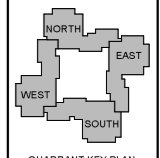


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No.	Date	Description
Revision Schedule		

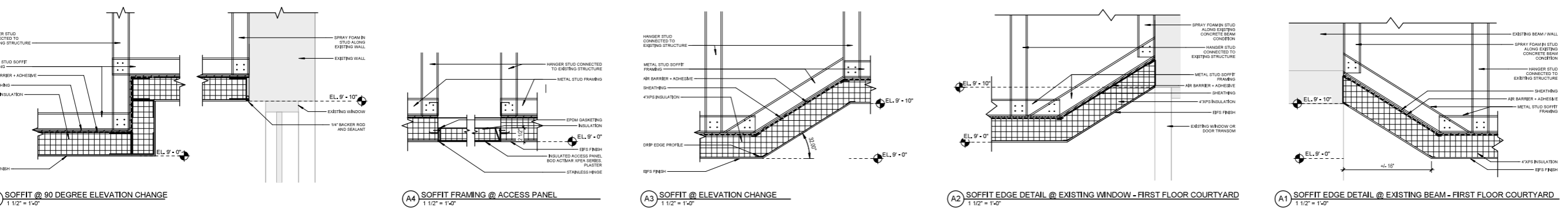
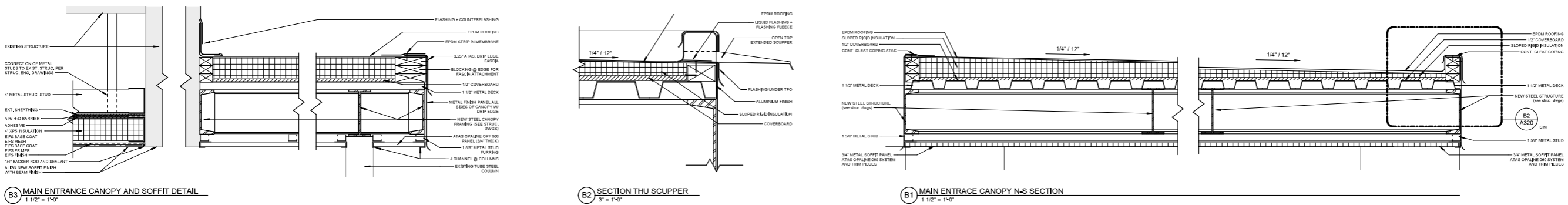
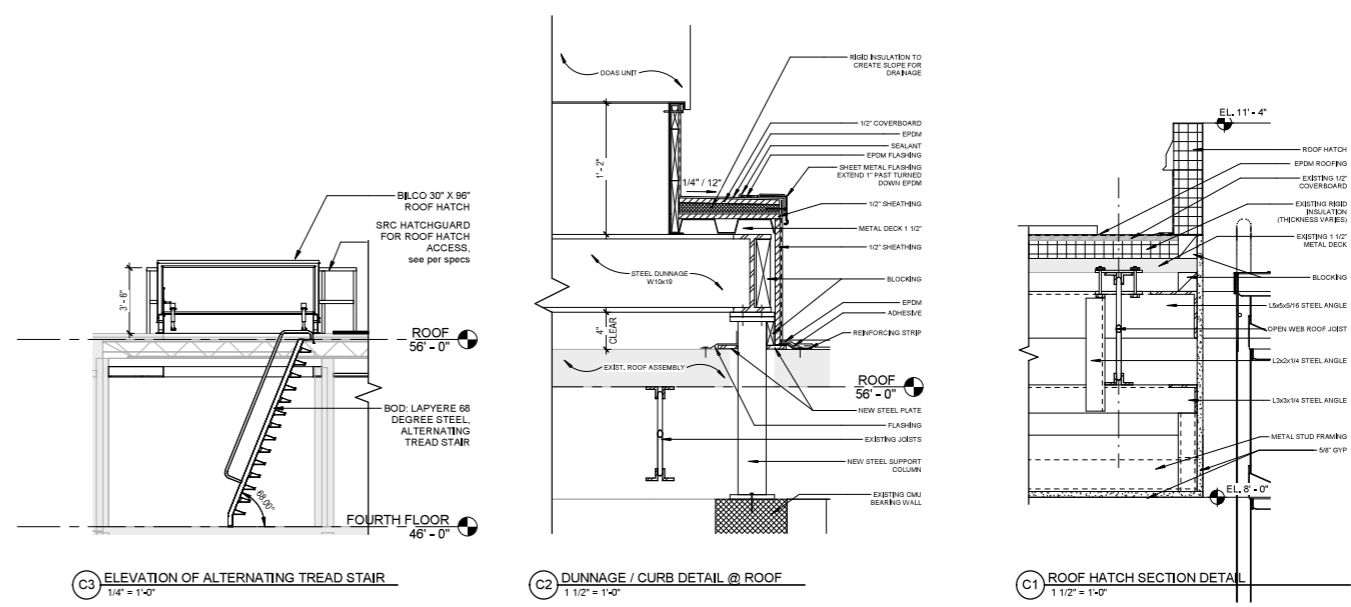
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JOB NO.
078982

ISSUE
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 11/22/2023

TITLE ENVELOPE DETAILS

SHEET
A320



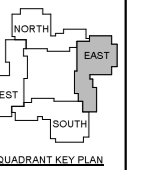
ROOF

CANOPY

SOFFIT

E
D
C
B
A

E
D
C
B
A



No.	Date	Description
Revision Schedule		

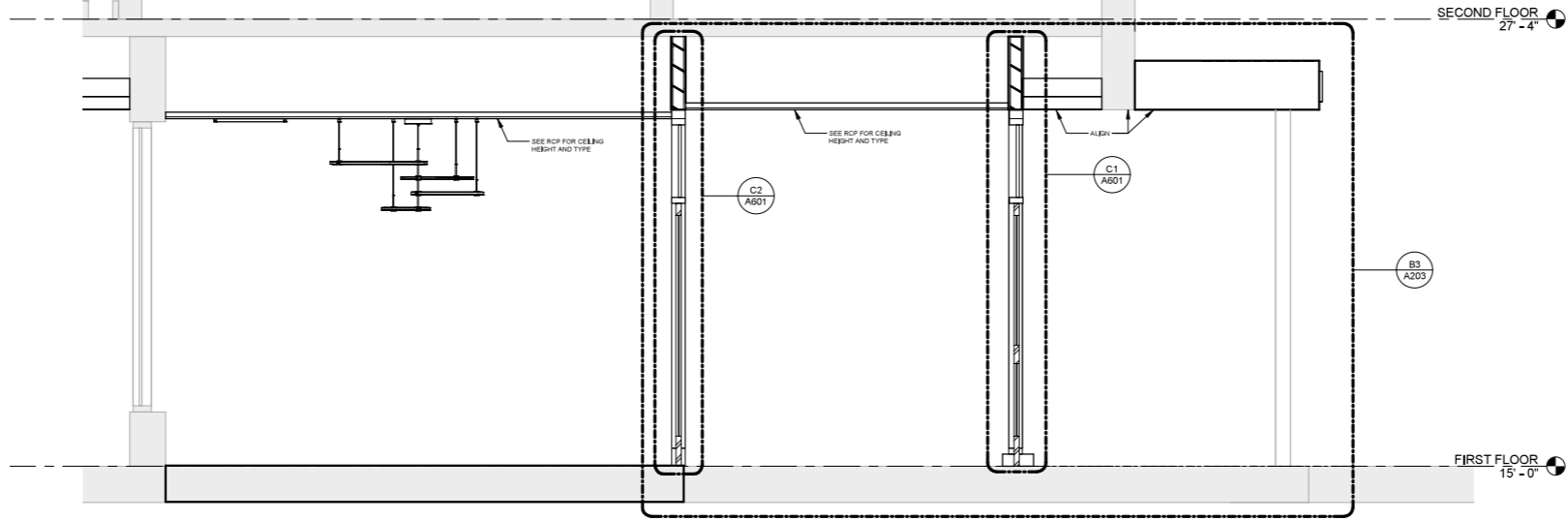
NOT FOR CONSTRUCTION

JOB NO.
076982

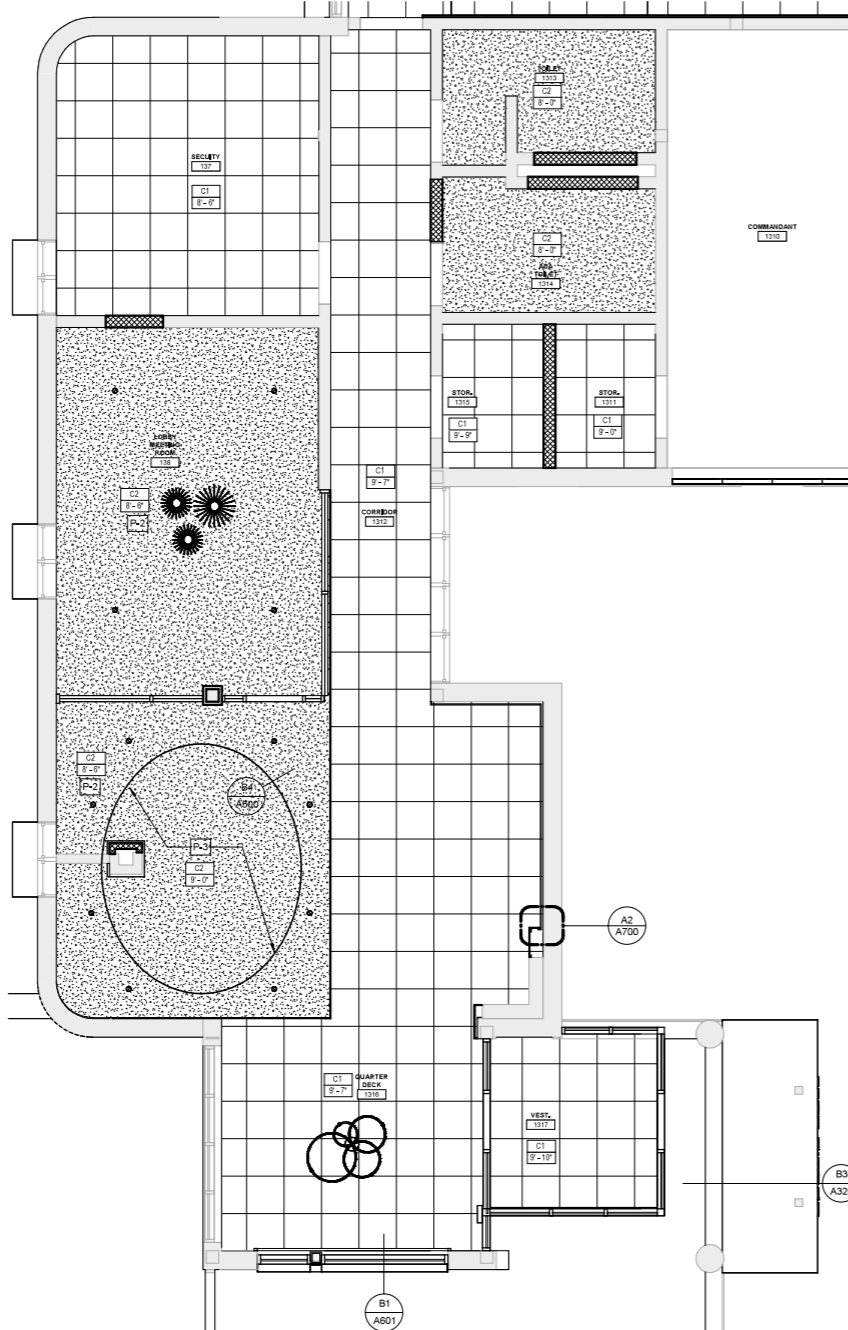
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11/22/2023

TITLE
ENLARGED PLANS OF LOBBY AREA

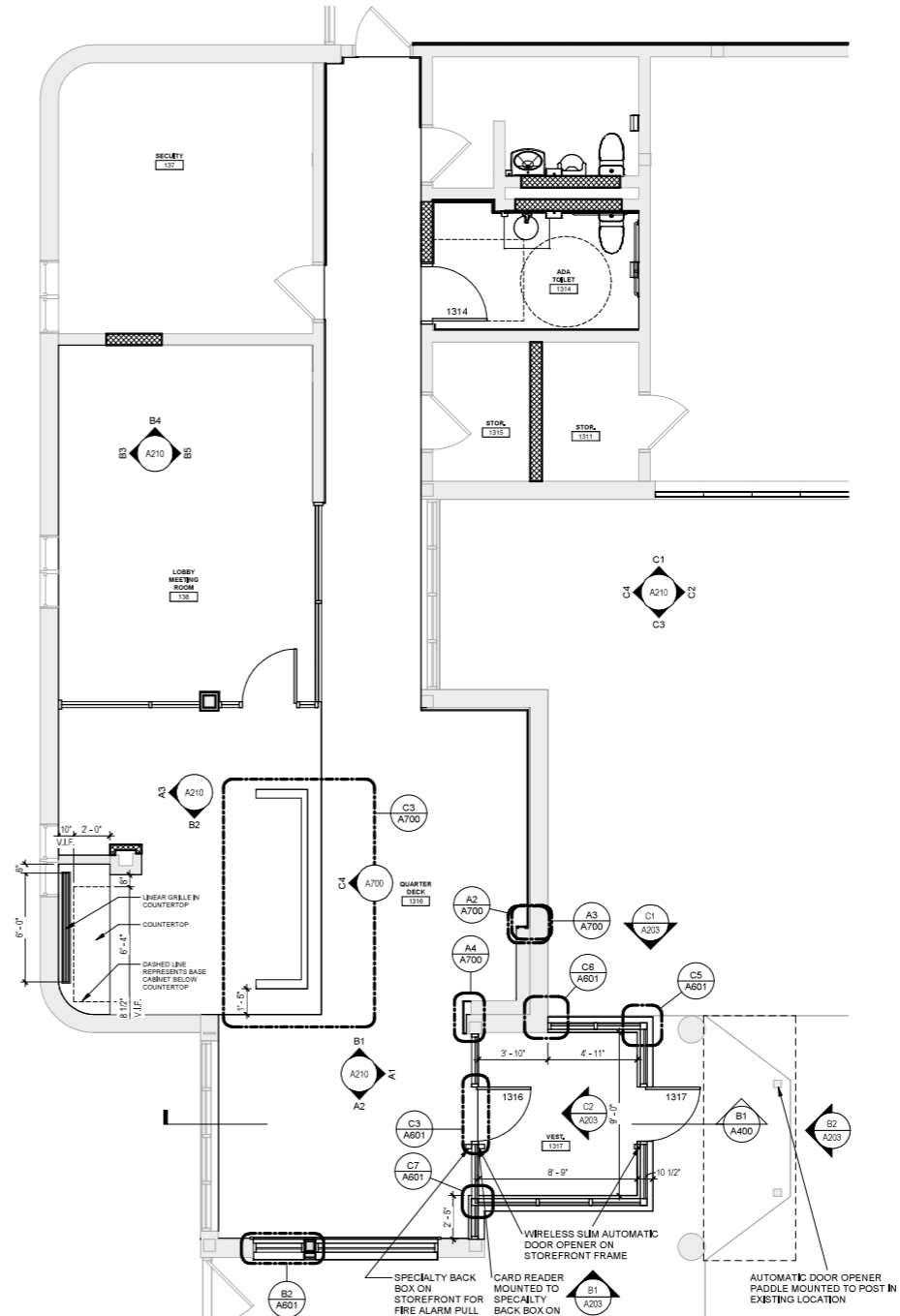
SHEET
A400



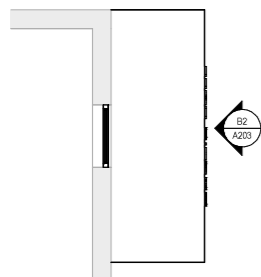
B1 LOBBY AND VESTIBULE SECTION
1/2" = 1'-0"



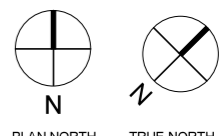
A2 0-1-FIRST FLOOR - LOBBY AREA
1/4" = 1'-0"



A1 ENLARGED PLAN-LOBBY
1/4" = 1'-0"



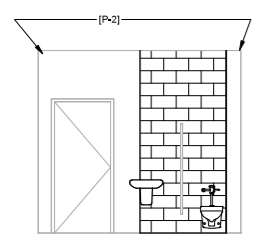
A3 ENLARGED CANOPY ROOF PLAN @ MAIN ENTRANCE
1/4" = 1'-0"



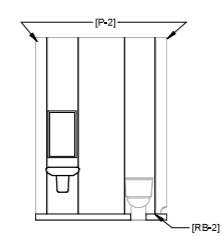
6 5 4 3 2 1
 E
 D
 C
 B
 A

BATHROOM INTERIORS GENERAL NOTES
- REFERENCE TYPICAL INSTALLATION REQUIREMENTS ON SHEET A000.2
- COORDINATE ALL WORK WITH MEP DRAWINGS AND SPECIFICATIONS

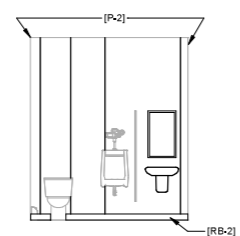
- SOLID SURFACE SHOWER INSERT UNIT. SEE DETAIL D5/A500.
- EXISTING FIBERGLASS SHOWER UNIT TO BE REMOVED AND REINSTALLED
- SOLID SURFACE SHOWER ENCLOSURE. SEE DETAIL XXX.
- ADA UNIT WITH SOLID SURFACE SHOWER AND SHOWER ENCLOSURE
- EXISTING TILE TO REMAIN
- ALTERNATE #X- REPLACE WITH COUNTER APRON AND NEW PLAM APRON
- ALL SALVAGED PLUMBING FIXTURES, MIRRORS, STALL DIVIDERS AND TOILET ACCESSORIES TO BE REINSTALLED AFTER INFILL IS COMPLETE



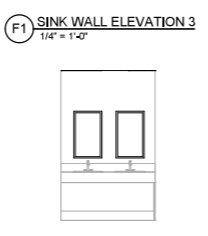
E5 ELEVATION - GROUND FLOOR TOILETS
1/4" = 1'-0"



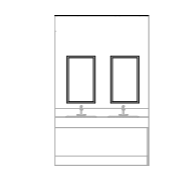
E4 ELEVATION - ADA TOILET
1/4" = 1'-0"



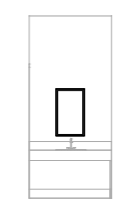
E3 ELEVATION - HALL BATHROOM B
1/4" = 1'-0"



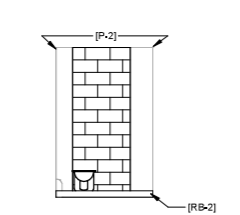
E2 SINK WALL ELEVATION 4
1/4" = 1'-0"



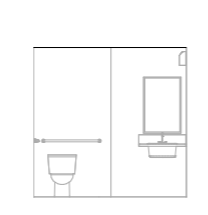
E1 SINK WALL ELEVATION 1
1/4" = 1'-0"



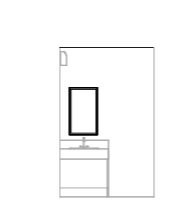
D8 ELEVATION - SINGLE USER BATH F
1/4" = 1'-0"



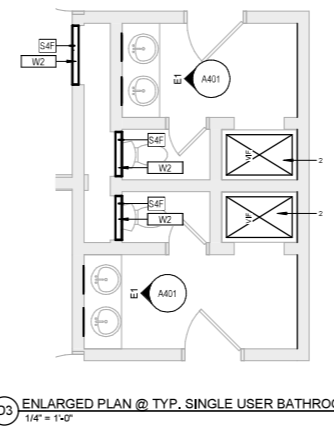
D6 ELEVATION - BOOKSTORE TOILET
1/4" = 1'-0"



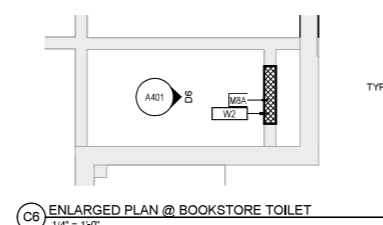
D5 SINK WALL ELEVATION 5
1/4" = 1'-0"



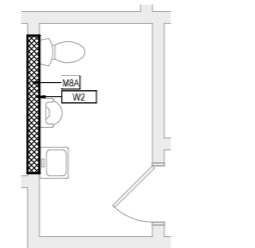
D4 SINK WALL ELEVATION 2
1/4" = 1'-0"



