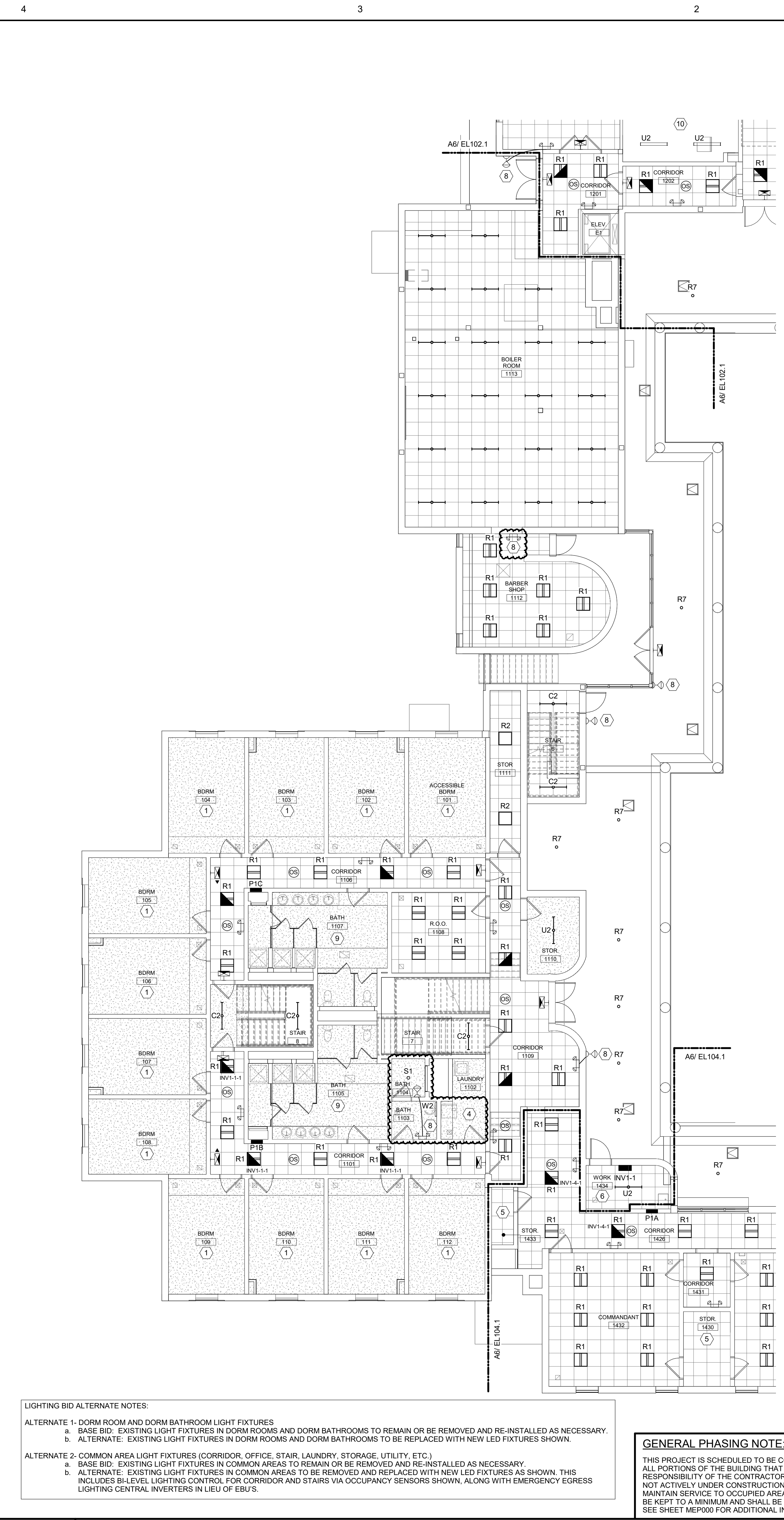
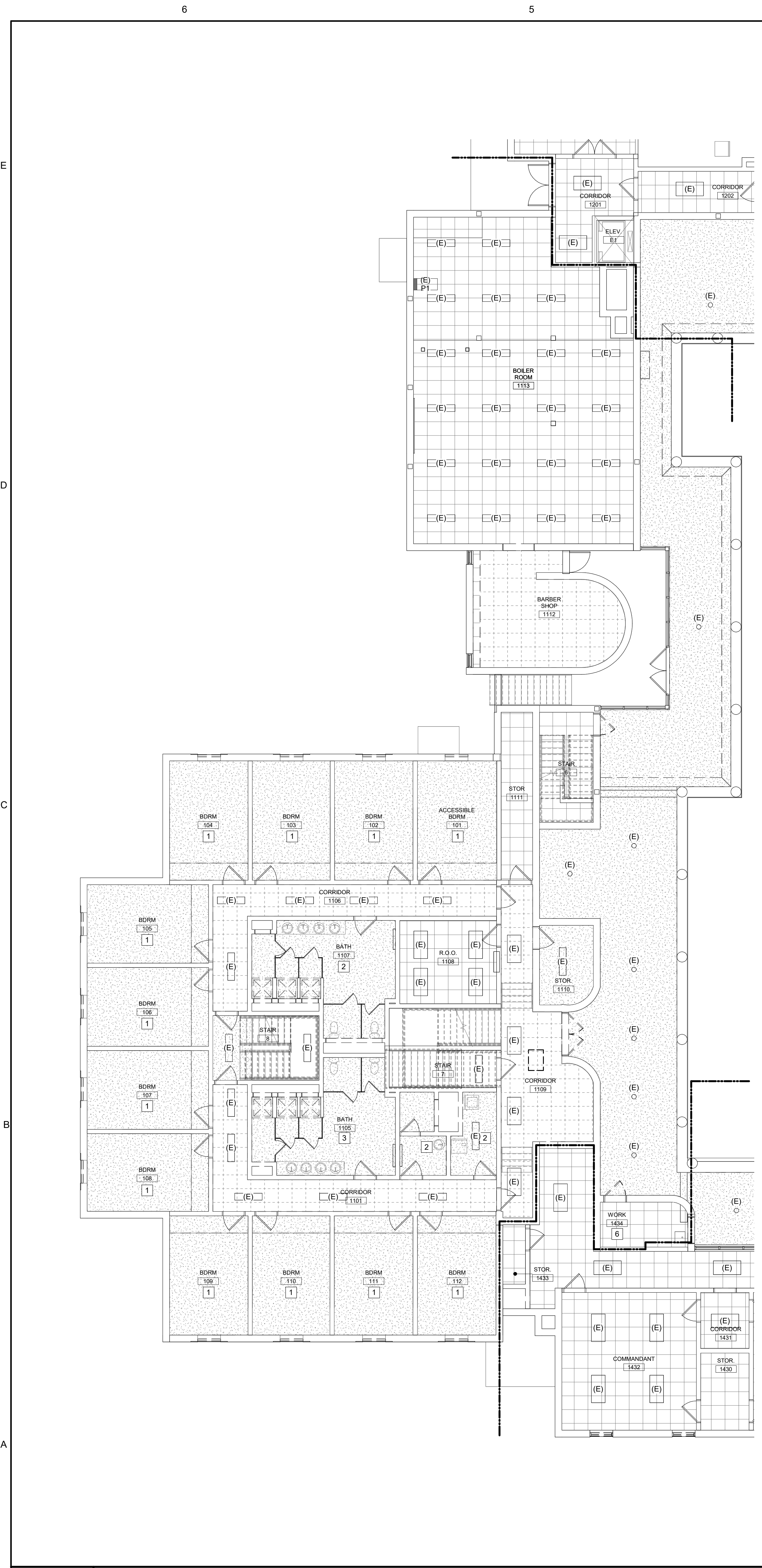
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DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
PHASE 1 FIRST
FLOOR LIGHTING
REMOVALS & NEW
PLANS

SHEET
EL101.1

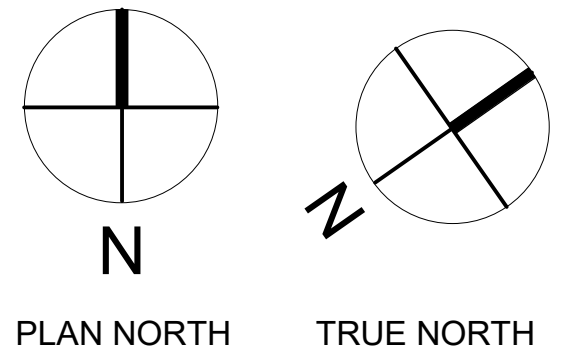


LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
a. BASE BID- EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

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D1	KEYNOTES- LIGHTING REMOVALS
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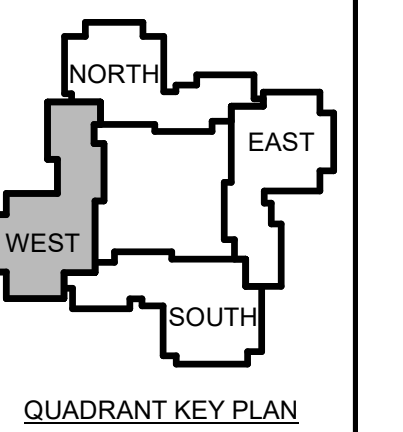
LIGHTING CONTROL GENERAL NOTES:

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- IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
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- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.
- PENDANT MOUNT LIGHT FIXTURES IN THIS ROOM AT 8'-6" AFF.

A1	KEYNOTES- NEW LIGHTING
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2	12-1 Addendum #3
5-23	
1	12-5 Addendum #1
	-23

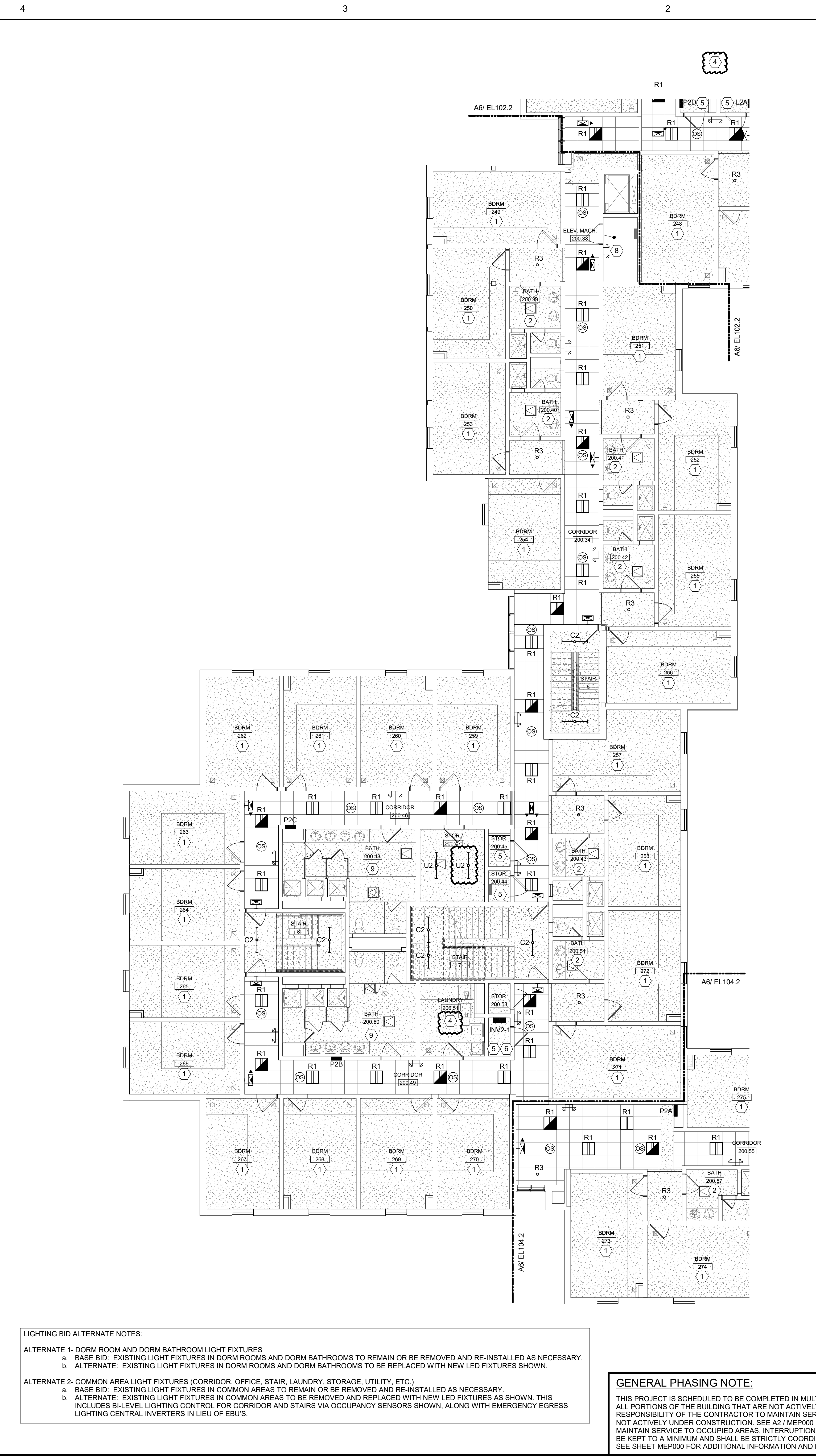
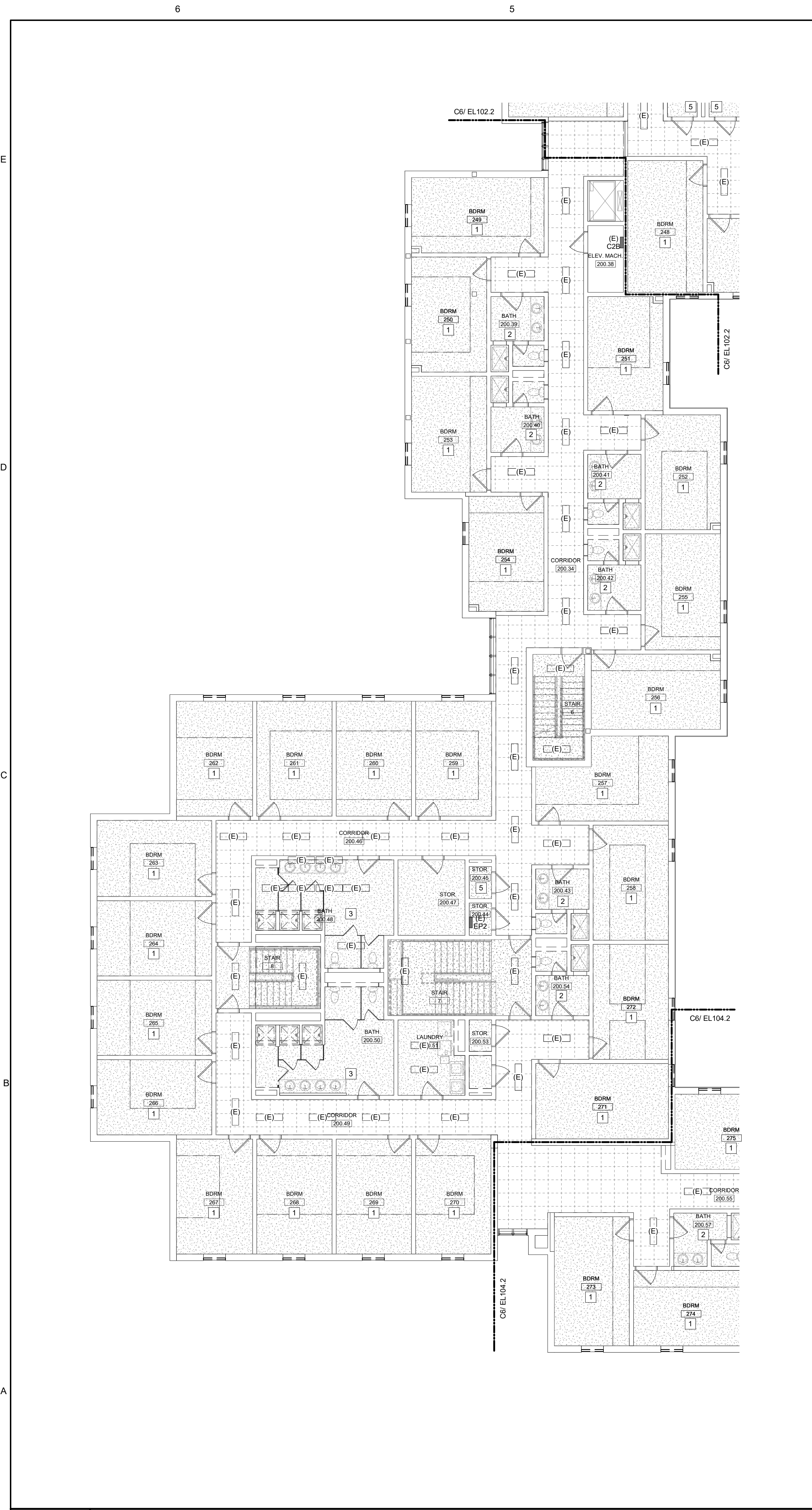
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11/22/2023

TITLE
PHASE 1 SECOND
FLOOR LIGHTING
REMOVALS & NEW
PLANS

SHEET
EL101.2

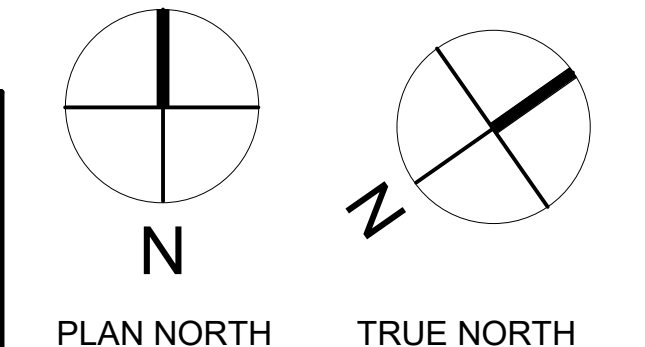


LIGHTING BID ALTERNATE NOTES:

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a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
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ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
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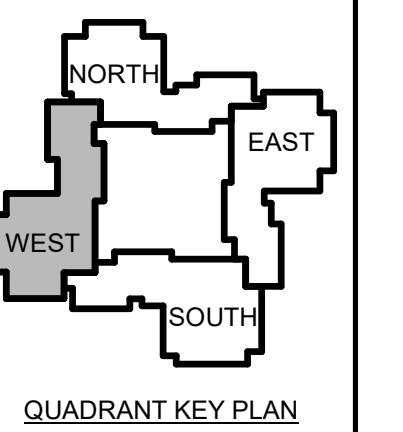
D1 KEYNOTES- LIGHTING REMOVALS

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A1 KEYNOTES- NEW LIGHTING

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- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
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- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
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- PENDANT MOUNT LIGHT FIXTURES IN THIS ROOM AT 8'-6" AFF.

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Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