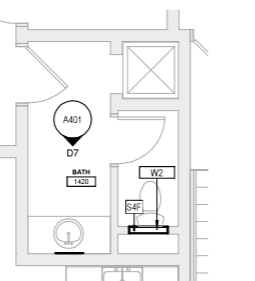
D3 ENLARGED PLAN @ TYP. SINGLE USER BATHROOM A
1/4" = 1'-0"



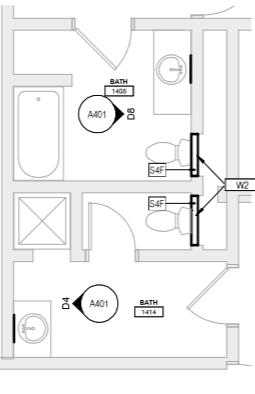
C6 ENLARGED PLAN @ BOOKSTORE TOILET
1/4" = 1'-0"



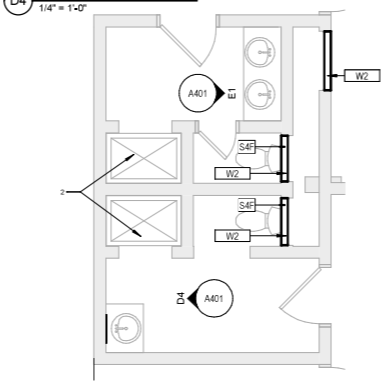
C5 ENLARGED PLAN @ HALL BATHROOM A
1/4" = 1'-0"



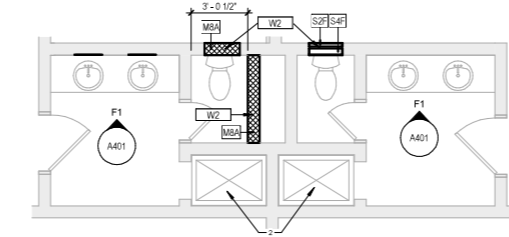
B3 ENLARGED PLAN @ HEALTH SERVICES BATHROOM
1/4" = 1'-0"



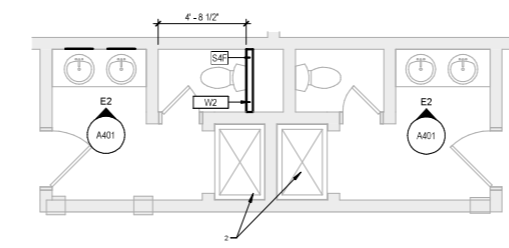
A4 ENLARGED PLAN @ TYP. SINGLE USER BATHROOM F
1/4" = 1'-0"



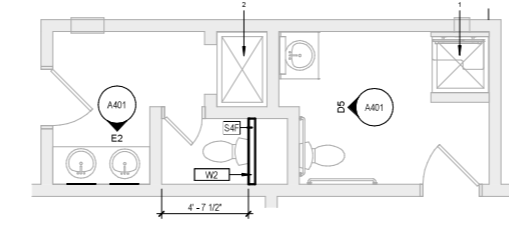
C4 ENLARGED PLAN @ TYP. SINGLE USER BATHROOM B
1/4" = 1'-0"



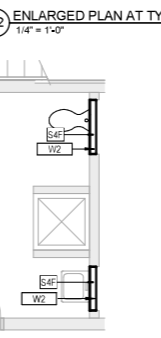
C3 ENLARGED PLAN @ TYP. SINGLE USER BATHROOM C
1/4" = 1'-0"



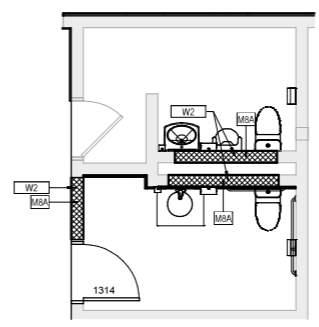
B2 ENLARGED PLAN @ TYP. SINGLE USER BATHROOM D
1/4" = 1'-0"



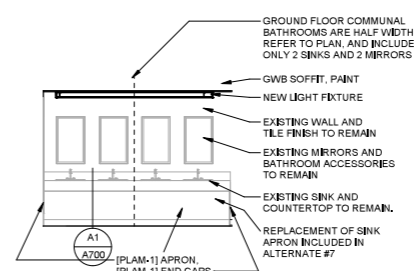
A3 ENLARGED PLAN @ TYP. SINGLE USER BATHROOM E
1/4" = 1'-0"



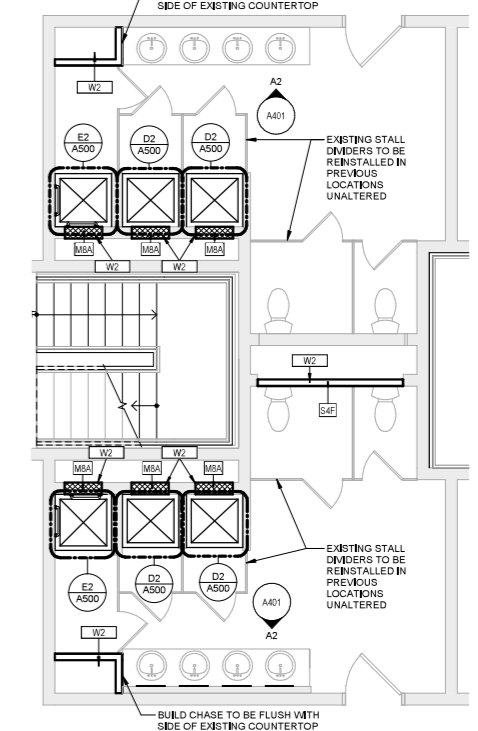
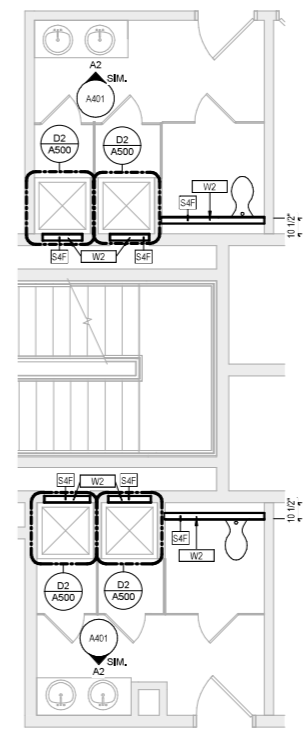
D2 ENLARGED PLAN AT TYPICAL GROUND FLOOR COMMUNAL BATHROOM
1/4" = 1'-0"



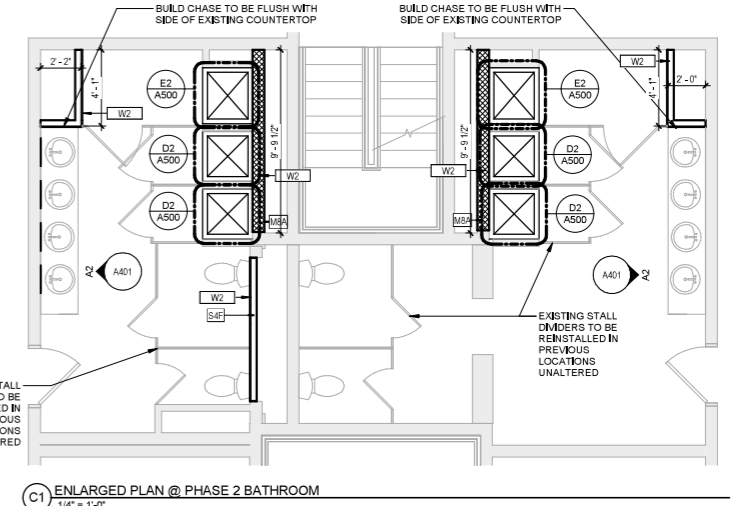
B1 ENLARGED PLAN @ ENTRY LOBBY TOILETS
1/4" = 1'-0"



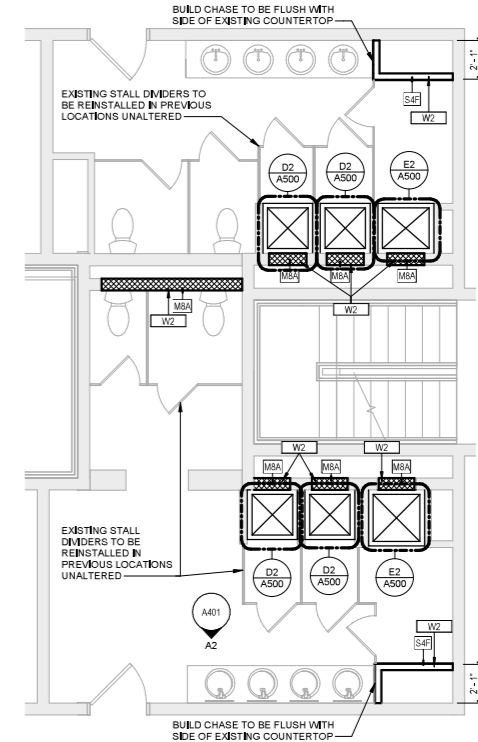
A2 TYPICAL FRONT WALL ELEVATION - COMMUNAL BATHROOMS
1/4" = 1'-0"



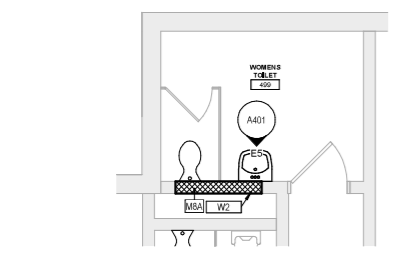
D1 ENLARGED PLAN @ TYPICAL PHASE 1 COMMUNAL BATHROOM
1/4" = 1'-0"



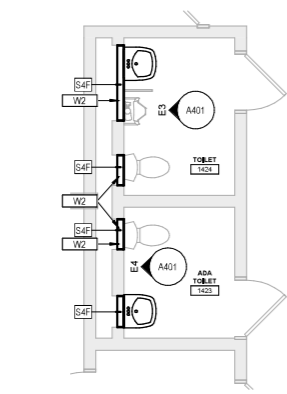
C1 ENLARGED PLAN @ PHASE 2 BATHROOM
1/4" = 1'-0"



A1 ENLARGED PLAN @ PHASE 3 BATHROOM
1/4" = 1'-0"



A6 ENLARGED PLAN @ GROUND FLOOR TOILETS
1/4" = 1'-0"



A5 ENLARGED PLAN @ HALL BATHROOM B
1/4" = 1'-0"

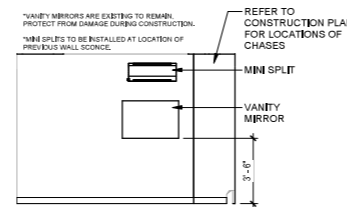
GENERAL BEDROOM NOTES

- ALL DORM BEDROOMS ARE TO RECEIVE ROLLER SHADES OVER WINDOWS, EXISTING WALL MOUNTED MIRRORS ARE TO REMAIN IN PLACE AND BE PROTECTED.
- EXISTING WALL MOUNTED VANITY LIGHT FIXTURES ON FLOORS 2&4 ARE TO BE REMOVED, COORDINATE WITH ELECTRICAL
- EXISTING WALL MOUNTED VANITY LIGHT FIXTURES ON THE INTERMEDIATE FLOOR AND FIRST FLOOR ARE TO BE REMOVED AS PART OF ADD ALTERNATE #3, COORDINATE WITH ELECTRICAL
- EXISTING FURNITURE REMAINING IN ROOM WHEN HANDED OVER TO GC SHALL BE RESPONSIBILITY OF THE GC FOR PROTECTING AND CATALOGING ANY EXISTING DAMAGES, DAMAGE TO FURNITURE SHALL BE THE RESPONSIBILITY OF THE GC.
- EXISTING RADIATOR FINS WITHIN THE COVERS ARE TO BE THOROUGHLY CLEANED.
- EXISTING RADIATORS COVERS ARE TO BE SALVAGED AND REINSTALLED IN THE SAME LOCATION, PAINT AND REPAIR.
- ALL SURFACES NOT INCLUDED IN THE CONTRACTORS SCOPE OF WORK ARE TO BE RETURNED TO THE OWNER IN THE CONDITION THEY WERE UPON TAKING OVER THE SPACE, CLEANING AND PAINT TOUCH-UP WILL BE REQUIRED PRIOR TO TURNOVER.

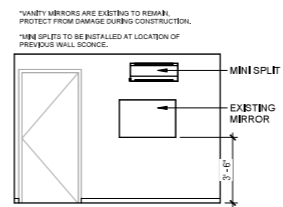


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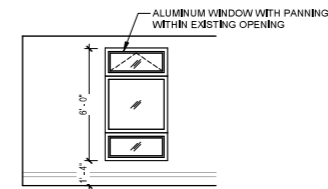
CURTIS HALL RENOVATIONS
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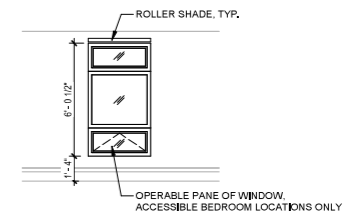
C4 TYPICAL BEDROOM WALL ELEVATION 3
1/4" = 1'-0"



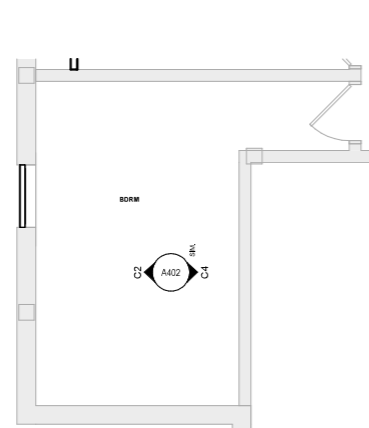
C3 TYPICAL BEDROOM WALL ELEVATION 1
1/4" = 1'-0"



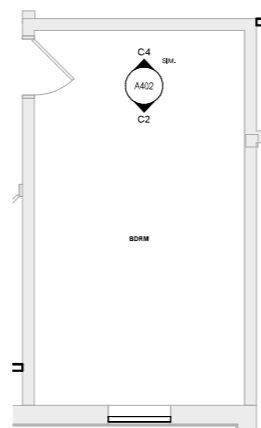
C2 TYPICAL WINDOW ELEVATION
1/4" = 1'-0"



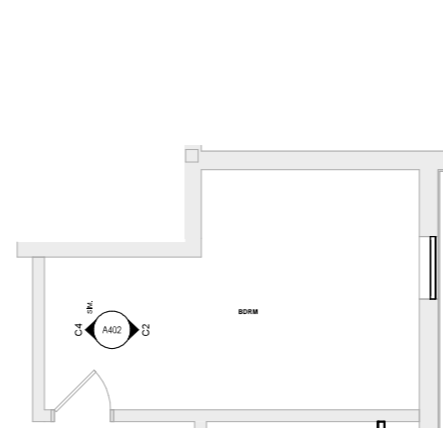
C1 TYPICAL WINDOW ELEVATION - ACCESSIBLE BEDROOMS
1/4" = 1'-0"



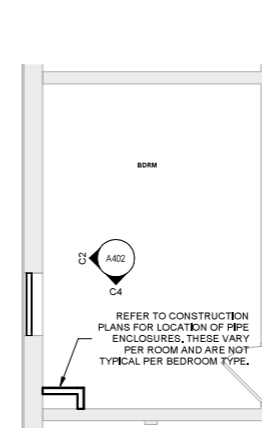
B6 TYPICAL BEDROOM TYPE 13
1/4" = 1'-0"



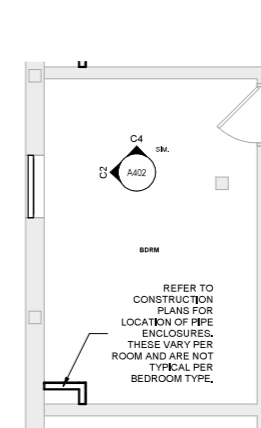
B5 TYPICAL BEDROOM TYPE 12
1/4" = 1'-0"



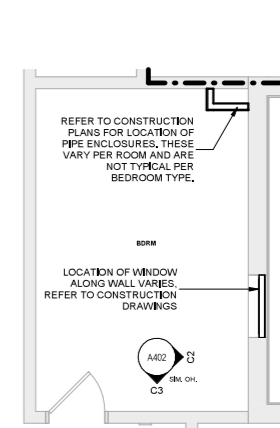
B4 TYPICAL BEDROOM TYPE 11
1/4" = 1'-0"



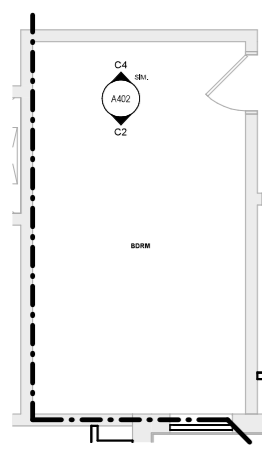
B3 TYPICAL BEDROOM TYPE 10
1/4" = 1'-0"



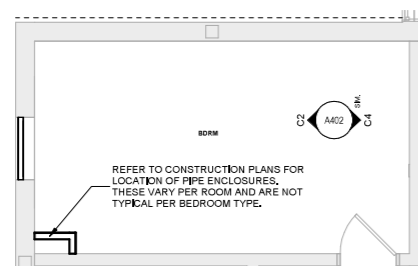
B2 TYPICAL BEDROOM TYPE 9
1/4" = 1'-0"



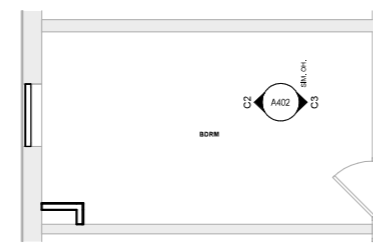
B1 TYPICAL BEDROOM TYPE 8
1/4" = 1'-0"



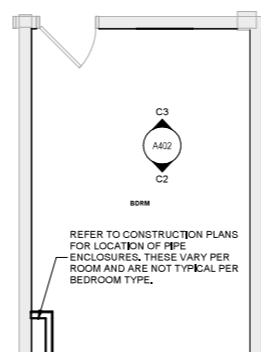
A7 TYPICAL BEDROOM TYPE 7
1/4" = 1'-0"



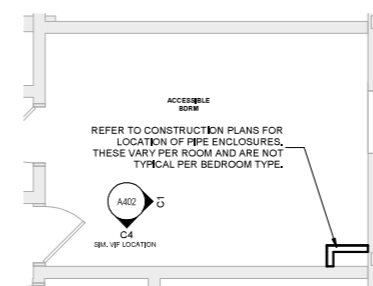
A6 TYPICAL BEDROOM TYPE 6
1/4" = 1'-0"



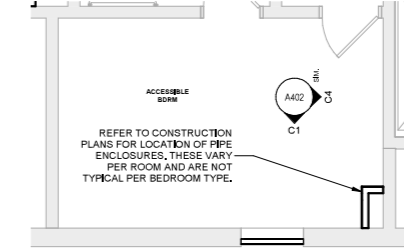
A5 TYPICAL BEDROOM TYPE 5
1/4" = 1'-0"



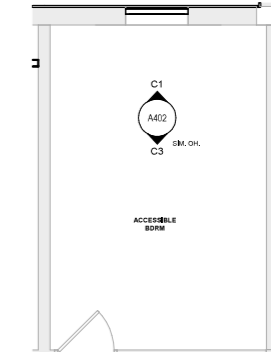
A4 TYPICAL BEDROOM TYPE 4
1/4" = 1'-0"



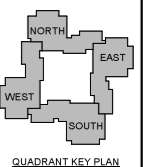
A3 TYPICAL BEDROOM TYPE 3 - ACCESSIBLE
1/4" = 1'-0"



A2 TYPICAL BEDROOM TYPE 2 - ACCESSIBLE
1/4" = 1'-0"



A1 TYPICAL BEDROOM TYPE 1 - ACCESSIBLE
1/4" = 1'-0"



QUADRANT KEY PLAN

No.	Date	Description
Revision Schedule		

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11/22/2023

TITLE
TYPICAL ENLARGED PLANS - BEDROOMS

SHEET
A402

No.	Date	Description
Revision Schedule		

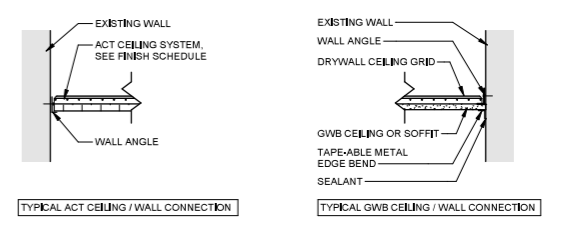
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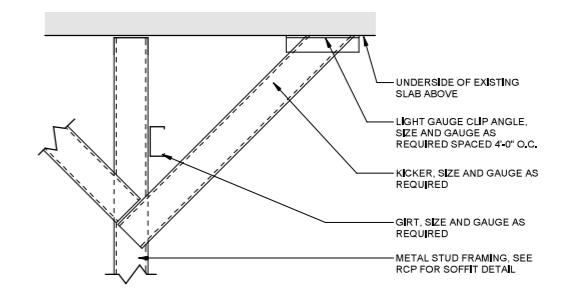
ISSUE
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 11/22/2023

TITLE
 INTERIOR DETAILS & OVERHEAD DETAILS

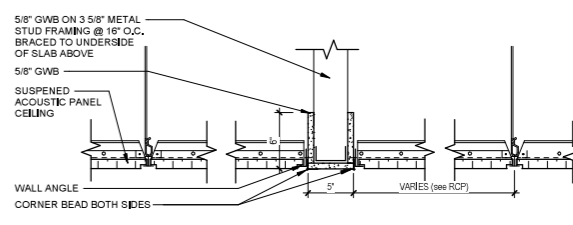
SHEET
A500



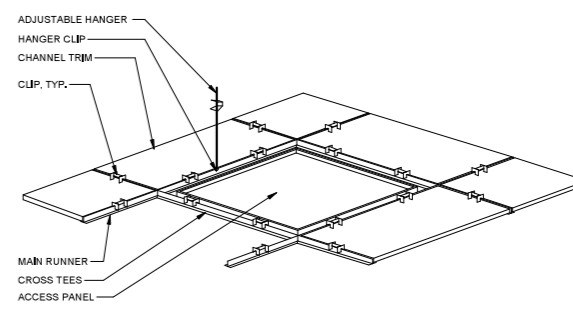
F1 CEILING DETAILS - CEILING / WALL CONNECTION DETAILS
 1 1/2" = 1'-0"



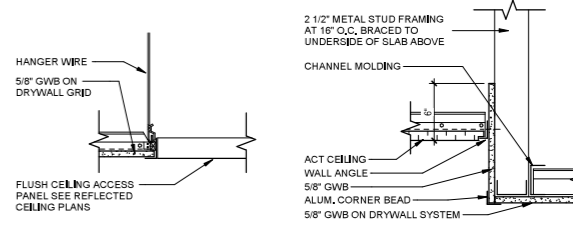
E1 CEILING DETAILS - DIAGONAL BRACING DETAIL AT SOFFITS
 1 1/2" = 1'-0"



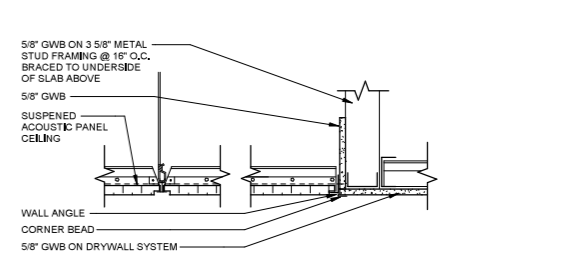
D1 CEILING DETAIL - ACT CEILING TRANSITION
 1 1/2" = 1'-0"



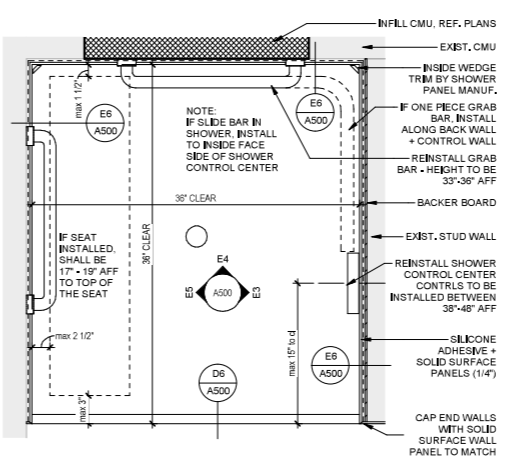
C1 CEILINGS ACCESS PANEL DETAIL
 1 1/2" = 1'-0"



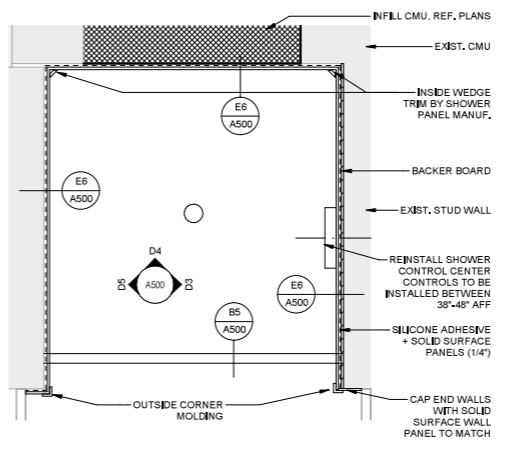
B2 CEILING ACCESS PANEL DETAIL
 1 1/2" = 1'-0"



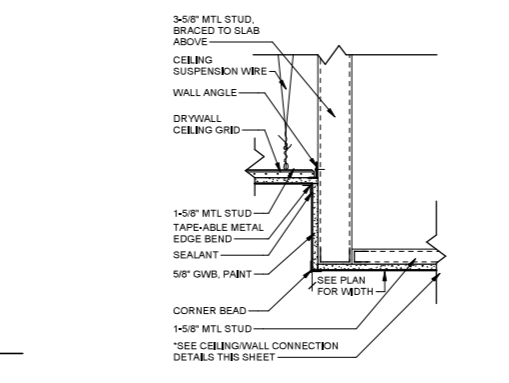
A1 CEILING DETAIL - SAT TO GWB ALIGNED
 1 1/2" = 1'-0"



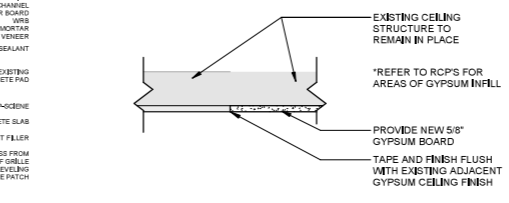
E2 ACCESSIBLE SHOWER SOLID SURFACE FINISH DETAIL
 1 1/2" = 1'-0"



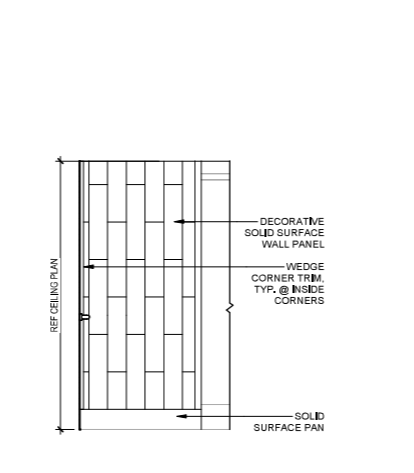
D2 STANDARD SHOWER SOLID SURFACE FINISH DETAIL
 1 1/2" = 1'-0"



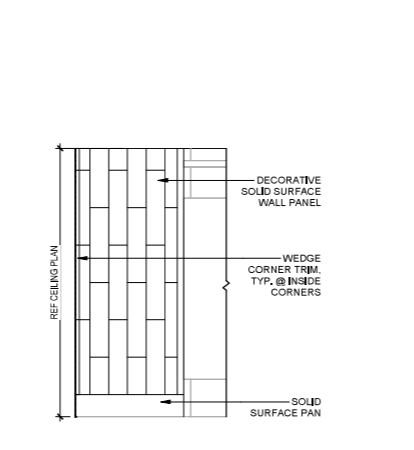
B3 CEILING DETAIL - PERIMETER SOFFIT DETAIL
 1 1/2" = 1'-0"



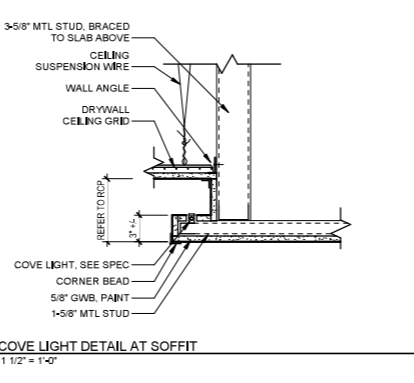
A2 CEILING DETAIL - GYPSUM INFILL ON EXISTING STRUCTURE
 1 1/2" = 1'-0"



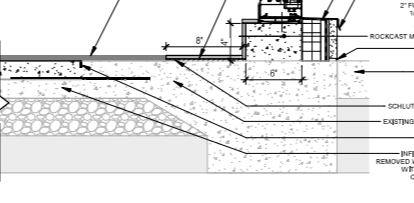
E3 ACCESSIBLE SHOWER ELEVATION RIGHT WALL
 1/2" = 1'-0"



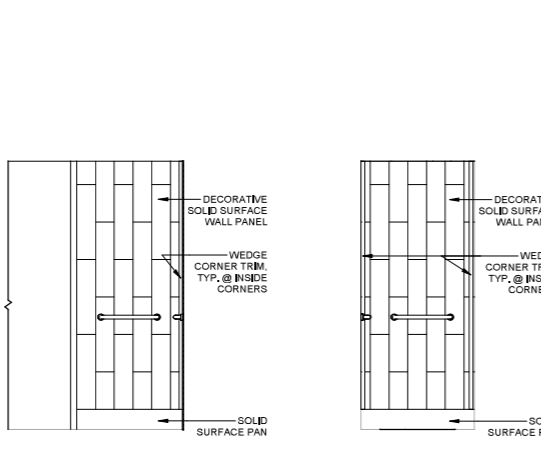
D3 SHOWER ELEVATION RIGHT WALL
 1/2" = 1'-0"



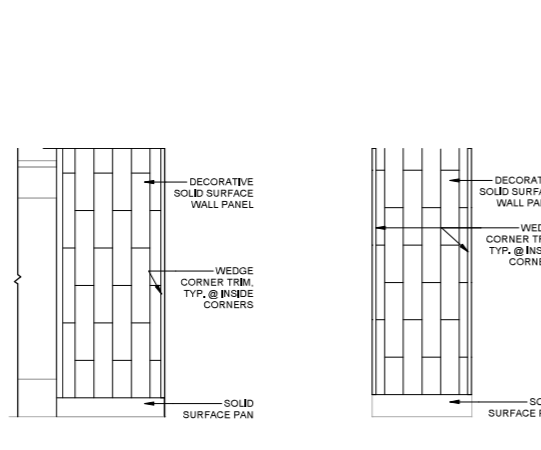
B4 COVE LIGHT DETAIL AT SOFFIT
 1 1/2" = 1'-0"



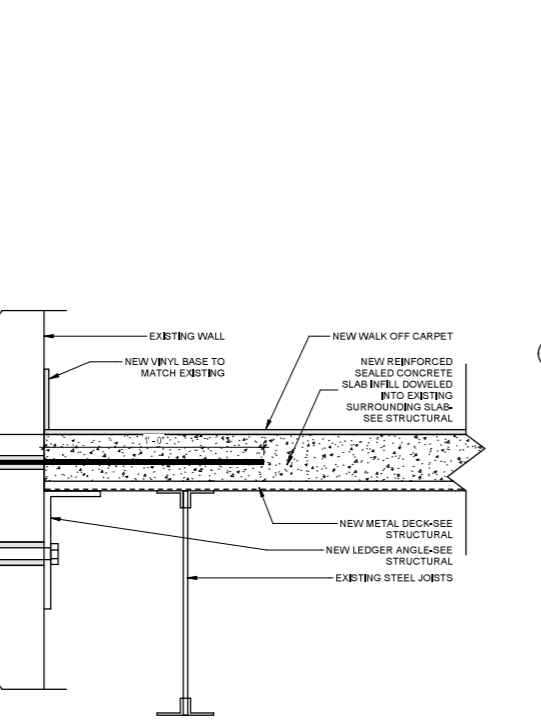
A3 SLAB INFILL DETAIL @ VESTIBULE
 1 1/2" = 1'-0"



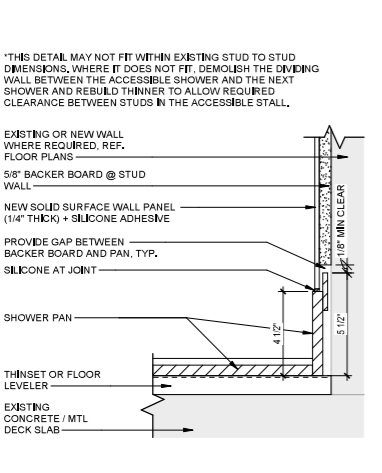
E5 ACCESSIBLE SHOWER ELEVATION LEFT WALL
 1/2" = 1'-0"



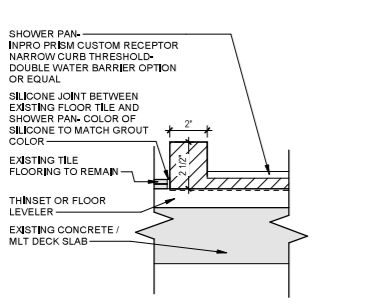
D5 SHOWER ELEVATION LEFT WALL
 1/2" = 1'-0"



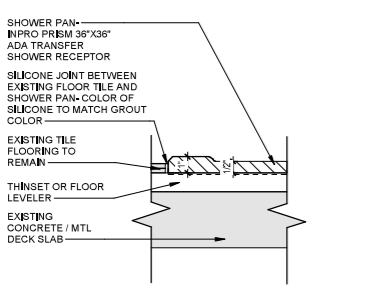
A4 SLAB INFILL DETAIL
 3" = 1'-0"



E6 DETAIL @ SHOWER BASE TO WALL
 3" = 1'-0"



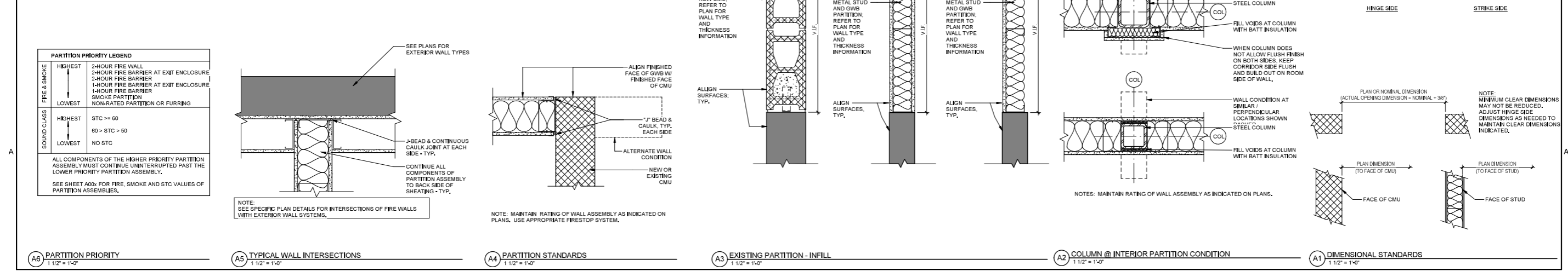
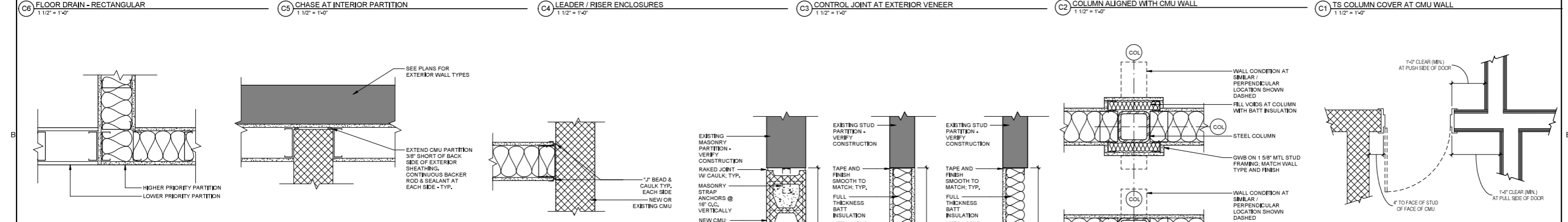
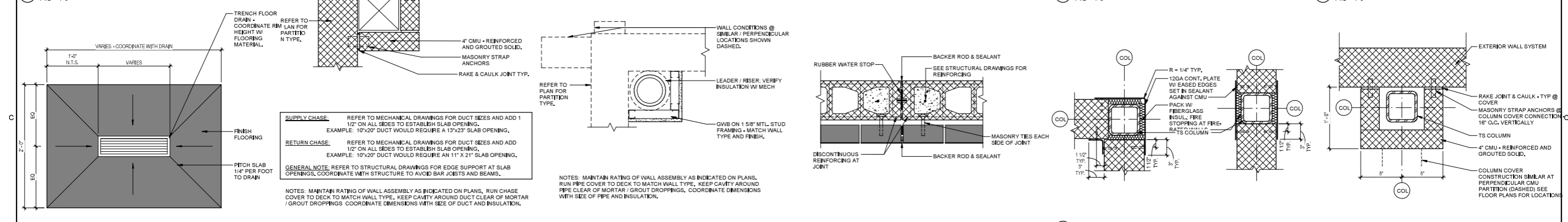
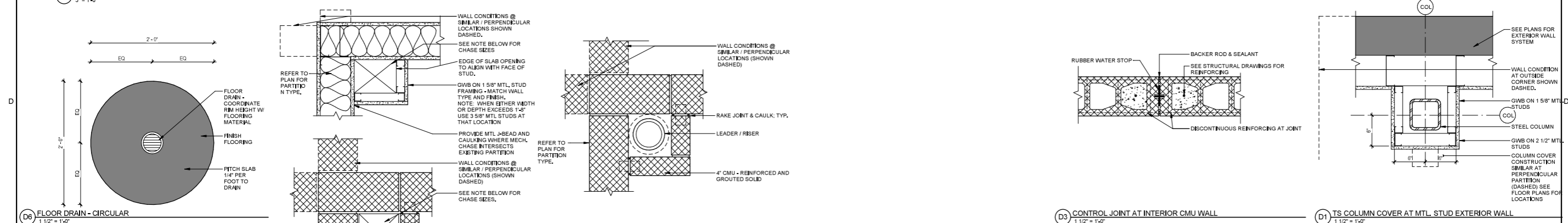
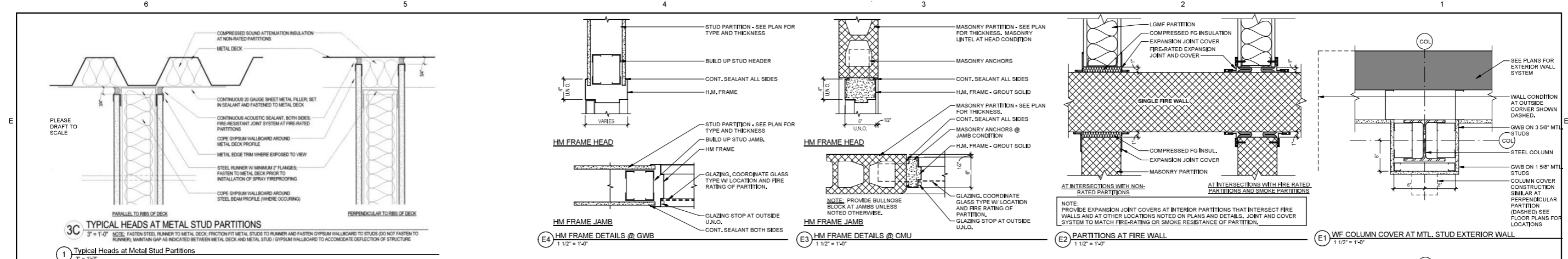
D6 DETAIL @ STANDARD SHOWER THRESHOLD
 3" = 1'-0"



B5 DETAIL @ ACCESSIBLE SHOWER THRESHOLD
 3" = 1'-0"