2	12-1 Addendum #3
5-23	
1	12-5 Addendum #1
-23	

No.	Date	Description
Revision Schedule		

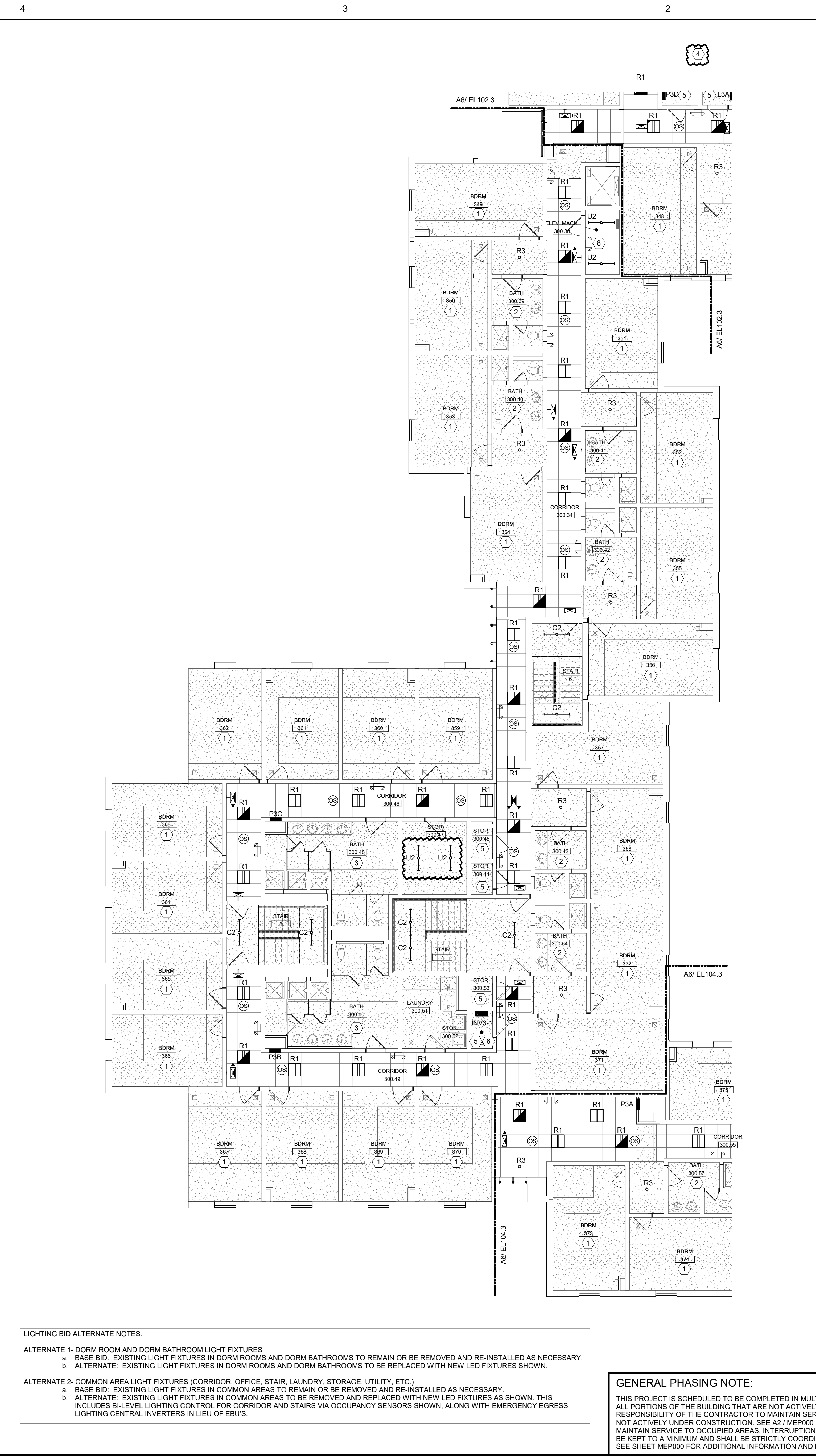
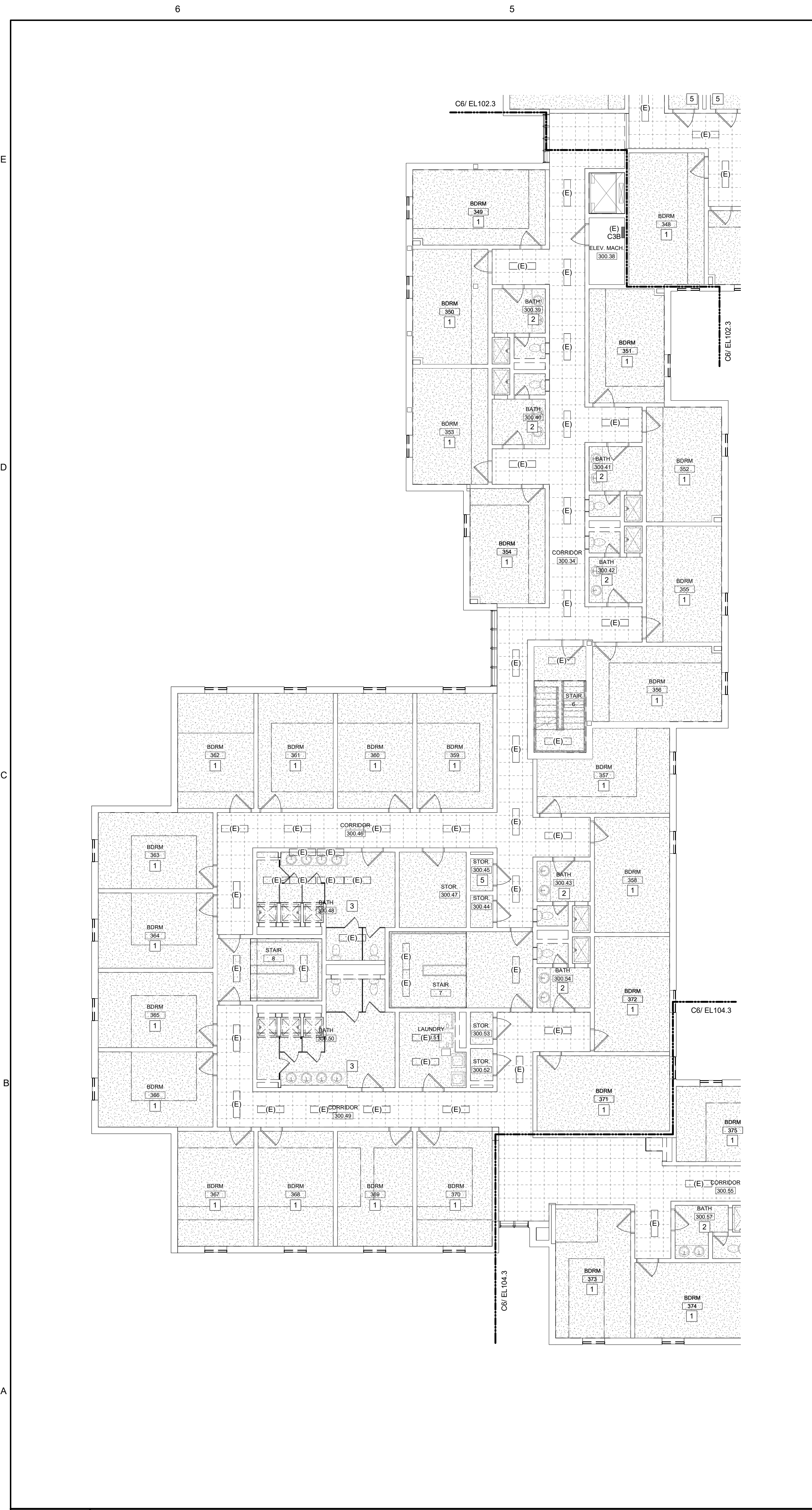
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TITLE
PHASE 1 THIRD FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL101.3

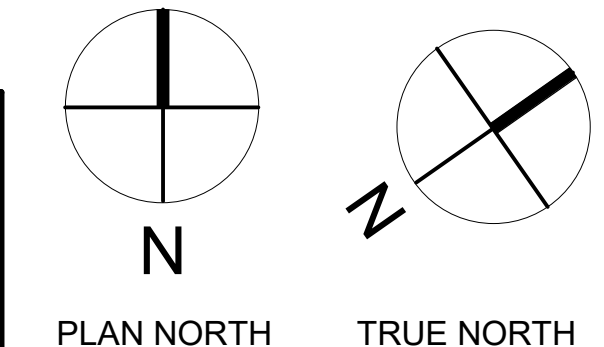


LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
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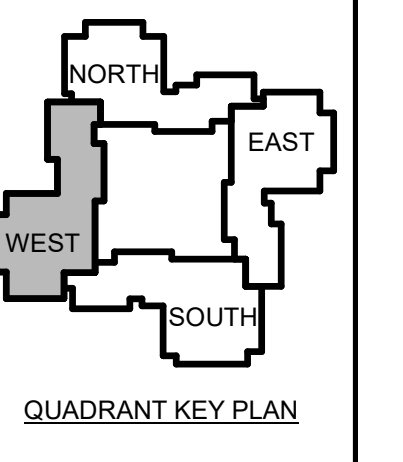
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A1 KEYNOTES- NEW LIGHTING

- TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.
- PENDANT MOUNT LIGHT FIXTURES IN THIS ROOM AT 8'-6" AFF.

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 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