E
D
C
B
A

6 5 4 3 2 1

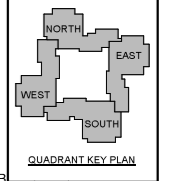


A6 PARTITION PRIORITY 1 1/2" x 1'-0"
A5 TYPICAL WALL INTERSECTIONS 1 1/2" x 1'-0"
A4 PARTITION STANDARDS 1 1/2" x 1'-0"
A3 EXISTING PARTITION - INFILL 1 1/2" x 1'-0"
A2 COLUMN @ INTERIOR PARTITION CONDITION 1 1/2" x 1'-0"
A1 DIMENSIONAL STANDARDS 1 1/2" x 1'-0"



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Revision Schedule		

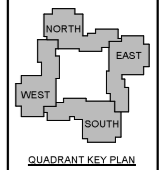
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JOB NO.
 076892

ISSUE
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 11/22/2023

TITLE
 TYPICAL INTERIOR PARTITION DETAILS

SHEET
 A501



No.	Date	Description
Revision Schedule		

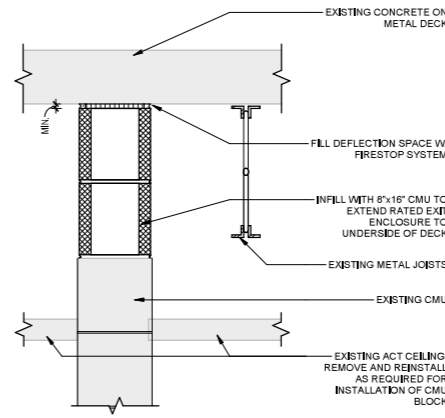
NOT FOR CONSTRUCTION

JOB NO.
078982

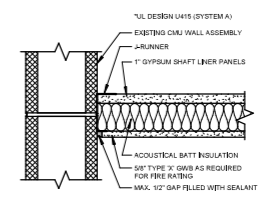
ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 TYPICAL INTERIOR FIRESTOPPING AND SEALING DETAILS

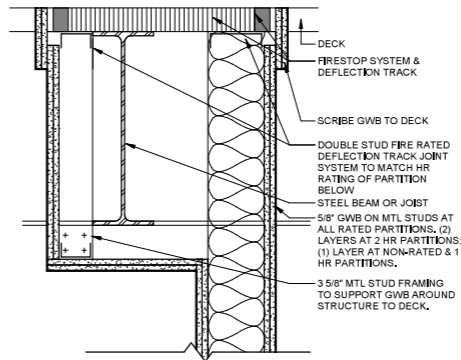
SHEET
A502



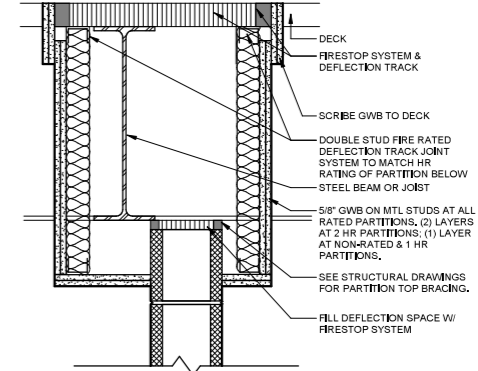
D2 EXTENSION OF CMU WALL FOR FIRE RATING
 1 1/2" = 1'-0"



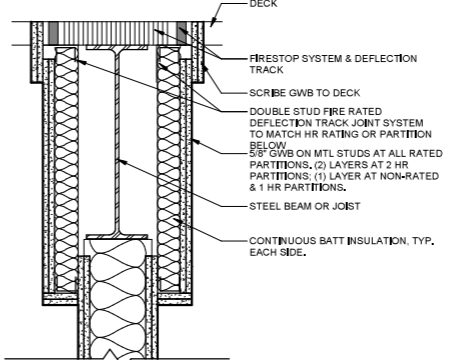
D1 TYPICAL SHAFT WALL TO EXISTING WALL DETAIL
 1 1/2" = 1'-0"



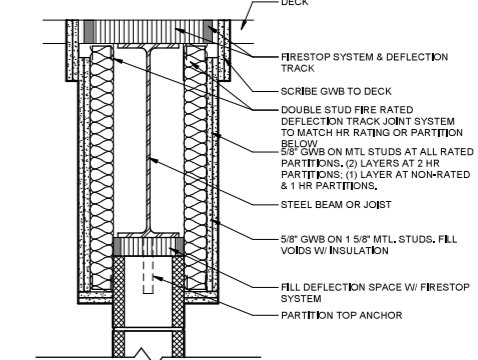
C2 TYPICAL TOP OF WALL DETAIL - FIRE RATED MTL STUD @ OFFSET BEAM
 1 1/2" = 1'-0"



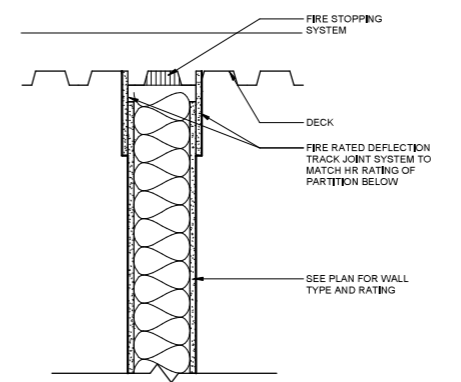
C1 TYPICAL TOP OF WALL DETAIL - FIRE RATED CMU @ OFFSET BEAM
 1 1/2" = 1'-0"



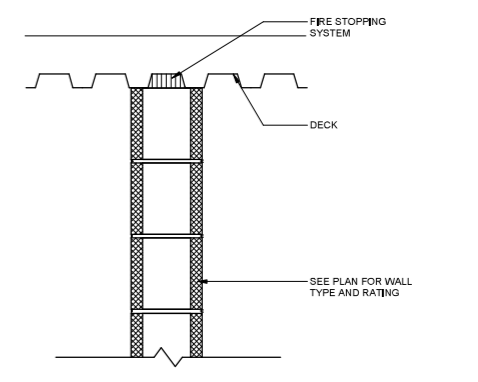
B2 TYPICAL TOP OF WALL DETAIL - FIRE RATED MTL STUD
 1 1/2" = 1'-0"



B1 TYPICAL TOP OF WALL DETAIL - FIRE RATED CMU
 1 1/2" = 1'-0"



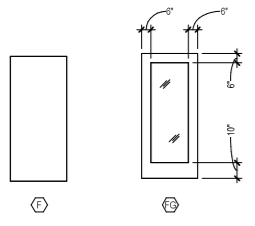
A2 TYPICAL TOP OF WALL DETAIL - PARALLEL TO DECK
 1 1/2" = 1'-0"



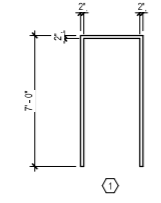
A1 TYPICAL TOP OF CMU WALL DETAIL - PARALLEL TO DECK
 1 1/2" = 1'-0"

DOOR SCHEDULE														
MARK	ROOM NO.	LOCATION	ROOM NAME	OPERATION	DOOR			OPENING			FRAME		RATING	KEYNOTES
					TYPE			WIDTH	HEIGHT	TYPE	MATL	THICK		
138	138	LOBBY	MEETING ROOM	Single-Hinged	S	3'-0"	8'-4"	FG	HM	1-3/4"	ALUM			
1109	1109	CORRIDOR		Double-Hinged	FG-72x84	6'-0"	7'-0"	FG	HM	1-3/4"	ETR		1, 2	
1209	1209	CORRIDOR		Double-Hinged	FG-72x84	6'-0"	7'-0"	FG	HM	1-3/4"	ETR		1, 2	
1211	1211	CORRIDOR		Single-Hinged	FG-36x84	3'-0"	7'-0"	FG	HM	1-3/4"	ETR		1, 2	
1216	1216	CORRIDOR		Single-Hinged	FG-36x84	3'-0"	7'-0"	FG	HM	1-3/4"	ETR		1, 2	
1301	1301	STOR.		Single-Hinged	F-36x84	3'-0"	7'-0"	F	HM	1-3/4"	ETR		1, 2	
1302	1302	CORRIDOR		Double-Hinged	FG-72x84	6'-0"	7'-0"	FG	HM	1-3/4"	ETR		1, 2	
1303A	1303	COMMANDANT LOBBY		Single-Hinged	FG	3'-0"	6'-10"	FG	HM	1-3/4"	ETR		1, 2	
1303B	1303	COMMANDANT LOBBY		Single-Hinged	FG	3'-0"	6'-10"	FG	HM	1-3/4"	ETR		1, 2	
1314	1314	ADA TOILET		Single-Hinged	F-36x84	3'-0"	7'-0"	F	WD	1-3/4"	ETR		1	
1316	1316	QUARTER DECK		Single-Hinged	S	3'-0"	7'-3"	S	ALUM	1-3/4"	ALUM		3	
1317	1317	VEST.		Single-Hinged	S2	3'-0"	7'-3"	S2	ALUM	1-3/4"	ALUM			
1401	1401	CORRIDOR		Single-Hinged	F-36x84	3'-0"	7'-0"	F	HM	1-3/4"	ETR		1, 2	
1418	1418	LOBBY		Double-Hinged	FG-72x84	6'-0"	7'-0"	FG	HM	1-3/4"	ETR		1, 2	
1426	1426	CORRIDOR		Single-Hinged	FG	3'-0"	7'-2"	FG	HM	1-3/4"	ETR		1, 2	
1434	1434	WORK		Single-Hinged	F-36x84	3'-0"	7'-0"	F	HM	1-3/4"	ETR		1, 2	
B101A	B101	ELECTRICAL ROOM		Double-Hinged	F-72x84	6'-0"	7'-0"	F	HM	1-3/4"	ETR		1	
B101B	B102	OPEN STORAGE		Single-Hinged	F-36x84	3'-0"	7'-0"	F	HM	1-3/4"	ETR		1	
G114	G114	ELECTRICAL		Double-Hinged	F-72x84	6'-0"	7'-0"	F	HM	1-3/4"	ETR		1	
S5,1	5	STAIR		Double-Hinged	FG-72x84	6'-0"	7'-0"	FG	HM	1-3/4"	ETR		1, 2	
S6,1	6	STAIR		Single-Hinged	FG-36x84	3'-0"	7'-0"	FG	HM	1-3/4"	ETR		1, 2	
S8,1	9	STAIR		Double-Hinged	FG-72x84	6'-0"	7'-0"	FG	HM	1-3/4"	ETR		1, 2	

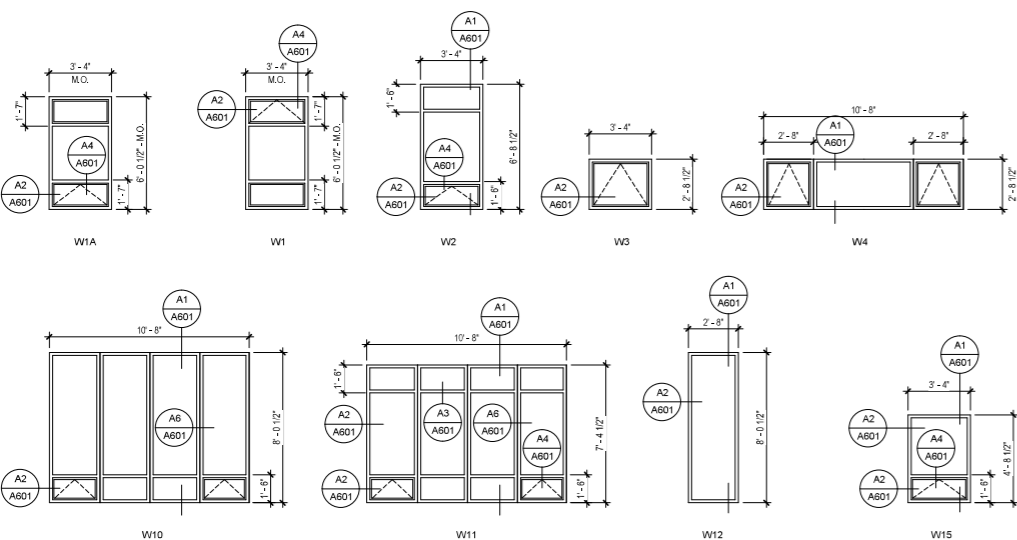
- DOOR KEYNOTES:
1. ALL EXISTING DOOR FRAMES ON EXTERIOR WHICH ARE TO REMAIN SHALL BE PREPPED, PRIMED AND PAINTED.
 2. DOORS AT COURTYARD SHALL BE PART OF ALTERNATE #4.
 3. PROVIDE CARD READER



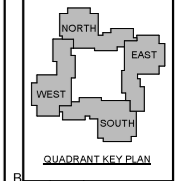
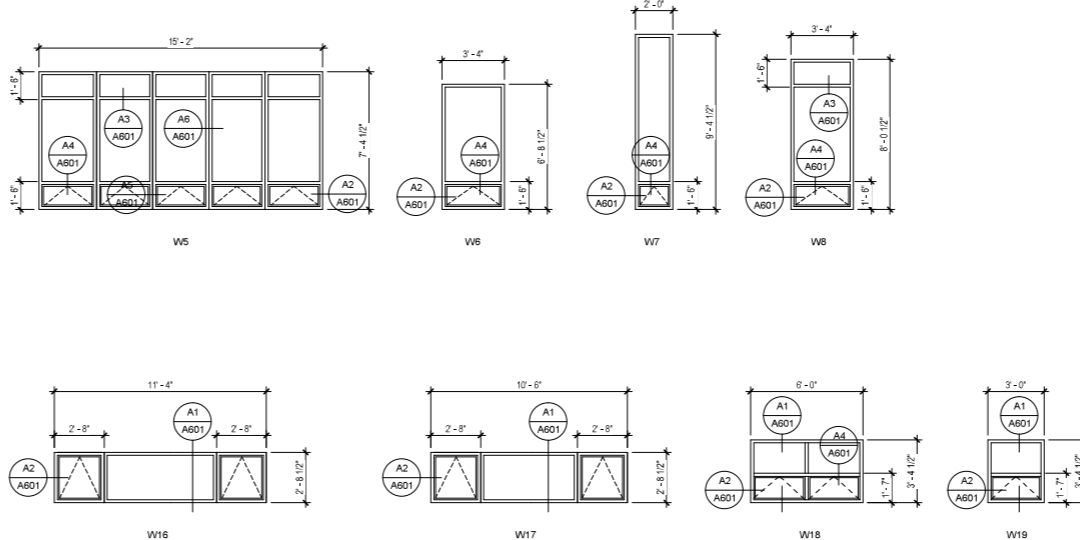
DOOR ELEVATION LEGEND
1/4" = 1'-0"



DOOR FRAME LEGEND
1/4" = 1'-0"



WINDOW ELEVATIONS
1/4" = 1'-0"



QUADRANT KEY PLAN

No.	Date	Description	Revision Schedule
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JOB NO.
076982

100% DESIGN
DEVELOPMENT

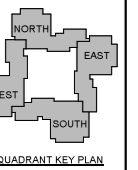
ISSUE
06/30/2023

TITLE
DOOR, WINDOW,
STOREFRONT
SCHEDULES &
TYPES

SHEET
A600

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No.	Date	Description
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076982

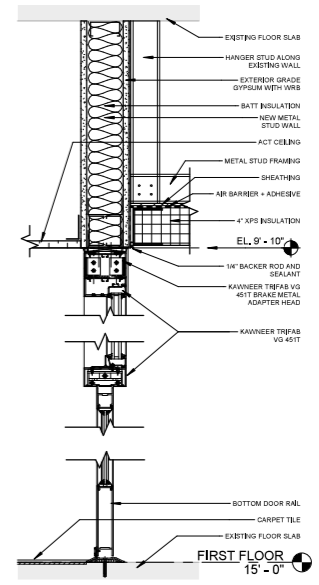
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 11/22/2023

TITLE
 DOOR, WINDOW, STOREFRONT DETAILS

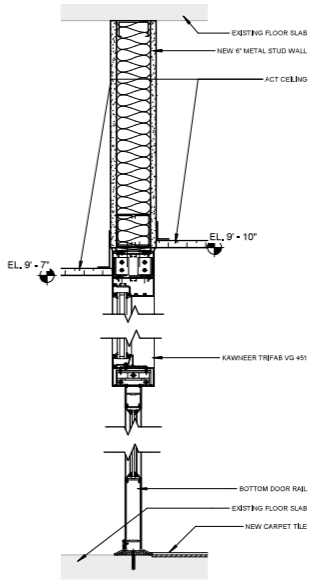
SHEET
A601

STOREFRONT

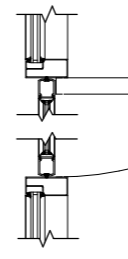
WINDOWS



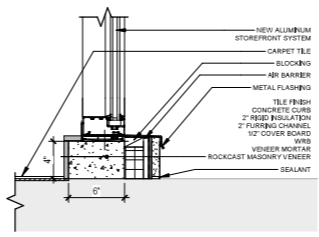
C1 STOREFRONT EXTERIOR HEAD DETAIL
1 1/2" = 1'-0"



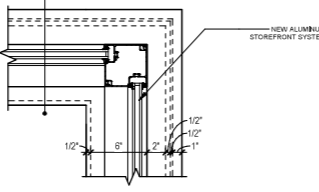
C2 STOREFRONT INTERIOR HEAD DETAIL
1 1/2" = 1'-0"



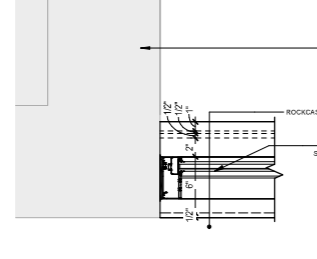
C3 INTERIOR STOREFRONT DOOR JAMB
1 1/2" = 1'-0"



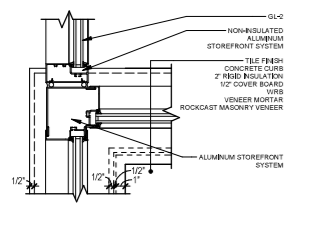
C4 STOREFRONT CURTAIN WALL ON GRADE DETAIL
1 1/2" = 1'-0"



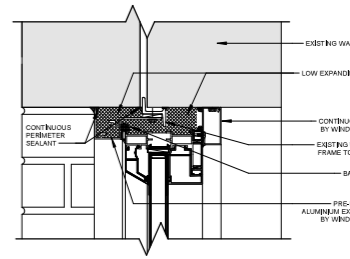
C5 STOREFRONT CORNER PLAN DETAIL
1 1/2" = 1'-0"



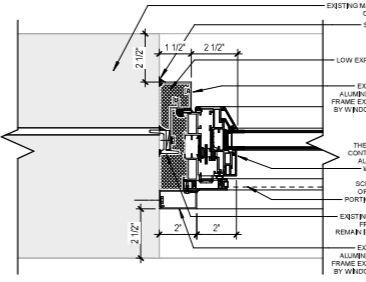
C6 STOREFRONT JAMB @ EXISTING WALL
1 1/2" = 1'-0"



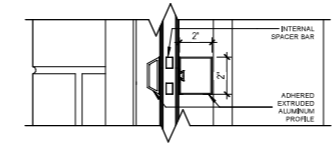
C7 STOREFRONT CORNER POST DETAIL
1 1/2" = 1'-0"



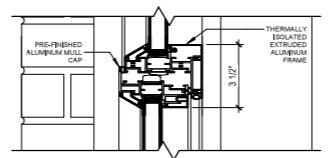
A1 FRAME TO REMAIN WINDOW HEAD AND SILL DETAIL
3" = 1'-0"



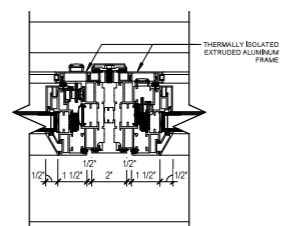
A2 FRAME TO REMAIN JAMB DETAIL
3" = 1'-0"



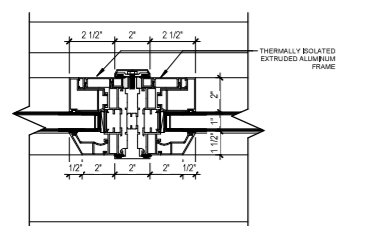
A3 TRANSITION SECTION DETAIL @ UNOPERABLE WINDOW
3" = 1'-0"



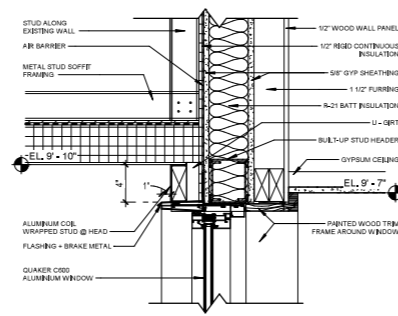
A4 TRANSITION SECTION DETAIL @ OPERABLE WINDOW
3" = 1'-0"



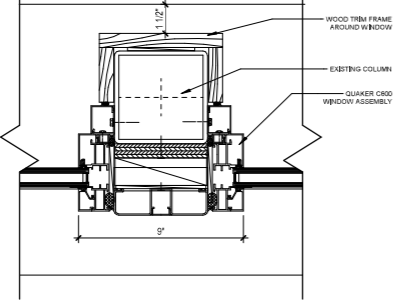
A5 TRANSITION PLAN DETAIL @ OPERABLE WINDOW
3" = 1'-0"



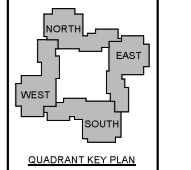
A6 TRANSITION PLAN DETAIL @ UNOPERABLE WINDOWS
3" = 1'-0"



B1 NEW LOBBY WINDOWS SILL AND HEAD DETAIL
1 1/2" = 1'-0"



B2 NEW LOBBY WINDOWS JAMB DETAIL
3" = 1'-0"



No.	Date	Description
Revision Schedule		

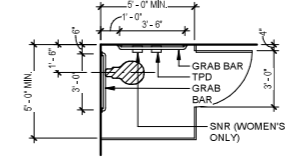
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JOB NO.
078982

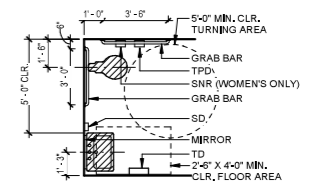
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TITLE
TYPICAL CASEWORK DETAILS

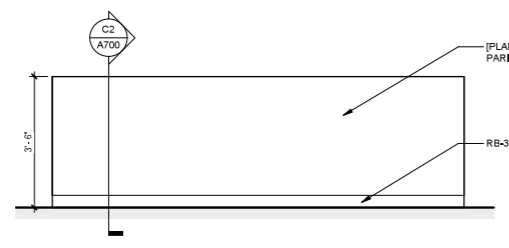
SHEET
A700



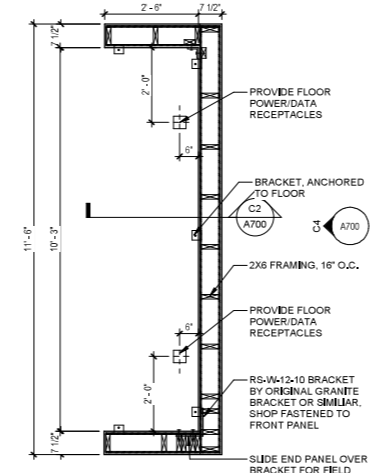
D2 TYPICAL BARRIER FREE SINGLE TOILET STALL PLAN
1/4" = 1'-0"



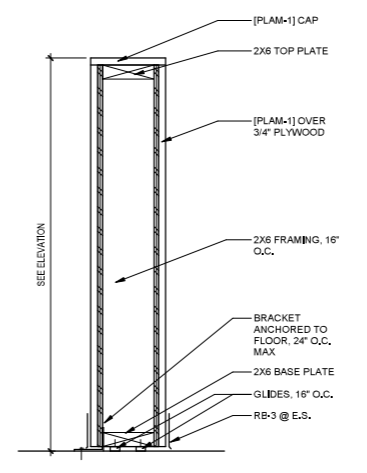
D1 TYPICAL BARRIER FREE SINGLE TOILET ROOM PLAN
1/4" = 1'-0"



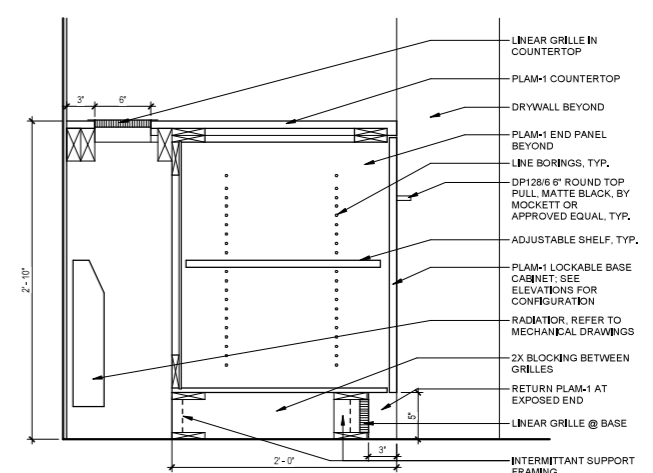
C4 LOBBY MOVEABLE PARTITION - ELEVATION
1/2" = 1'-0"



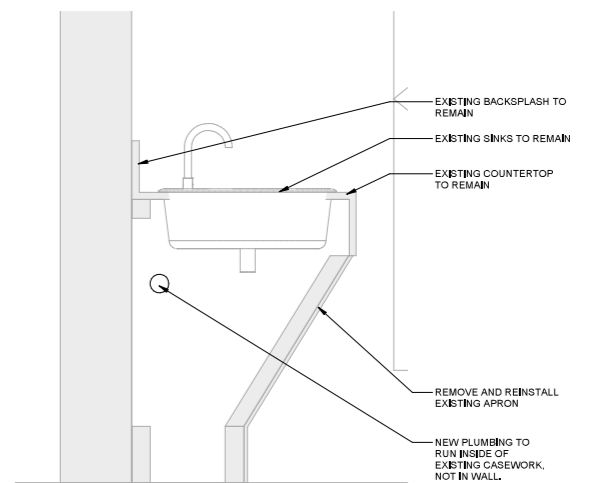
C3 ENLARGED PLAN-LOBBY MOVEABLE PARTITION
1/2" = 1'-0"



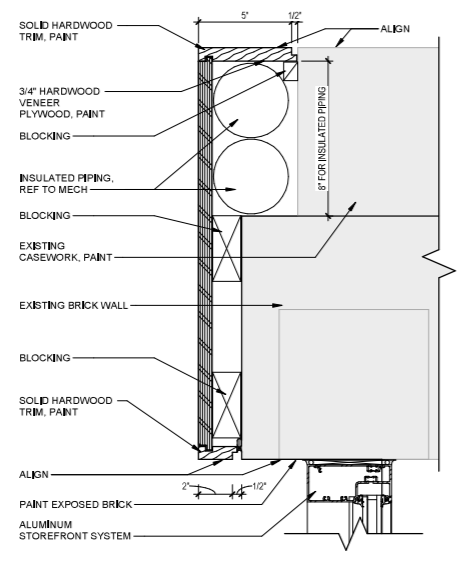
C2 LOBBY MOVEABLE PARTITION SECTION DETAIL
1 1/2" = 1'-0"



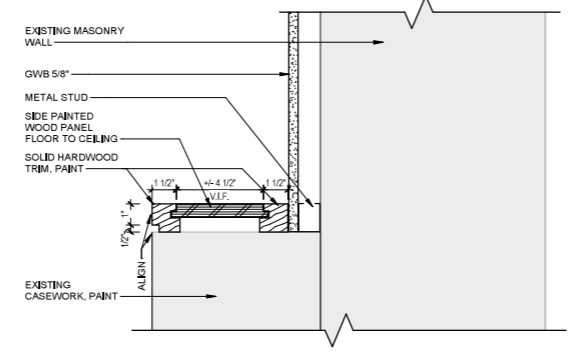
C1 BASE CABINET SECTION
1 1/2" = 1'-0"



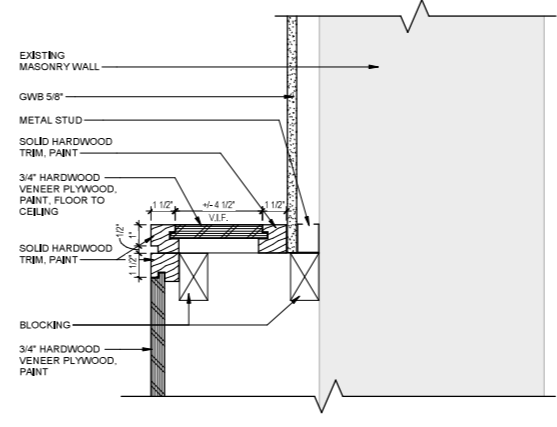
B1 TYPICAL DEMO DETAIL AT SINK VANITY - COMMUNAL BATHROOMS ONLY
1 1/2" = 1'-0"



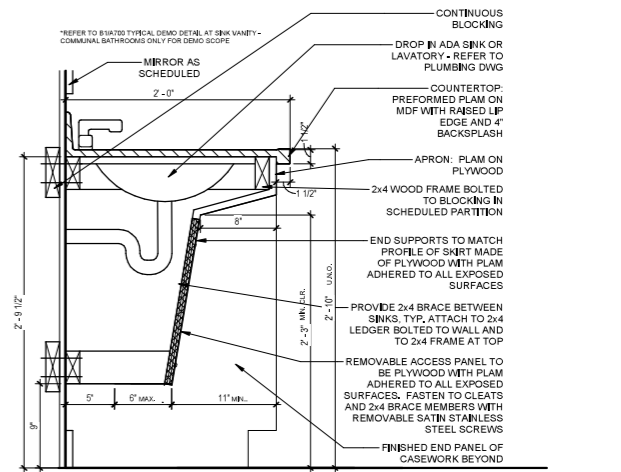
A4 TRIM PLAN DETAIL @ QUARTER DECK
3" = 1'-0"



A3 TRIM PLAN DETAIL @ LOBBY CASEWORK, LOWER LOCATION
3" = 1'-0"



A2 TRIM PLAN DETAIL @ LOBBY CASEWORK, UPPER LOCATION
3" = 1'-0"



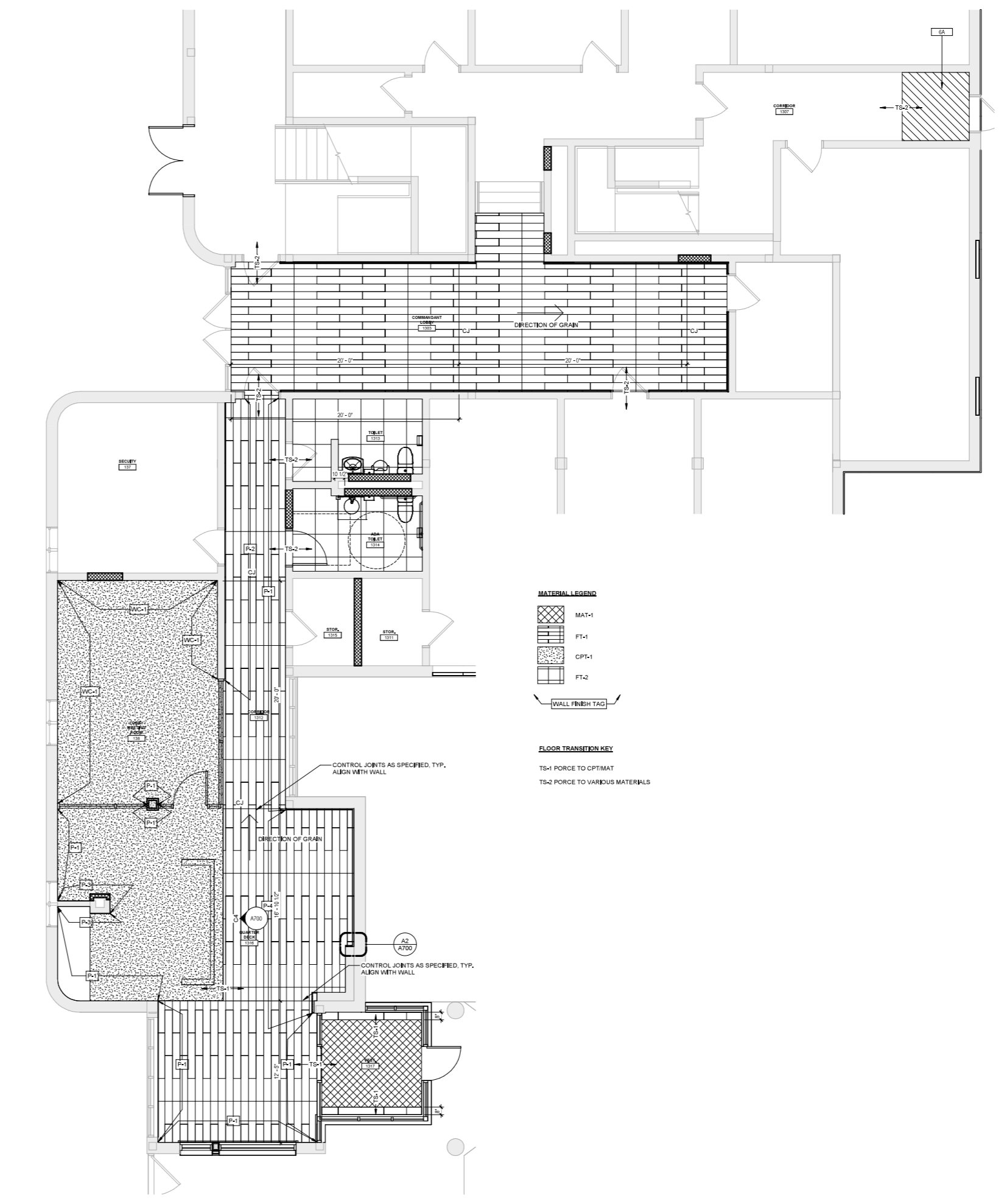
A1 ACCESSIBLE SINK DETAIL
1 1/2" = 1'-0"

- FINISH GENERAL NOTES**
- REFER TO FINISH PLAN AND SCHEDULE FOR ACCENT PAINT AT LOBBY
 - REFER TO FINISH PLANS FOR FLOOR MATERIAL TRANSITIONS AND FOR FLOOR PATTERN PLANS.
 - TILE MEMBRANE USED IN CONJUNCTION WITH FLOOR TILE (FT-1, FT-1). INSTALL. REFER TO SPECIFICATIONS
 - PROVIDE FLOOR/WALL TRANSITION TRIM BETWEEN FLOOR AND WALL TILE. REFER TO SPECIFICATIONS
 - [P-] INDICATES ACCENT WALL COLORS
 - REFER TO RCP FOR ACCENT PAINT COLORS
 - REFER TO FINISH PLANS FOR WALL FINISHES.

NUMBER	ROOM NAME	FLOOR	BASE MATL	WALLS				NOTES	Department
				N	S	E	W		
1314	ADA TOILET	FT-2	WT-2	WT-1	P-5	P-5	P-5		FINISHES
1313	TOILET	FT-2	WT-2	WT-1, P-5	WT-1, P-5	WT-1, P-5	WT-1, P-5		FINISHES
1316	QUARTER DECK	FT-1, CPT-1	RB-1	P-1, P-2	P-1	P-1, P-4	P-1, P-3	SEE FINISH PLAN	FINISHES
1312	CORRIDOR	FT-1	RB-1	P-1, P-2	-	P-1	P-2	SEE FINISH PLAN	FINISHES
212	BDRM	-	RB-2	P-8	P-8	P-8	P-8		FINISHES
200.11	BATH	-	RB-2	P-8	P-8	P-8	P-8		FINISHES
1317	VEST.	MAT-1, FT-1	RB-1	P-1	P-1	P-1	P-1	SEE FINISH PLAN	FINISHES
138	LOBBY MEETING ROOM	CPT-2	RB-1	WC-1	P-1	WC-1	WC-1	SEE FINISH PLAN	FINISHES

TAG	DESCRIPTION	MANUFACTURER	MODEL	COLOR/PATTERN	NOTES
PLAM-1	PLASTIC LAMINATE	ARBORITE	STANDARD HPL FINISH	WEATHERED ARCADIAN OAK	
WT-1	WALL TILE	NEMO TILE	METRO 2" X 8"	WHITE GLOSSY	
WT-2	WALL TILE	NEMO TILE	METRO COVE BASE 4" X 12"	WHITE GLOSSY	
WC-1	WALL COVERING	WOLF GORDON	RIDGE LINE	SAND	USE WOLF GORDON RAMPART STRONGHOLD ON CMU BLOCK WALL
FT-1	FLOOR TILE	NEMO TILE	BAROQUE 8" X 48"	NOGAL	
FT-2	FLOOR TILE	NEMO TILE	ROCCO 24"X24"	LIGHT MEDIUM-MATTE	
CPT-1	CARPET TILE	INTERFACE	NET EFFECT	NORTH SEA	
MAT-1	WALK OFF MAT	INTERFACE	STEP REPEAT	SR899 MIDNIGHT	
P-1	PAINT	BENJAMIN MOORE	EGGHELL	CLASSIC GRAY 1548	
P-2	PAINT	BENJAMIN MOORE	EGGHELL	NORMANDY 2129-40	
P-3	PAINT	BENJAMIN MOORE	EGGHELL	NEW HOPE GRAY 2130-50	
P-4	PAINT	BENJAMIN MOORE	EGGHELL	MARBLEHEAD GOLD HC11	
P-5	PAINT	BENJAMIN MOORE	SEMIGLOSS	CHANTILLY LACE	
P-6	PAINT	BENJAMIN MOORE	EGGHELL	-	MATCH EXISTING PAINT-ARCHITECT TO SELECT COLOR
P-7	PAINT	BENJAMIN MOORE	FLAT	CEILING WHITE	
P-8	PAINT	SHERWIN WILLIAMS	EGGSHELL- PRO MAR 200	CROCKERY WHITE	EXISTING PAINT COLOR PROVIDED BY OWNER
P-9	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC COATING	GLOSS BLACK	EXISTING PAINT COLOR PROVIDED BY OWNER
P-10	PAINT	SHERWIN WILLIAMS	FLAT	CEILING WHITE	EXISTING PAINT COLOR PROVIDED BY OWNER
RB-1	RESILIENT BASE	JOHNSONITE	4" BASE	GREY HAZE	
RB-2	RESILIENT BASE	JOHNSONITE	4" BASE	VAPOR GREY	
RB-3	RESILIENT BASE	JOHNSONITE	4" BASE	BEIGE WB	
G-1	GROUT	LATICRETE	PERMACOLOR GROUT	-	ARCHITECT TO SELECT COLOR
G-2	GROUT	LATICRETE	PERMACOLOR GROUT	-	ARCHITECT TO SELECT COLOR
G-3	GROUT	LATICRETE	PERMACOLOR GROUT	-	ARCHITECT TO SELECT COLOR
WP-1	TACKABLE SURFACE	CARNEGIE	XOREL	METEOR 6427	
WB-1	WHITE BOARD	CLARIDGE	GLASS WALL MOUNTED	TBD	ARCHITECT TO SELECT COLOR
C-1	ACOUSTIC CEILING TILE	ARMSTRONG	CALLA	CALLA SQUARE LAY-IN #2821 2' x 4', 15/16" GRID	
TS-1	FLOOR TRANSITION	SCHLUTER	SCHIENE		
TS-2	FLOOR TRANSITION	CORIAN	SOLID SURFACE	SILVER GREY	
CJ	FLOOR CONTROL JOINT	SCHLUTER	DILEX-BWS	STAINLESS	

DESCRIPTION	MANUFACTURER	MODEL	COLOR/PATTERN
GROMMETS	MOCKETT	MFG1/B	NICKEL (17)
CABINET PULLS	MOCKETT	DP1286 - 6-11/16"	MATTE BLACK



A1 ENLARGED FINISH PLAN- LOBBY
1/4" = 1'-0"