2	12-1 Addendum #3
5-23	
1	12-5 Addendum #1
-23	

No. Date Description
 Revision Schedule

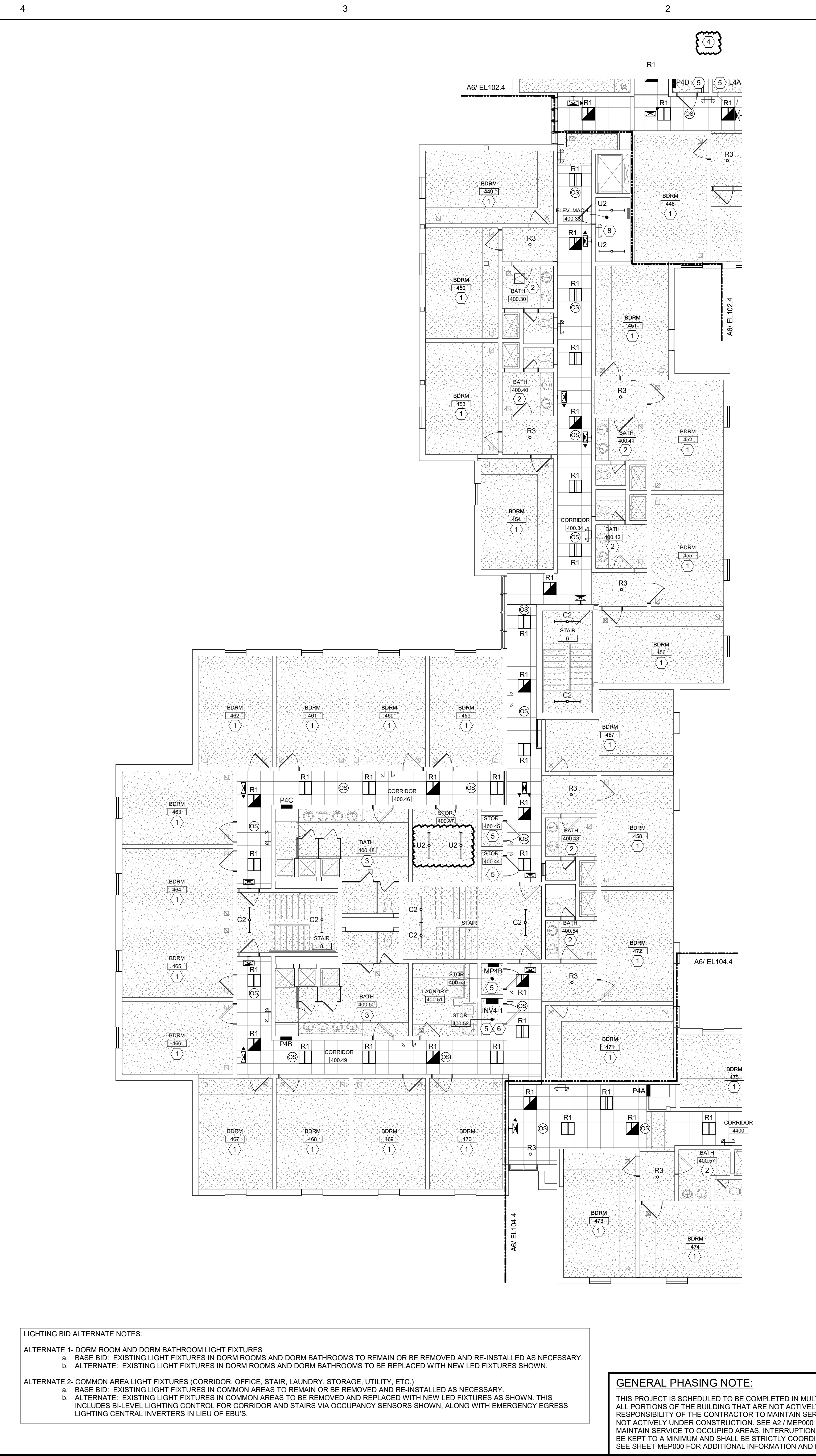
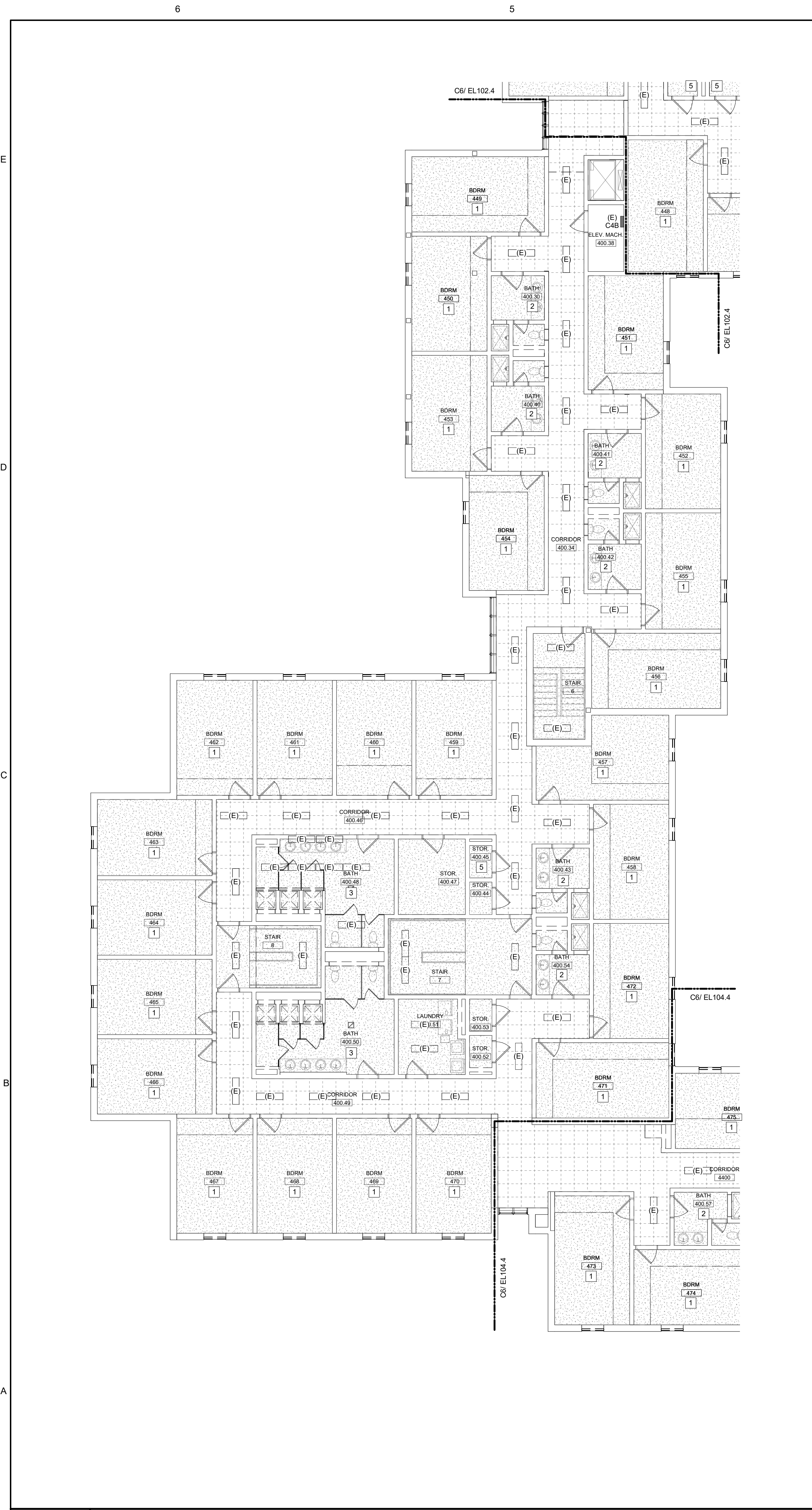
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076982

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DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
PHASE 1 FOURTH
FLOOR LIGHTING
REMOVALS & NEW
PLANS

SHEET
EL101.4

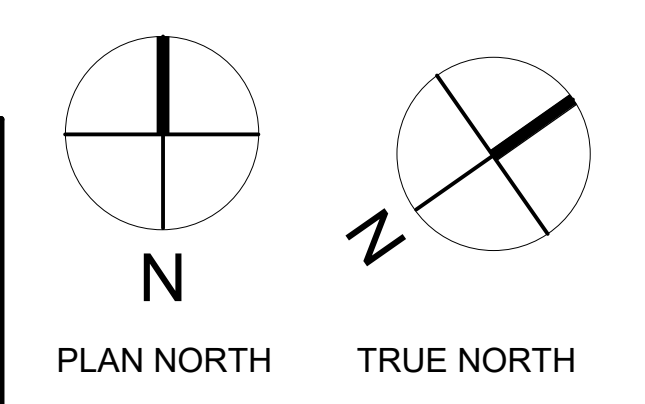


LIGHTING BID ALTERNATE NOTES:

ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.

ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
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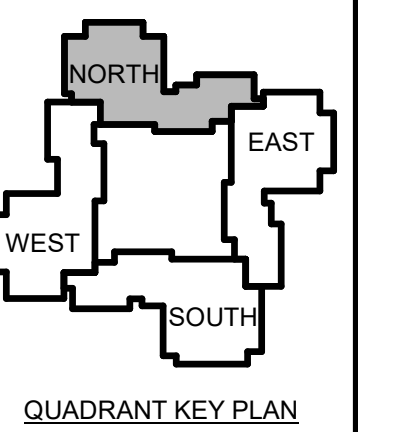


D1 KEYNOTES- LIGHTING REMOVALS

- LIGHTING CONTROL GENERAL NOTES:**
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A1 KEYNOTES- NEW LIGHTING

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- TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
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2	12-1	Addendum #3
	5-23	
1	12-5	Addendum #1
	-23	

No.	Date	Description
		Revision Schedule

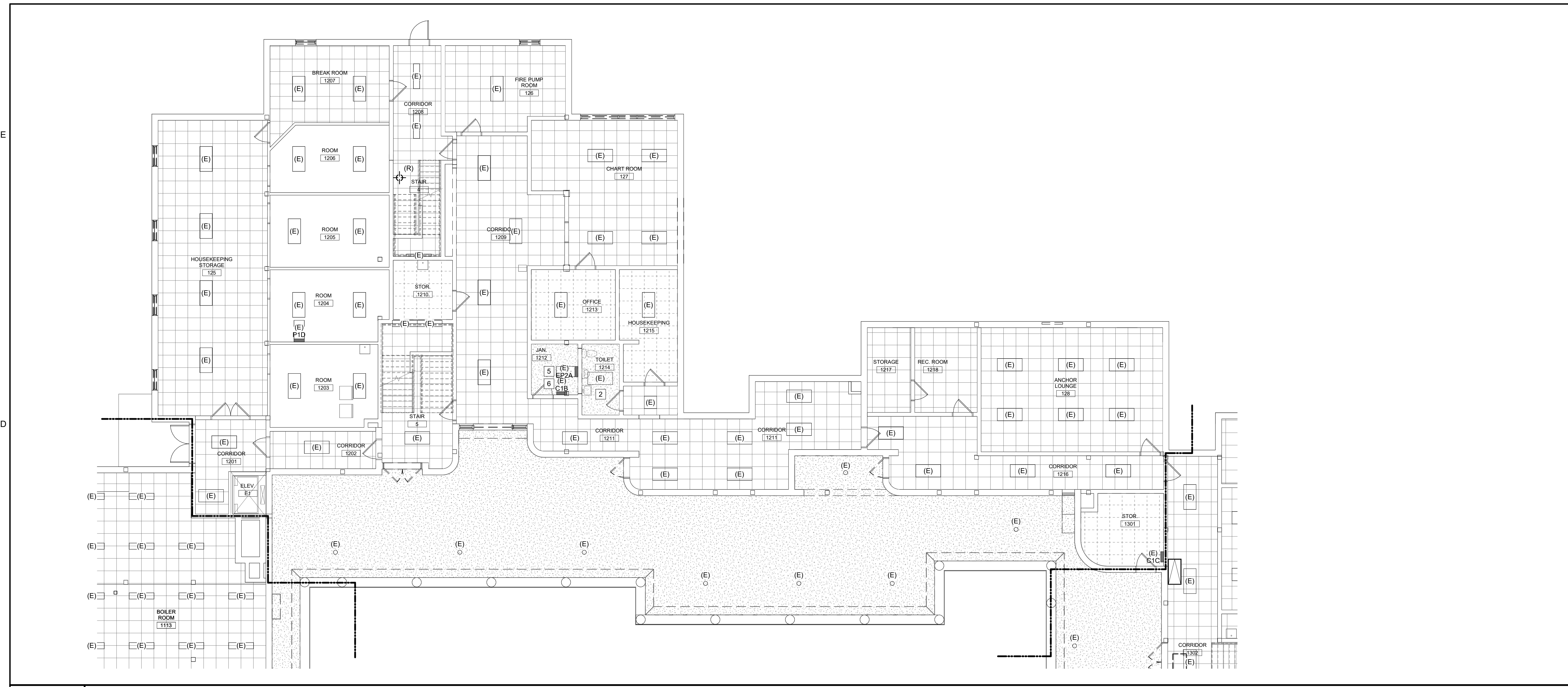
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11/22/2023

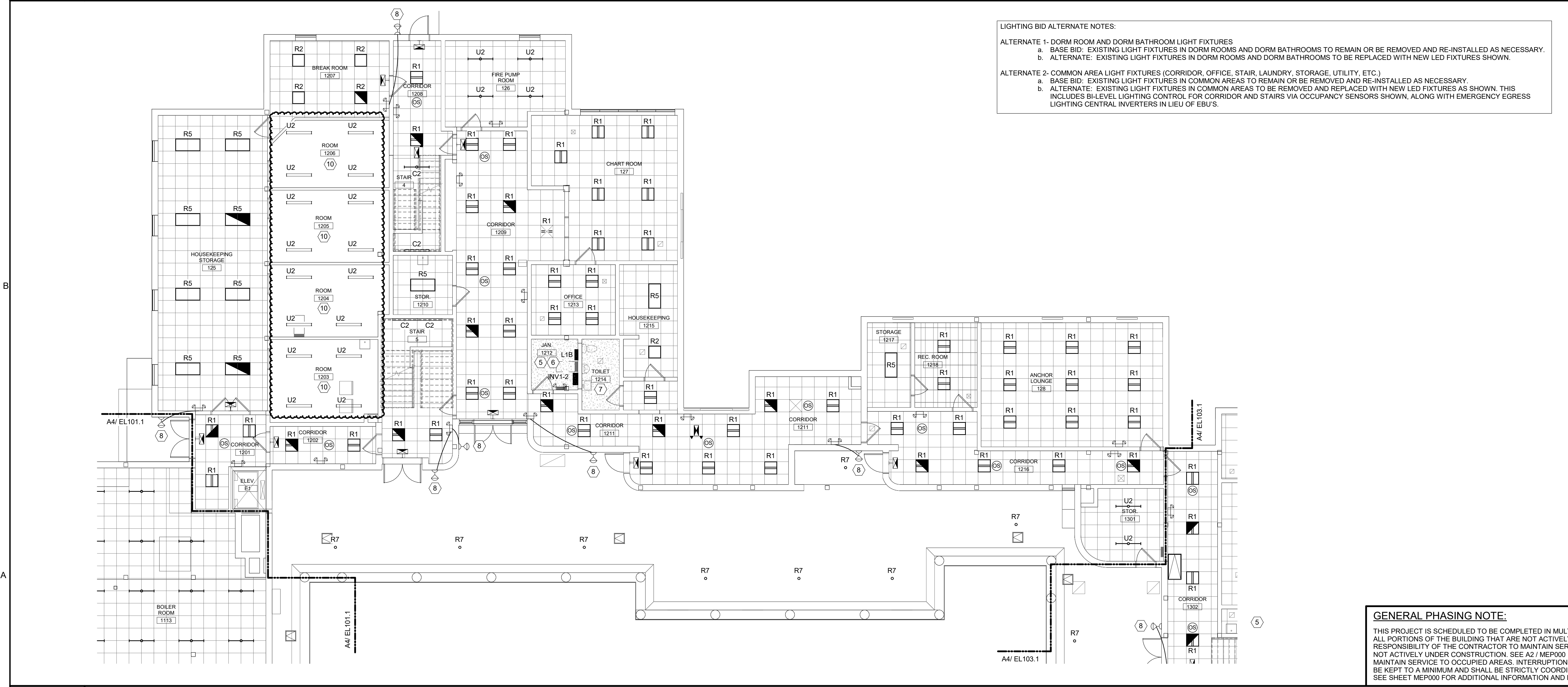
TITLE
PHASE 2 FIRST
FLOOR LIGHTING
REMOVALS & NEW
PLANS

SHEET
EL102.1



C6 PHASE 2 FIRST FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
1/8" = 1'-0"

D1 KEYNOTES- LIGHTING REMOVALS



A6 PHASE 2 FIRST FLOOR LIGHTING RCP
1/8" = 1'-0"

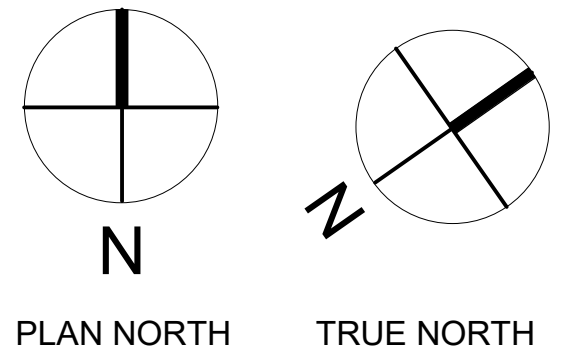
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- 3) TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4) TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5) TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- 6) CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- 7) TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- 8) PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- 9) TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.
- 10) PENDANT MOUNT LIGHT FIXTURES IN THIS ROOM AT 8'-6" AFF.

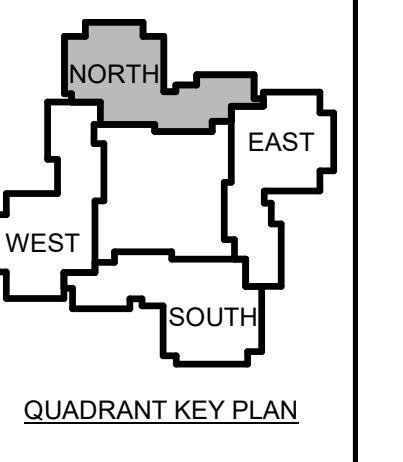
A1 KEYNOTES- NEW LIGHTING

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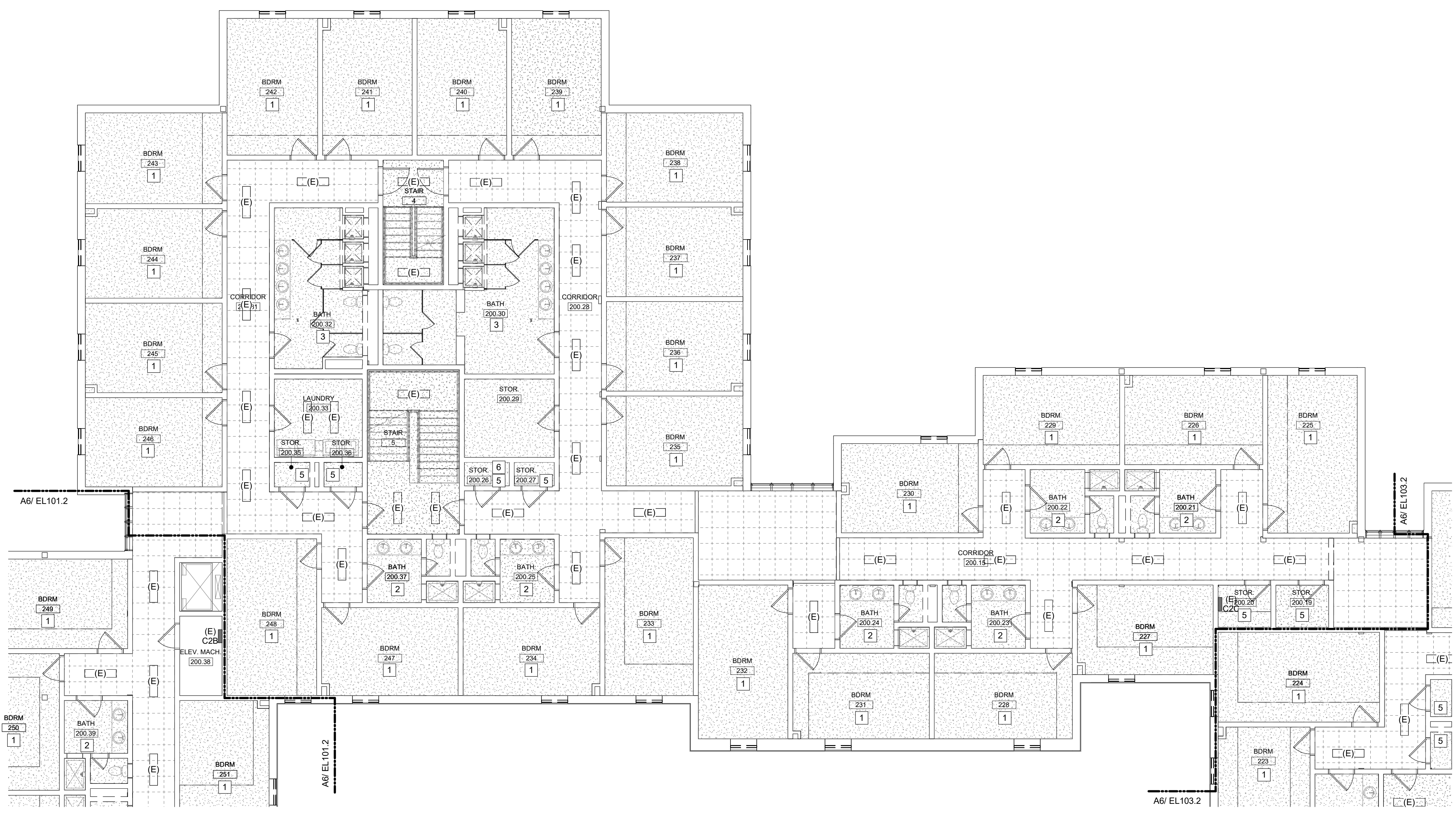
No. Date Description
 Revision Schedule

JOB NO.
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 BIDDING
 11/22/2023