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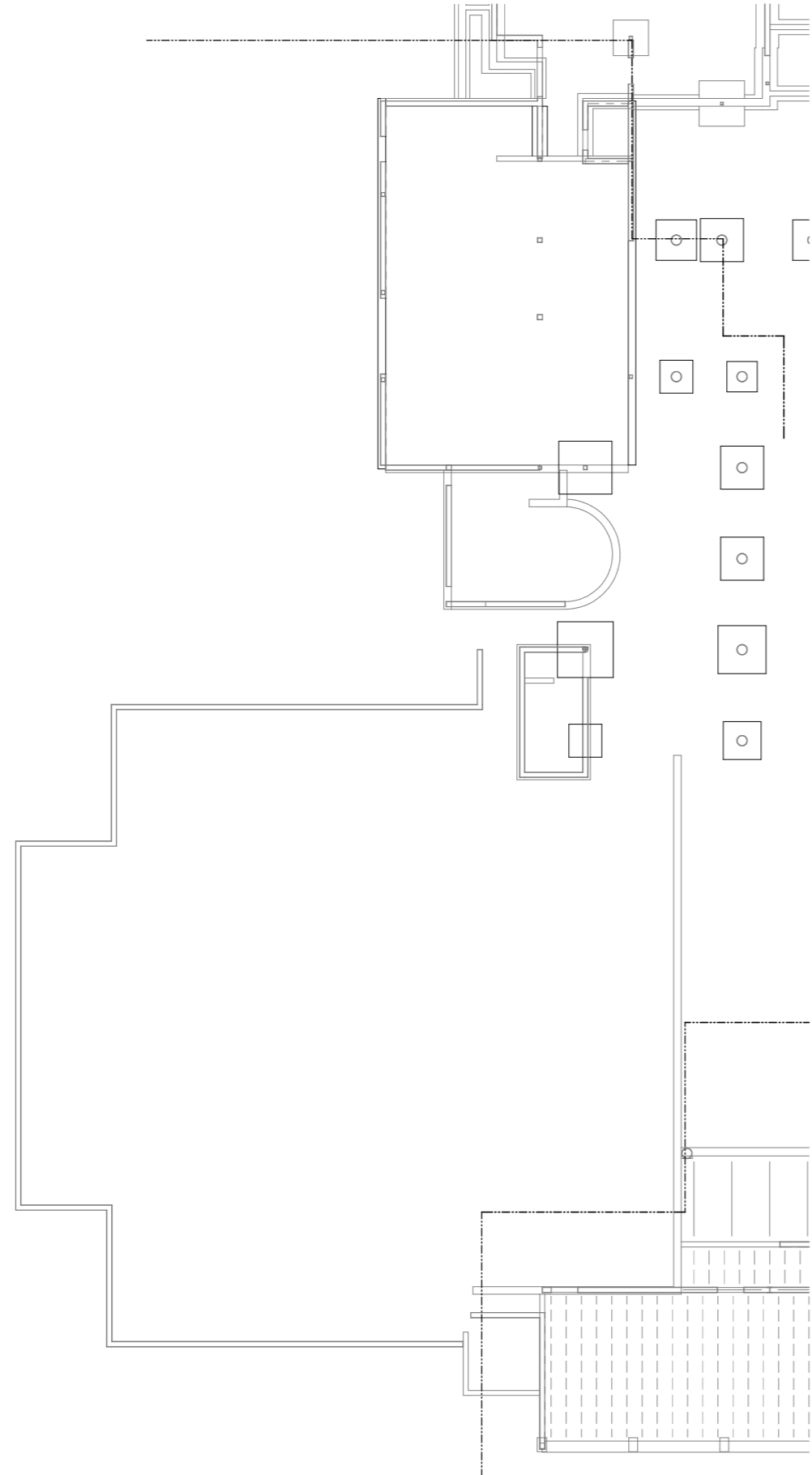
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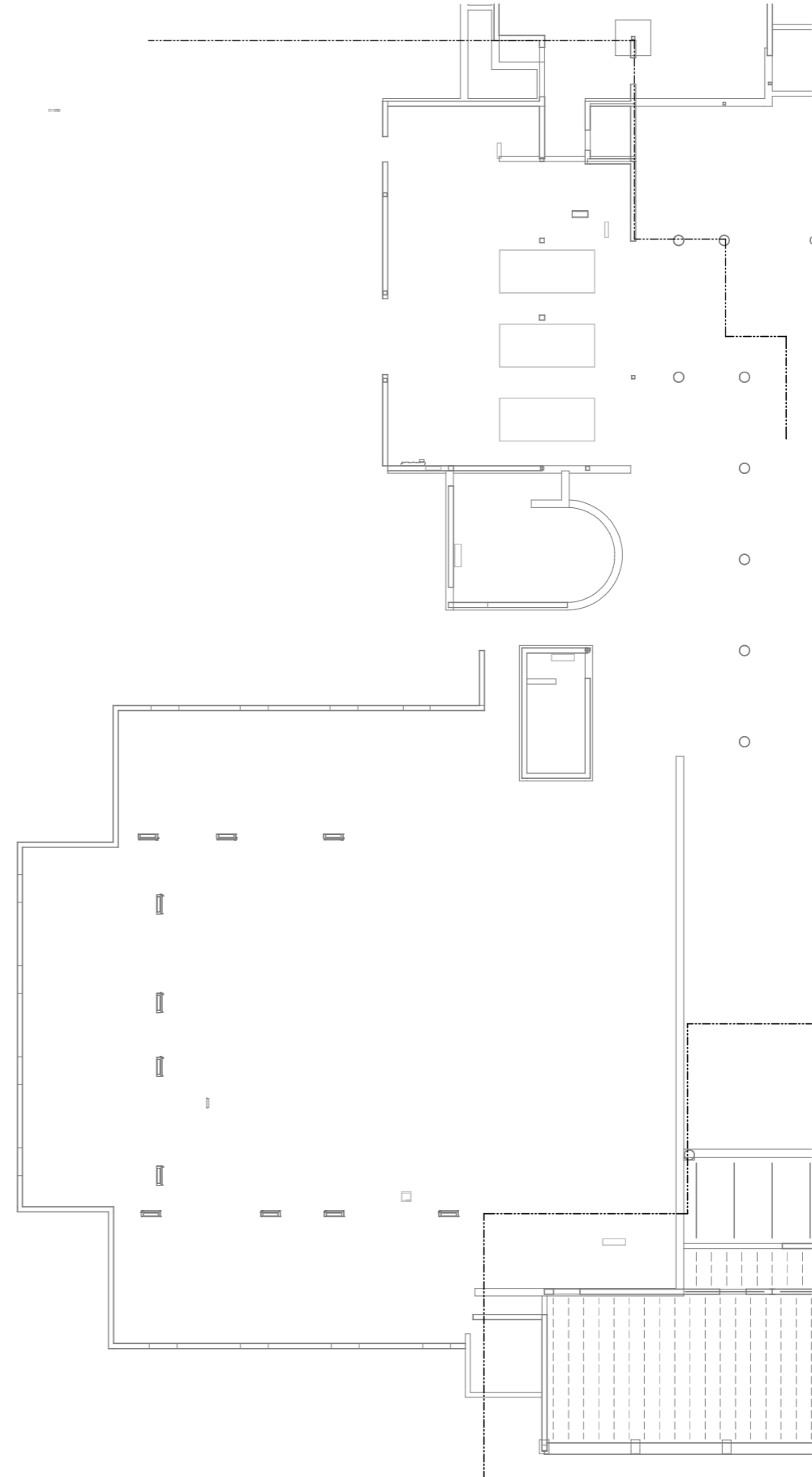
A

- LEGEND**
- EXISTING STRUCTURAL ELEMENTS
 - NEW STRUCTURAL ELEMENTS



- LEGEND**
- EXISTING STRUCTURAL ELEMENTS
 - NEW STRUCTURAL ELEMENTS

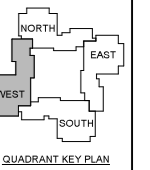
- LEGEND**
- FLOOR JOIST
 - STRUCTURAL MEMBER



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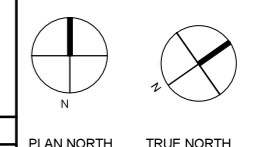
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TITLE
PHASE 1 FIRST FLOOR STRUCTURAL PLANS

SHEET
S101.1



A6 PHASE 1 FIRST FLOOR STRUCTURAL DEMO PLAN
1/8" = 1'-0"

A3 PHASE 1 FIRST FLOOR STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

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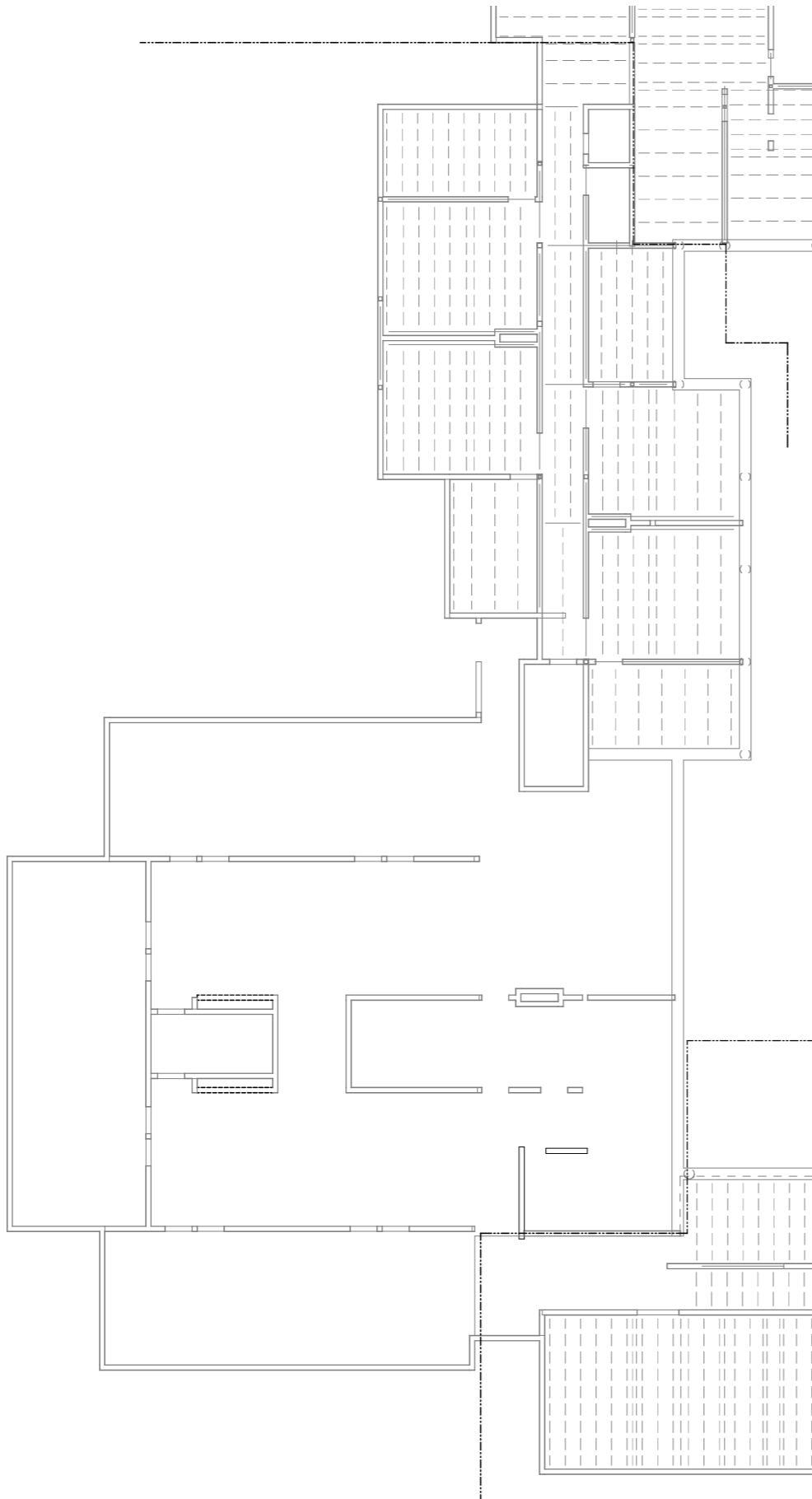
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6 5 4 3 2 1

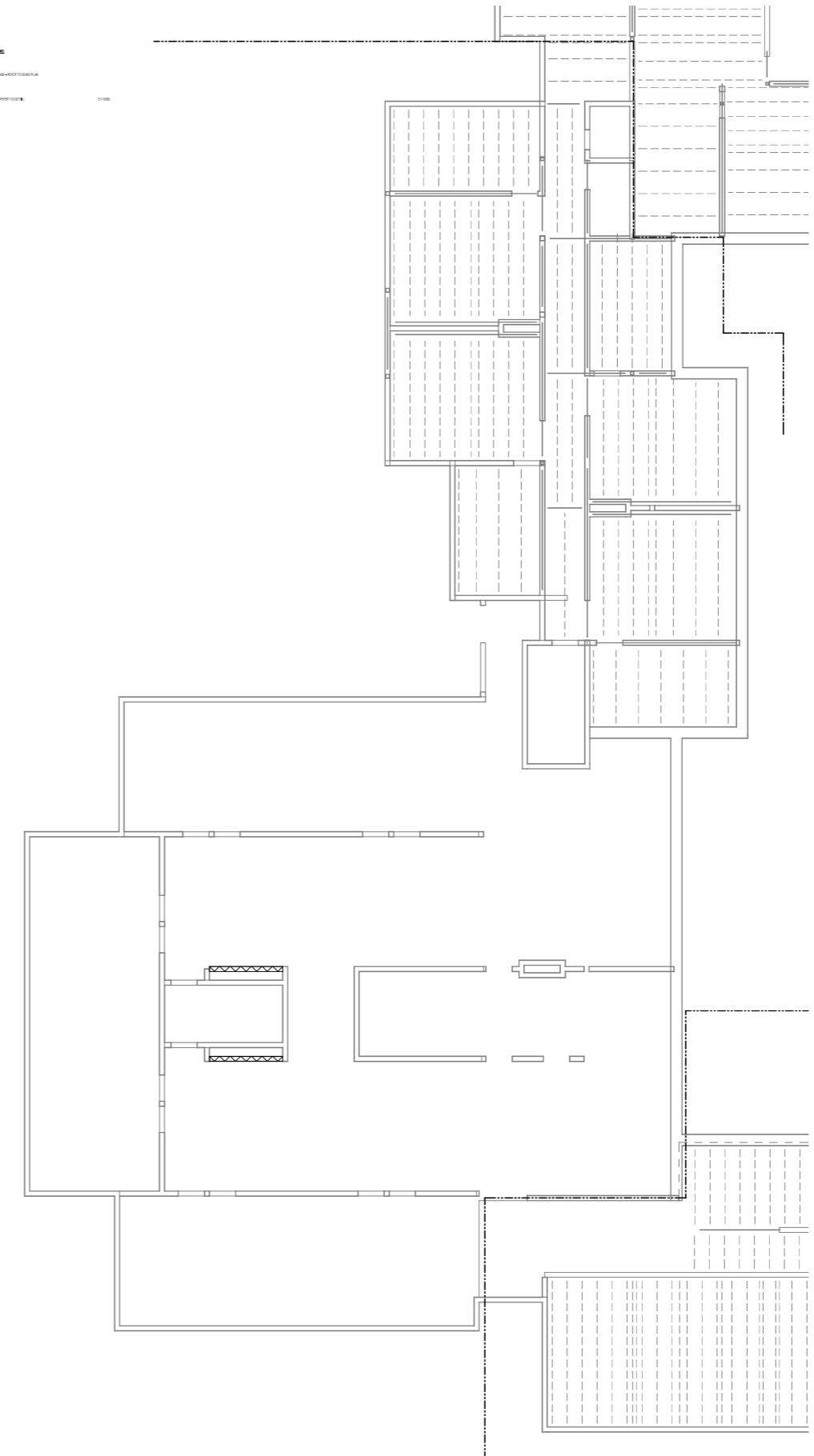
E D C B A

- LEGEND**
- EXISTING WALLS
 - EXISTING WALLS TO REMAIN



- LEGEND**
- EXISTING STRUCTURAL
 - EXISTING WALLS TO REMAIN
 - EXISTING WALLS

- LEGEND**
- FLOOR JOIST ENCLAVED TO BE REMOVED
 - FLOOR JOIST TO REMAIN

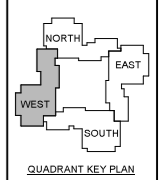


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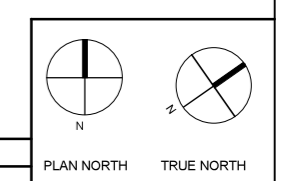
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TITLE
PHASE 1 SECOND FLOOR STRUCTURAL PLANS

SHEET
S101.2



A6 PHASE 1 SECOND FLOOR STRUCTURAL DEMO PLAN
1/8" = 1'-0"

A3 PHASE 1 SECOND FLOOR STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

6 5 4 3 2 1

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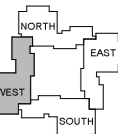
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QUADRANT KEY PLAN

No.	Date	Description
Revision Schedule		

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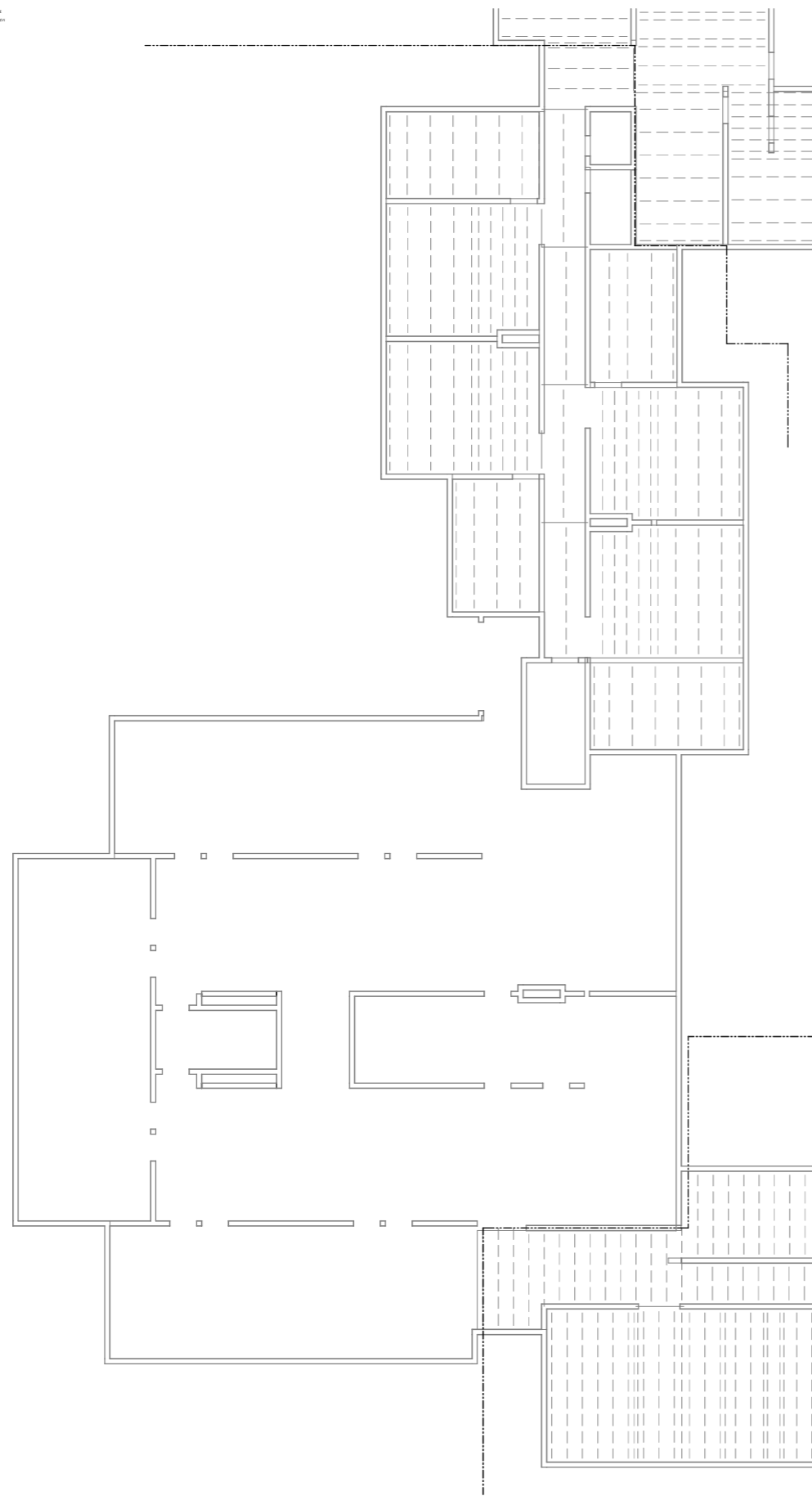
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TITLE
PHASE 1 THIRD FLOOR STRUCTURAL PLANS