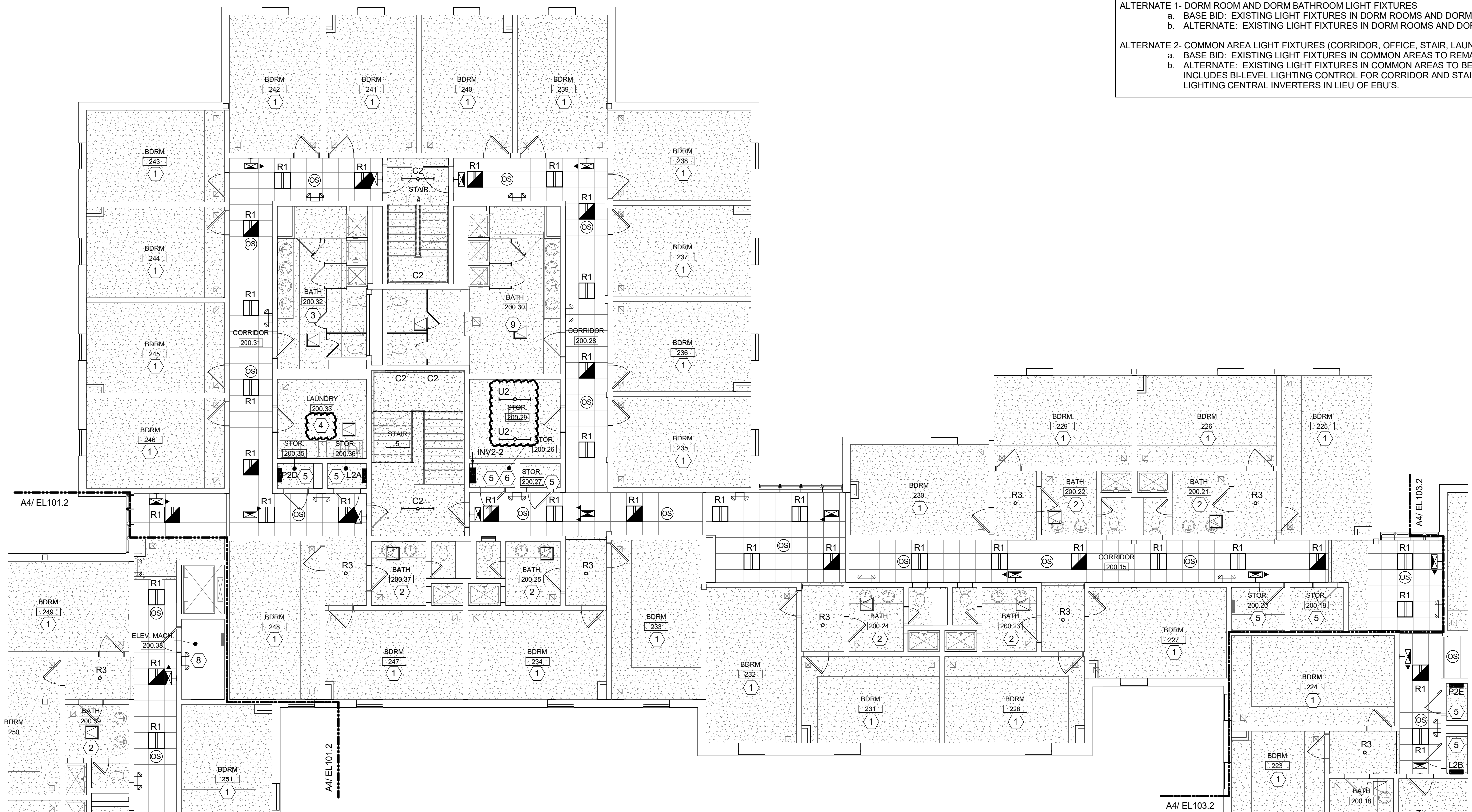
TITLE
 PHASE 2 SECOND
 FLOOR LIGHTING
 REMOVALS & NEW
 PLANS

SHEET
EL102.2



1
 D1 KEYNOTES- LIGHTING REMOVALS

C6 PHASE 2 SECOND FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"



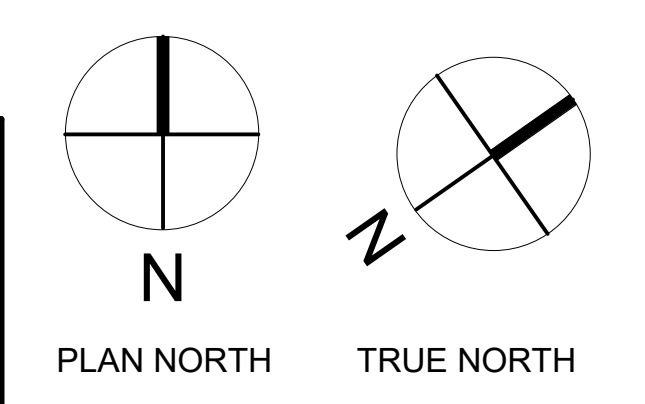
LIGHTING BID ALTERNATE NOTES:
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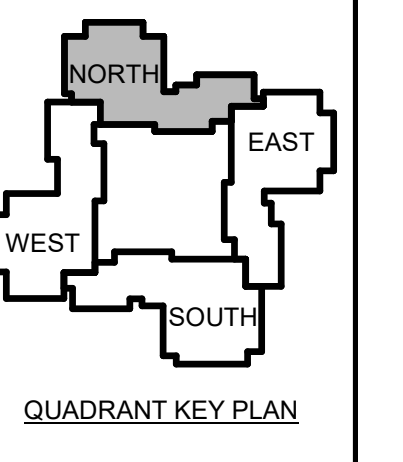
- 1 TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- 2 TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- 3 TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4 TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5 TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- 6 CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
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- 8 PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- 9 TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.
- 10 PENDANT MOUNT LIGHT FIXTURES IN THIS ROOM AT 8'-6" AFF.

A1 KEYNOTES- NEW LIGHTING

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A6 PHASE 2 SECOND FLOOR LIGHTING RCP
 1/8" = 1'-0"



2	12-1 Addendum #3
5-23	
1	12-5 Addendum #1
	-23

No.	Date	Description
Revision Schedule		

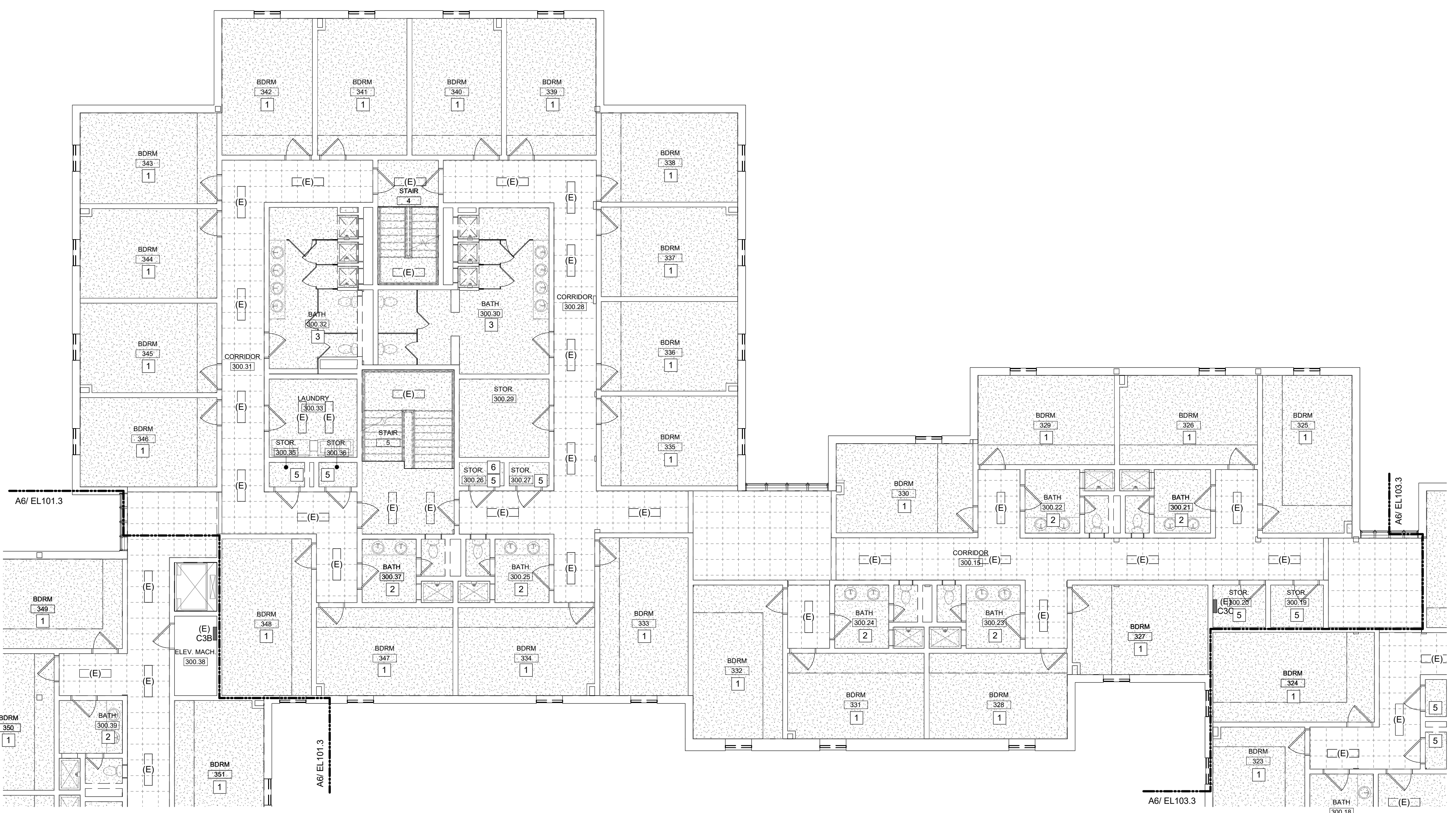
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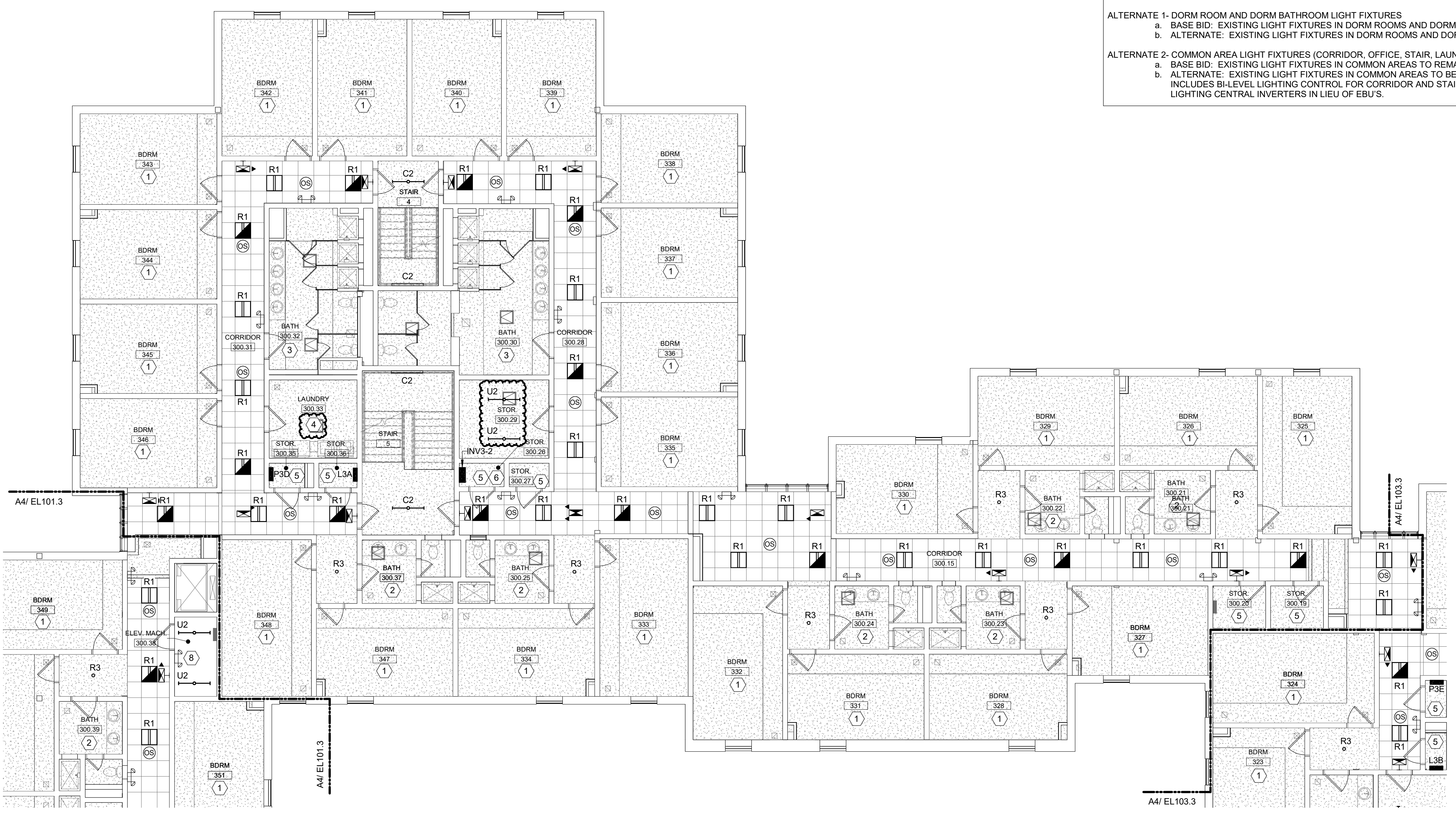
TITLE
PHASE 2 THIRD FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL102.3