SHEET
S101.3

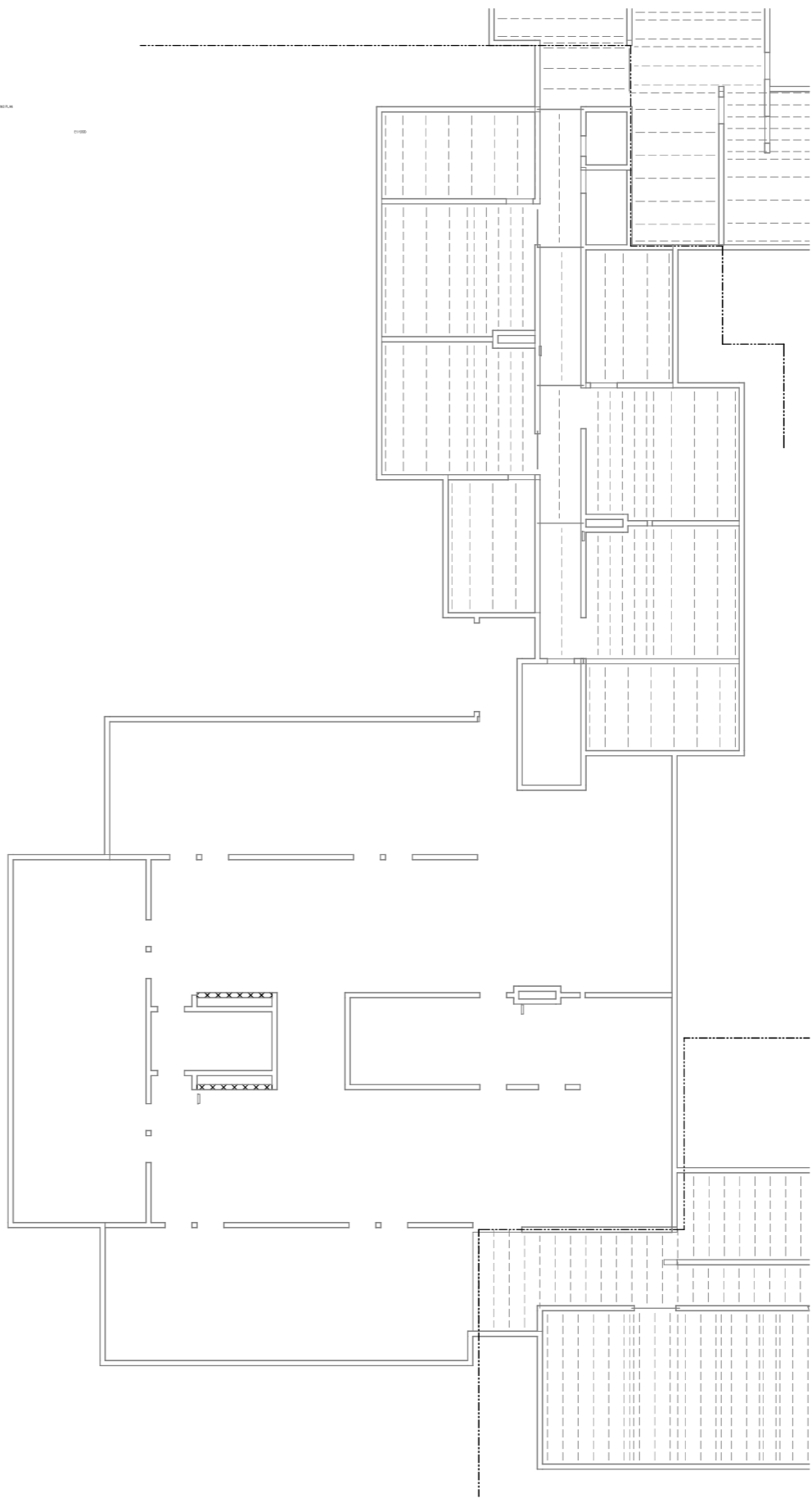
- EXISTING STRUCTURAL ELEMENTS
- NEW STRUCTURAL ELEMENTS



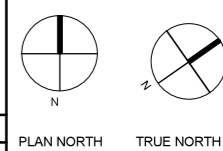
A6 PHASE 1 THIRD FLOOR STRUCTURAL DEMO PLAN
1/8" = 1'-0"

- EXISTING STRUCTURAL ELEMENTS
- NEW STRUCTURAL ELEMENTS
- MECHANICAL SYSTEMS

- MECHANICAL SYSTEMS
- MECHANICAL SYSTEMS



A3 PHASE 1 THIRD FLOOR STRUCTURAL FRAMING PLAN
1/8" = 1'-0"



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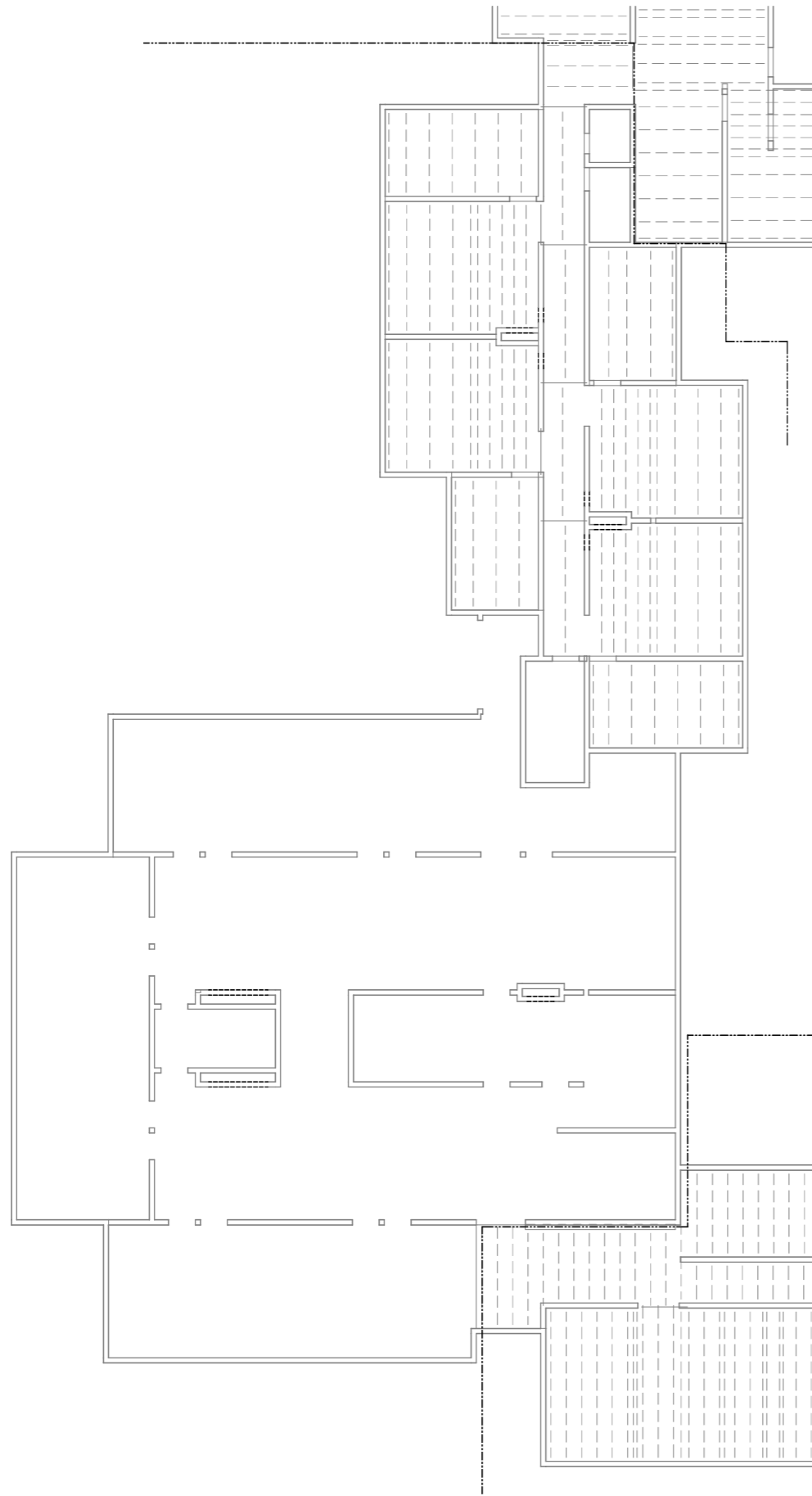
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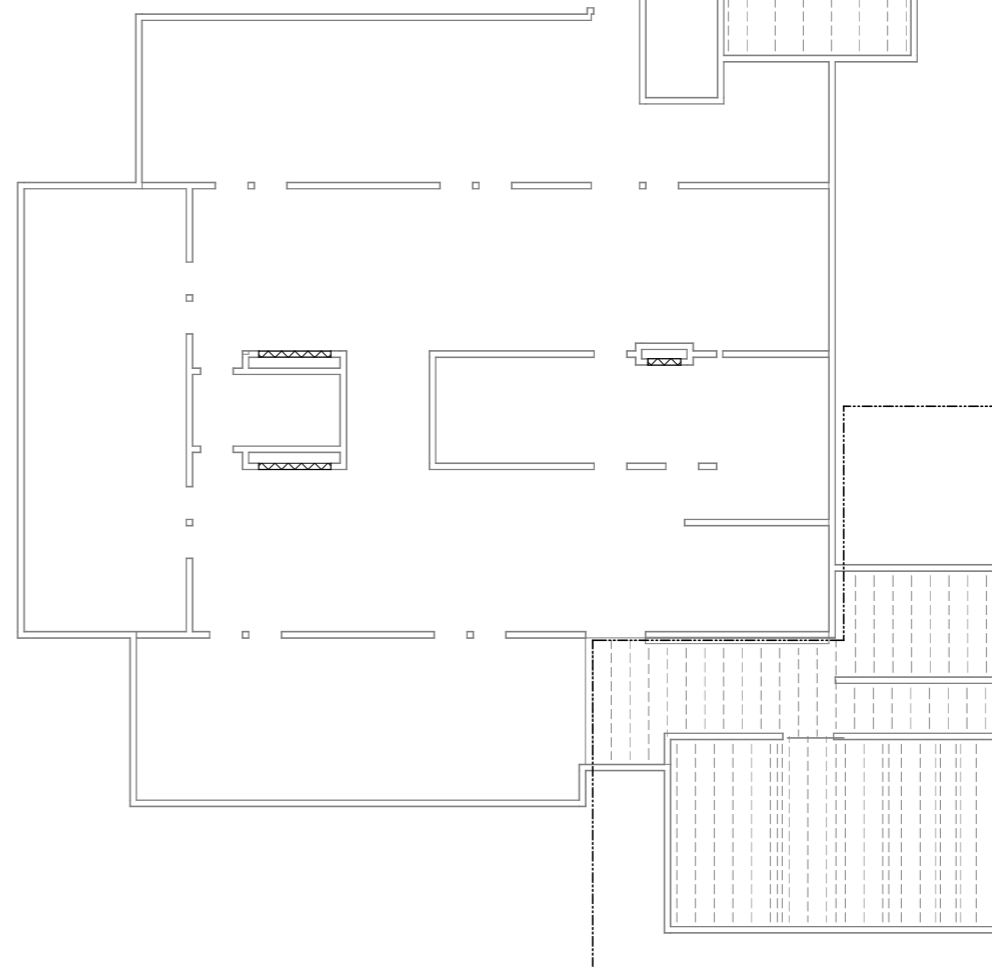
- LEGEND**
- EXISTING STRUCTURAL ELEMENTS
 - NEW STRUCTURAL ELEMENTS



- LEGEND**
- EXISTING STRUCTURAL ELEMENTS
 - NEW STRUCTURAL ELEMENTS
 - EXISTING MECHANICAL/ELECTRICAL/PLUMBING
 - NEW MECHANICAL/ELECTRICAL/PLUMBING

- LEGEND**
- FLOOR OPENING ENCLOSURE
 - STRUCTURAL STEEL JOIST

1/8" = 1'-0"



A6

PHASE 1 FOURTH FLOOR STRUCTURAL FRAMING PLAN

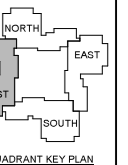
1/8" = 1'-0"



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QUADRANT KEY PLAN

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Revision Schedule		

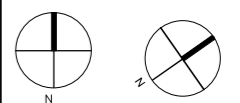
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TITLE
PHASE 1 FOURTH FLOOR STRUCTURAL PLANS

SHEET
S101.4



PLAN NORTH TRUE NORTH

A3

PHASE 1 FOURTH FLOOR STRUCTURAL DEMO PLAN

1/8" = 1'-0"

6

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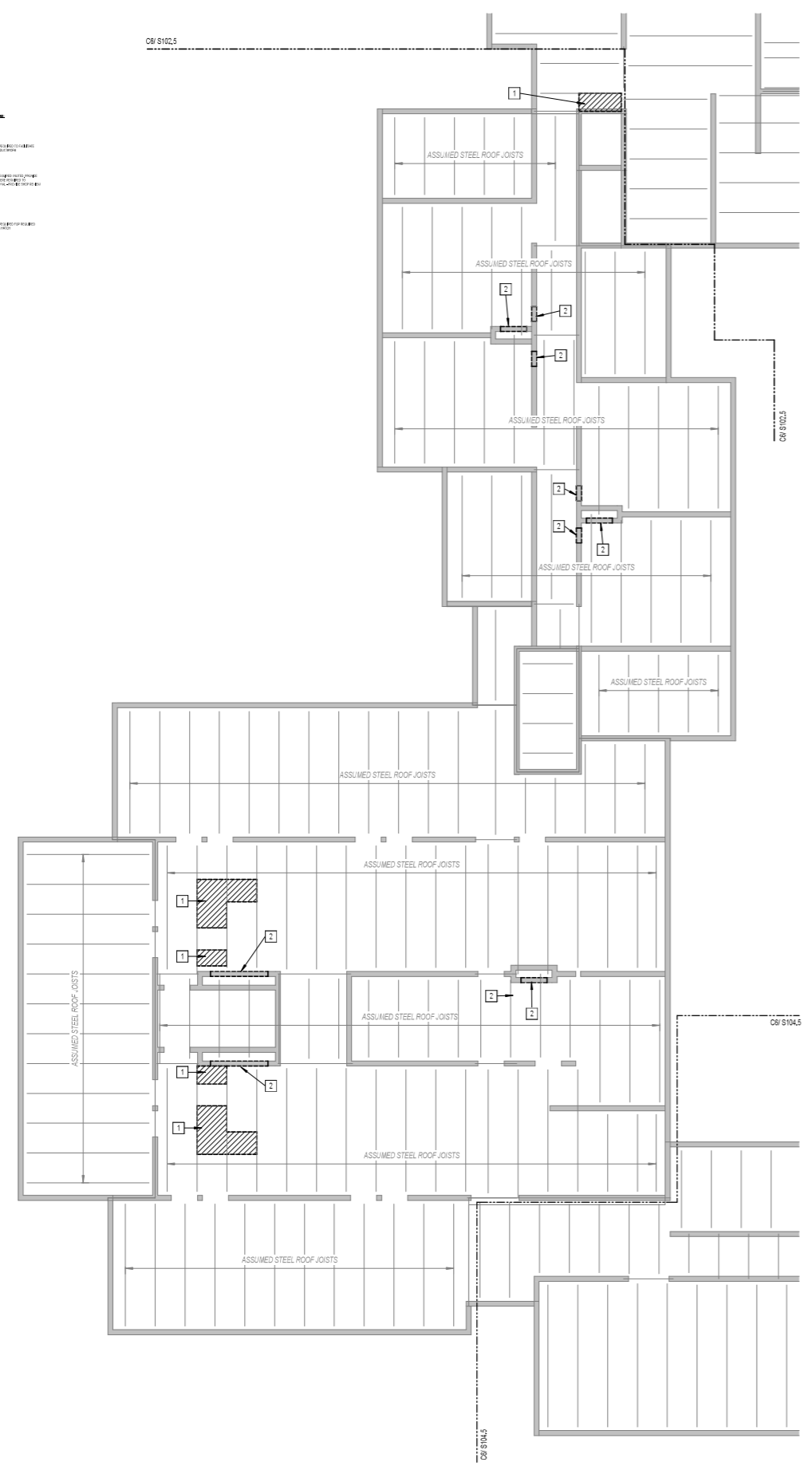
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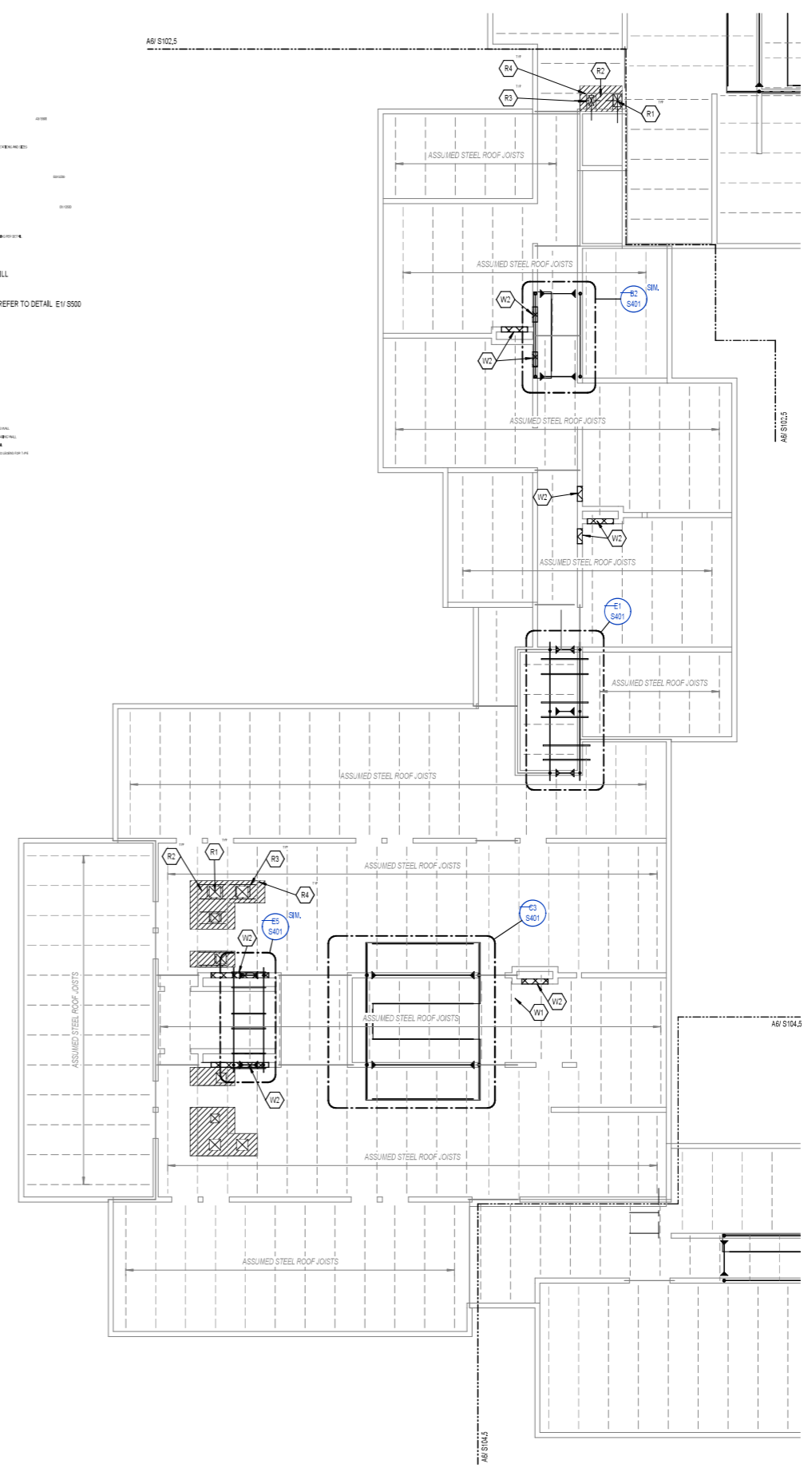
- 1 ASSUMED STEEL ROOF JOISTS
- 2 ASSUMED STEEL ROOF JOISTS
- 3 ASSUMED STEEL ROOF JOISTS



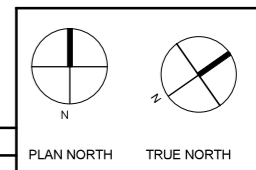
A6 PHASE 1 ROOF LEVEL STRUCTURAL DEMO PLAN
1/8" = 1'-0"