C6 PHASE 2 THIRD FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

D1 KEYNOTES- LIGHTING REMOVALS



A6 PHASE 2 THIRD FLOOR LIGHTING RCP
 1/8" = 1'-0"

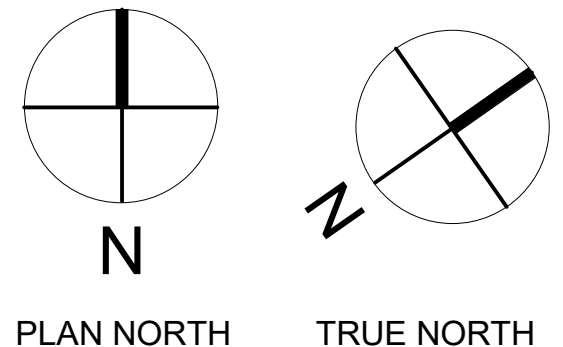
LIGHTING BID ALTERNATE NOTES:
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- 2) TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- 3) TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- 4) TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- 5) TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
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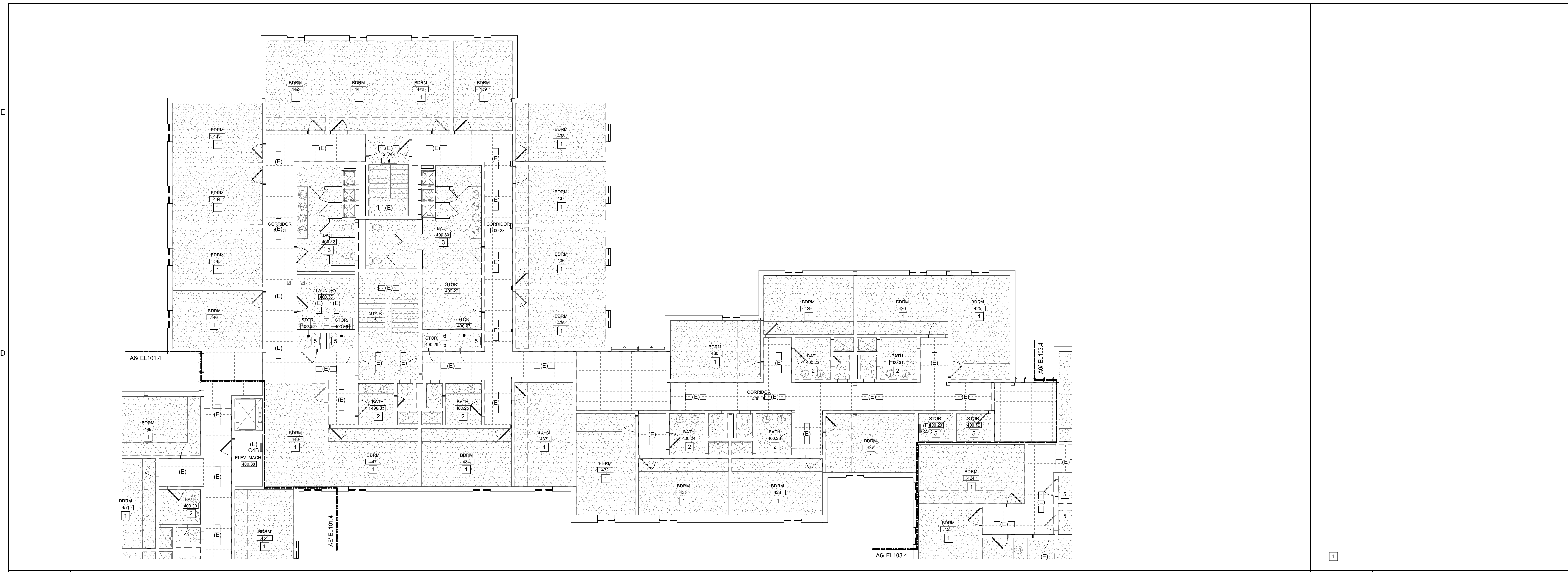
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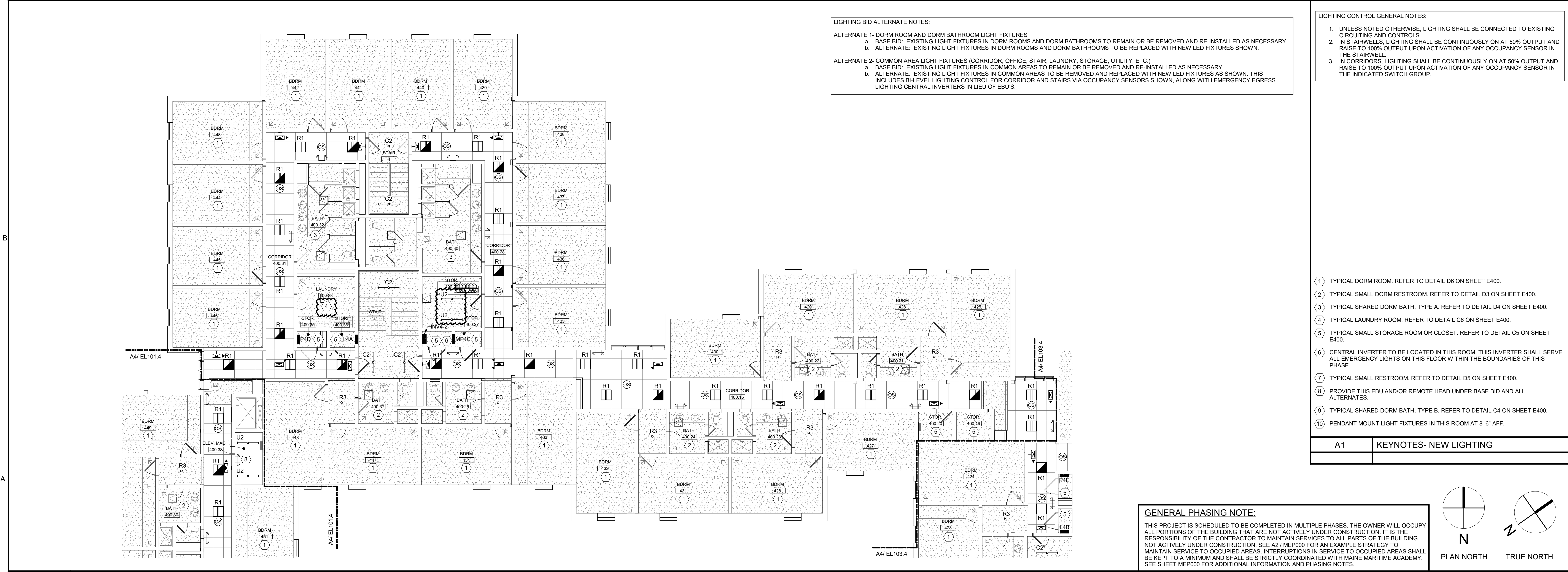
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C6 PHASE 2 FOURTH FLOOR ELECTRICAL REMOVALS - LIGHTING RCP
 1/8" = 1'-0"

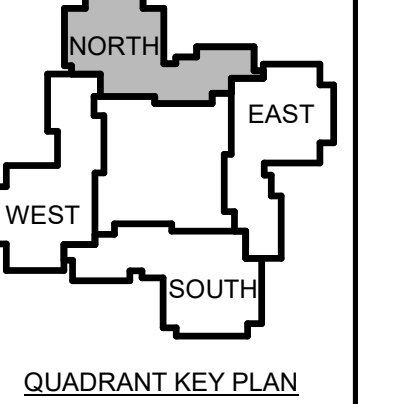
D1 KEYNOTES- LIGHTING REMOVALS



A6 PHASE 2 FOURTH FLOOR LIGHTING RCP
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QUADRANT KEY PLAN

2	12-1 Addendum #3
5-23	
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No.	Date	Description
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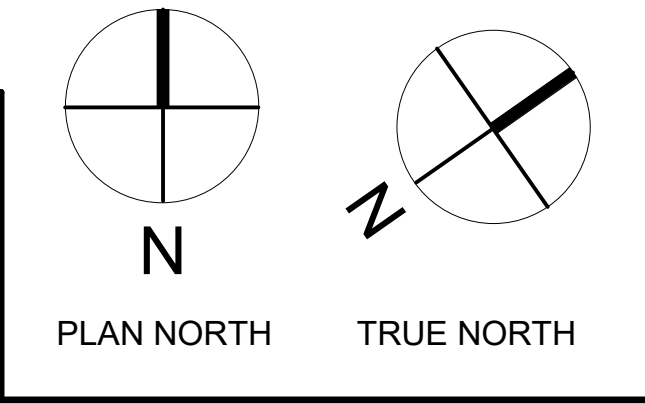
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11/22/2023

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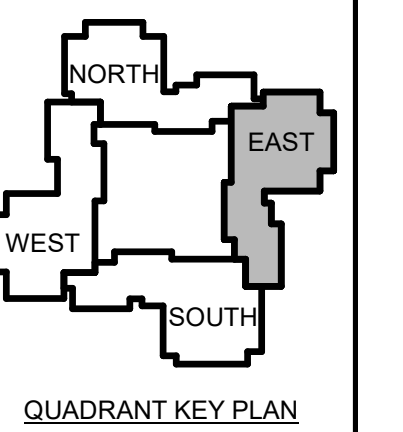
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TITLE
PHASE 2 FOURTH FLOOR LIGHTING REMOVALS & NEW PLANS

SHEET
EL102.4



2	12-1	Addendum #3
	5-23	
1	12-5	Addendum #1
	-23	

No. Date Description
 Revision Schedule

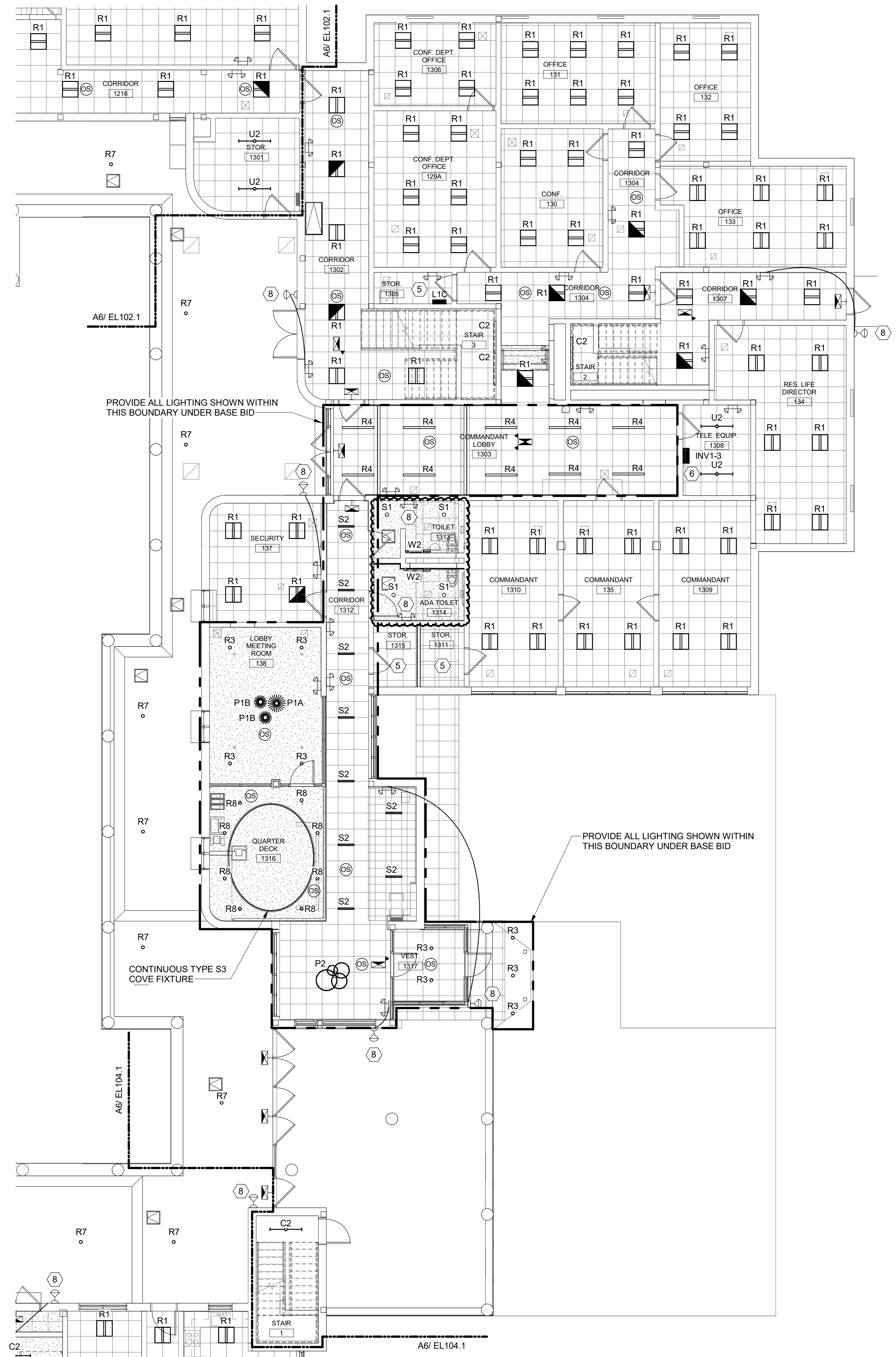
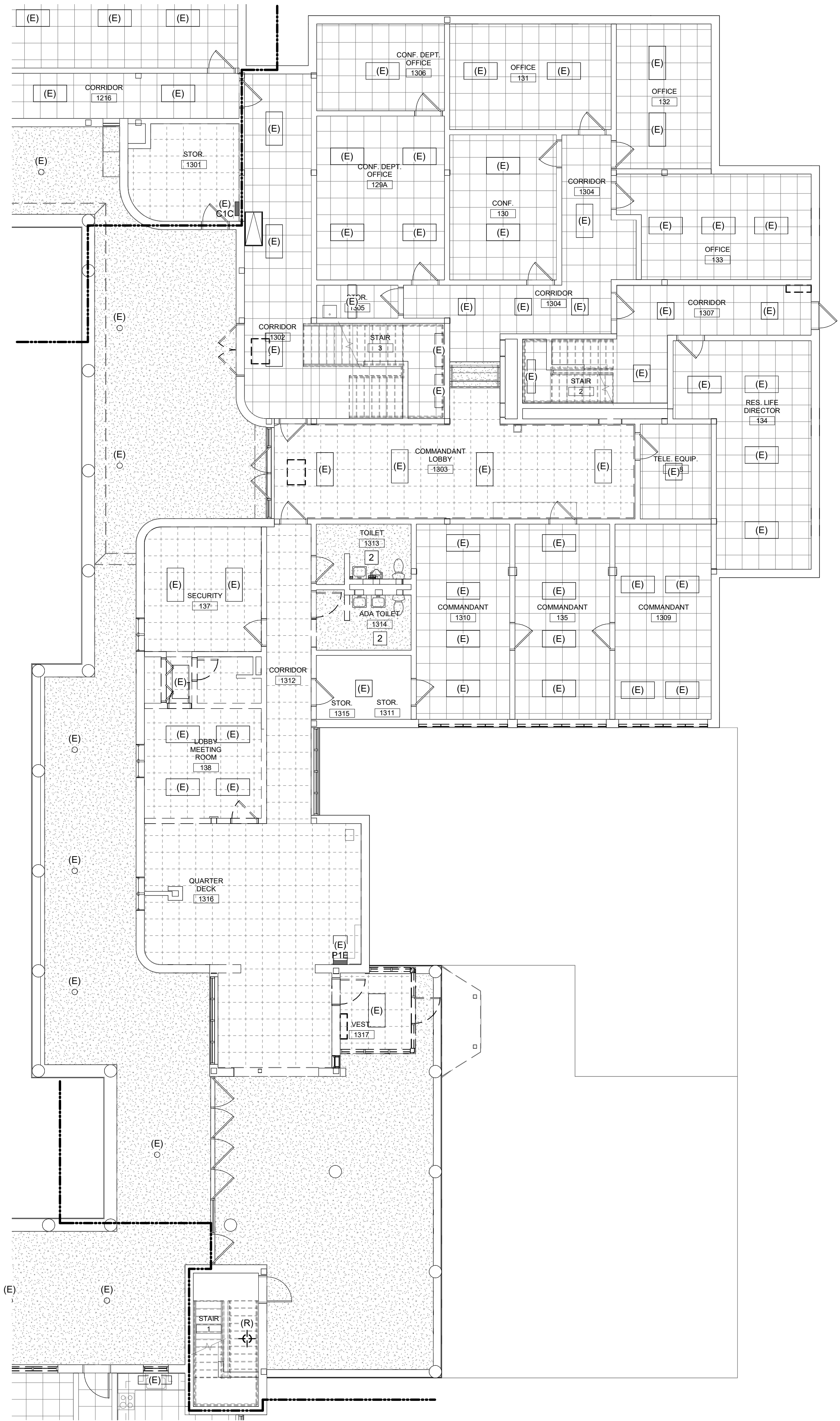
JOB NO.
076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 PHASE 3 FIRST
 FLOOR LIGHTING
 REMOVALS & NEW
 PLANS

SHEET
EL103.1

LIGHTING BID ALTERNATE NOTES:
 ALTERNATE 1- DORM ROOM AND DORM BATHROOM LIGHT FIXTURES
 a. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES SHOWN.
 ALTERNATE 2- COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIR, LAUNDRY, STORAGE, UTILITY, ETC.)
 a. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE REMOVED AND RE-INSTALLED AS NECESSARY.
 b. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES AS SHOWN. THIS INCLUDES BILEVEL LIGHTING CONTROL FOR CORRIDOR AND STAIRS VIA OCCUPANCY SENSORS SHOWN, ALONG WITH EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS IN LIEU OF EBUS.



D1	KEYNOTES- LIGHTING REMOVALS
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LIGHTING CONTROL GENERAL NOTES:
 1. UNLESS NOTED OTHERWISE, LIGHTING SHALL BE CONNECTED TO EXISTING CIRCUITING AND CONTROLS.
 2. IN STAIRWELLS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE STAIRWELL.
 3. IN CORRIDORS, LIGHTING SHALL BE CONTINUOUSLY ON AT 50% OUTPUT AND RAISE TO 100% OUTPUT UPON ACTIVATION OF ANY OCCUPANCY SENSOR IN THE INDICATED SWITCH GROUP.

- ① TYPICAL DORM ROOM. REFER TO DETAIL D6 ON SHEET E400.
- ② TYPICAL SMALL DORM RESTROOM. REFER TO DETAIL D3 ON SHEET E400.
- ③ TYPICAL SHARED DORM BATH, TYPE A. REFER TO DETAIL D4 ON SHEET E400.
- ④ TYPICAL LAUNDRY ROOM. REFER TO DETAIL C6 ON SHEET E400.
- ⑤ TYPICAL SMALL STORAGE ROOM OR CLOSET. REFER TO DETAIL C5 ON SHEET E400.
- ⑥ CENTRAL INVERTER TO BE LOCATED IN THIS ROOM. THIS INVERTER SHALL SERVE ALL EMERGENCY LIGHTS ON THIS FLOOR WITHIN THE BOUNDARIES OF THIS PHASE.
- ⑦ TYPICAL SMALL RESTROOM. REFER TO DETAIL D5 ON SHEET E400.
- ⑧ PROVIDE THIS EBU AND/OR REMOTE HEAD UNDER BASE BID AND ALL ALTERNATES.
- ⑨ TYPICAL SHARED DORM BATH, TYPE B. REFER TO DETAIL C4 ON SHEET E400.
- ⑩ PENDANT MOUNT LIGHT FIXTURES IN THIS ROOM AT 8'-6" AFF.

A1	KEYNOTES- NEW LIGHTING
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GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