- R1 ASSUMED STEEL ROOF JOIST
- R2 ASSUMED STEEL ROOF JOIST
- R3 ASSUMED STEEL ROOF JOIST
- R4 ASSUMED STEEL ROOF JOIST
- R5 ASSUMED STEEL ROOF JOIST
- R6 ASSUMED STEEL ROOF JOIST
- W1 NON-BEARING WALL INFILL
- W2 BEARING WALL INFILL - REFER TO DETAIL E1/500

- 1 ASSUMED STEEL ROOF JOIST
- 2 ASSUMED STEEL ROOF JOIST
- 3 ASSUMED STEEL ROOF JOIST

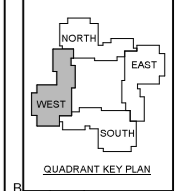


A3 PHASE 1 ROOF LEVEL STRUCTURAL FRAMING PLAN
1/8" = 1'-0"



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TITLE
PHASE 1 ROOF LEVEL STRUCTURAL PLANS

SHEET
S101.5

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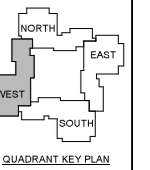
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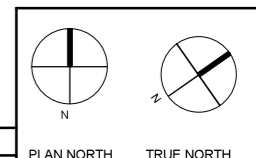
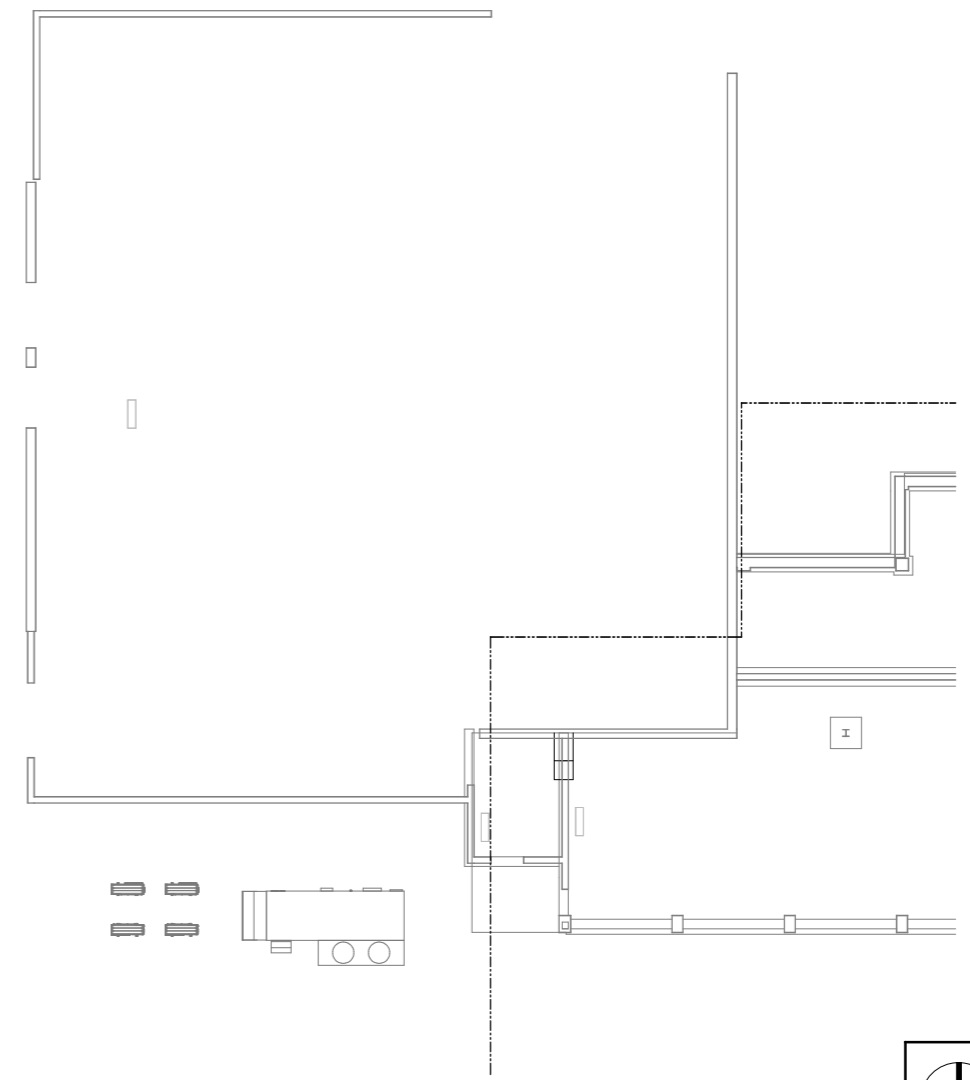
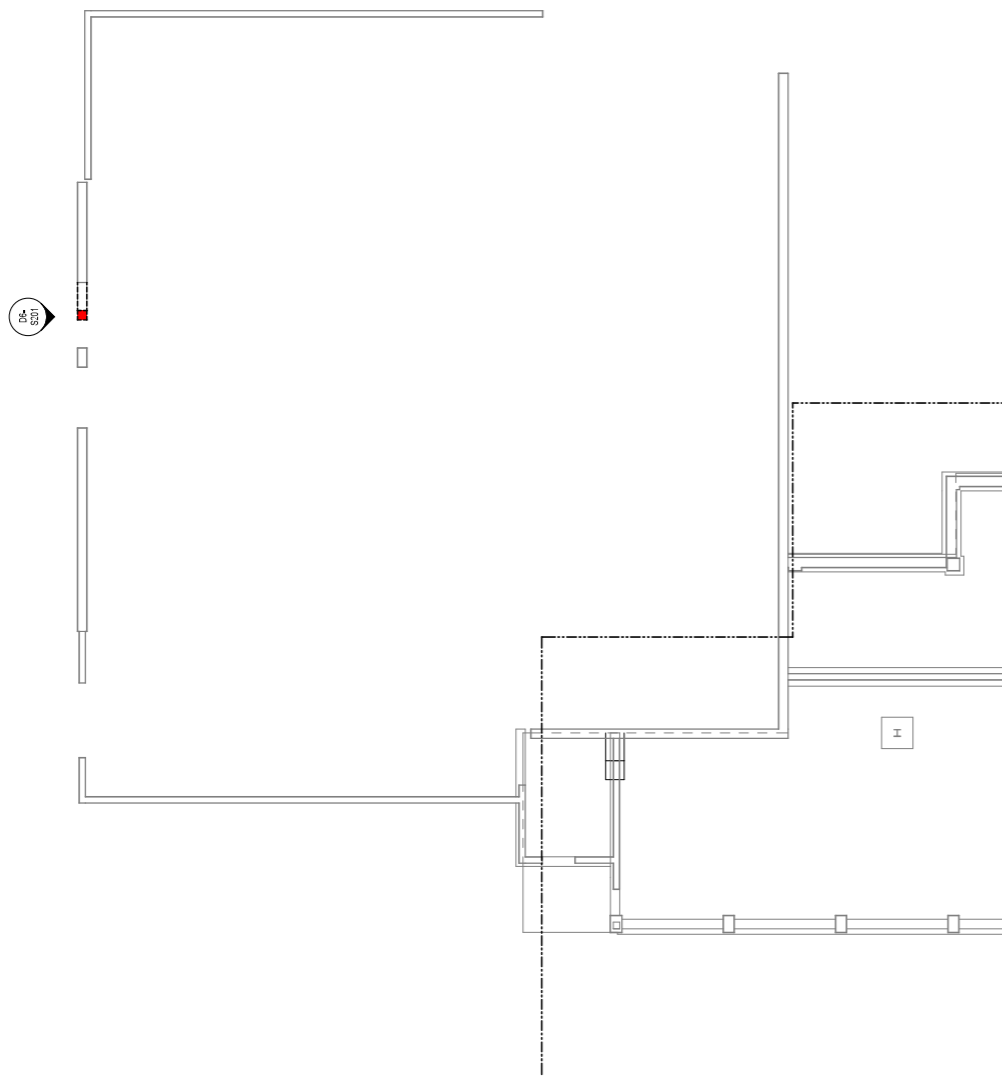
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TITLE
PHASE 1 GROUND FLOOR STRUCTURAL PLANS

SHEET
S101.G



A6 PHASE 1 GROUND FLOOR STRUCTURAL DEMO PLAN
1/8" = 1'-0"

A3 PHASE 1 GROUND FLOOR STRUCTURAL PLAN
1/8" = 1'-0"

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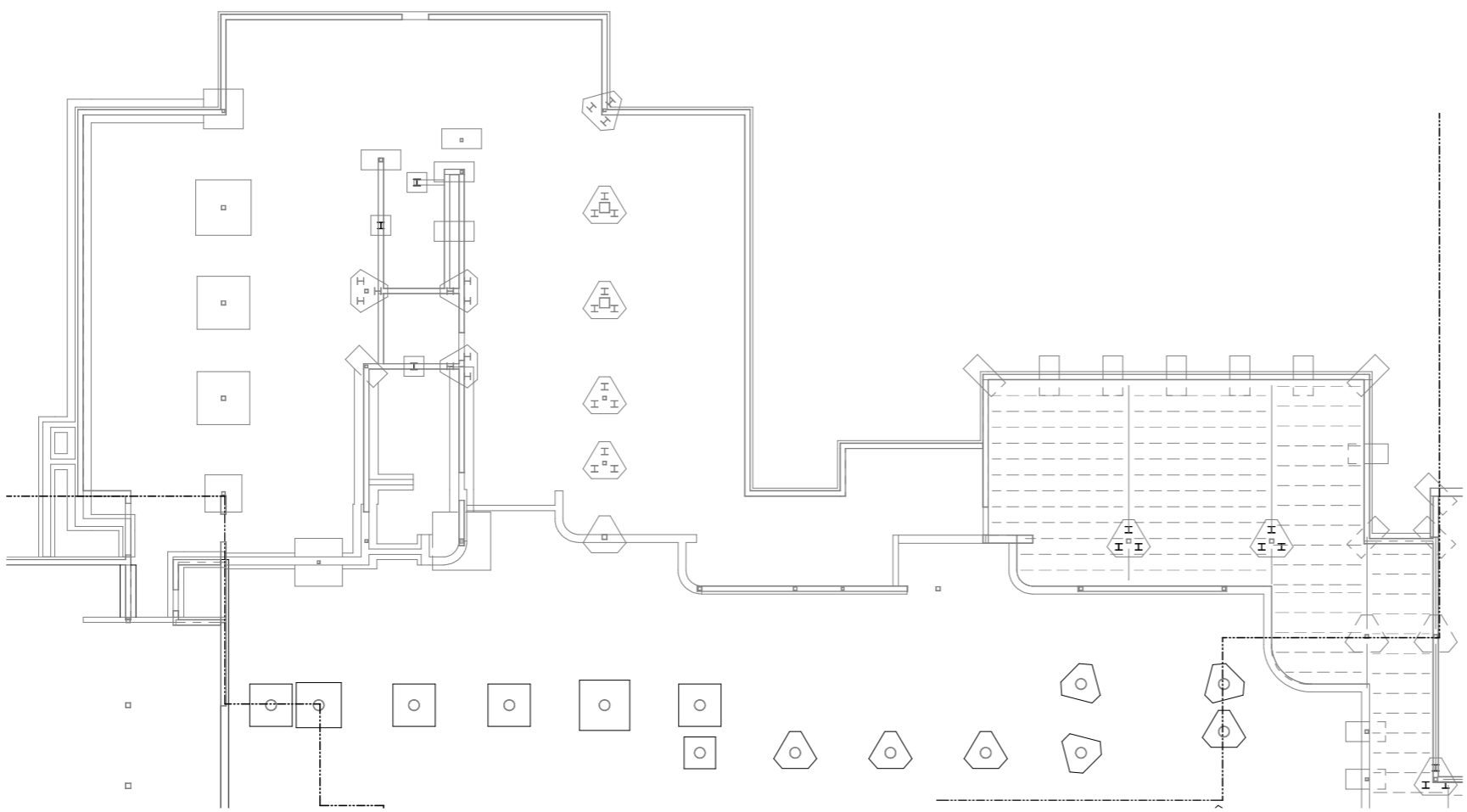
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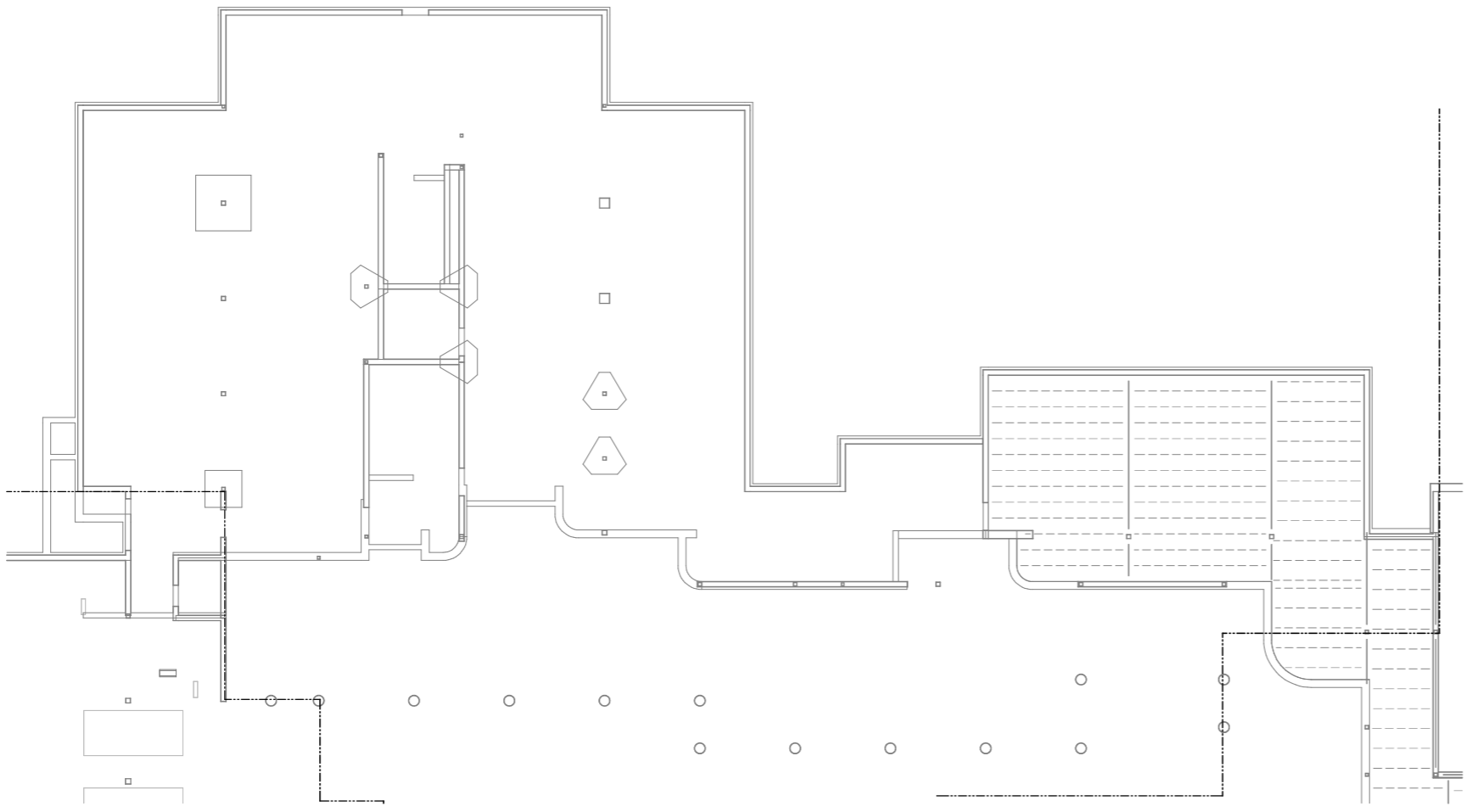
D6 PHASE 2 FIRST FLOOR STRUCTURAL DEMO PLAN

1/8" = 1'-0"

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A6 PHASE 2 FIRST FLOOR STRUCTURAL FRAMING PLAN

1/8" = 1'-0"

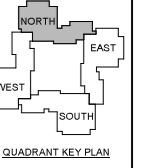
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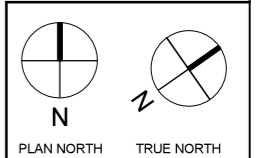
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TITLE PHASE 2 FIRST FLOOR STRUCTURAL PLANS

SHEET S102.1



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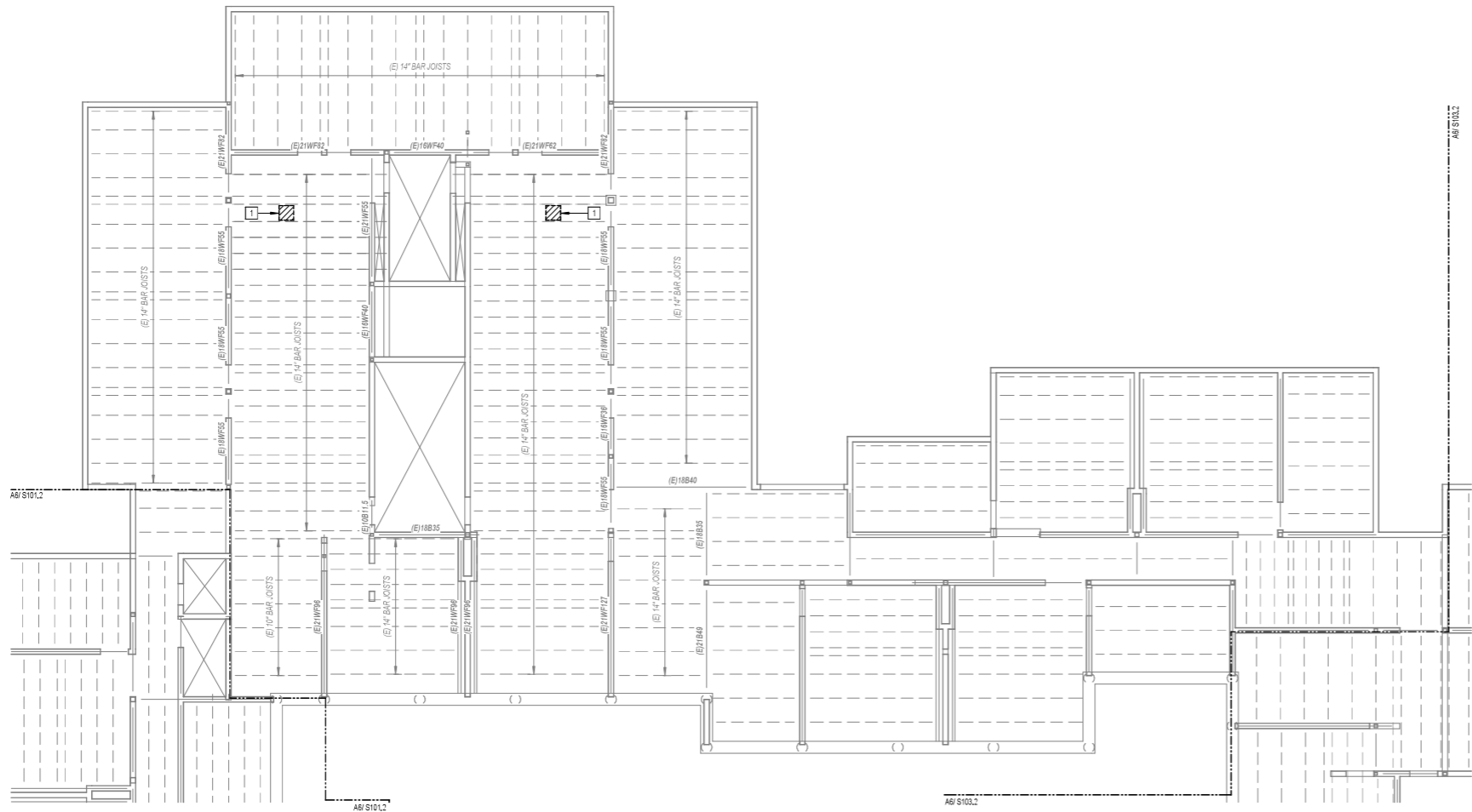
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C6 PHASE 2 SECOND FLOOR STRUCTURAL DEMO PLAN

1/8" = 1'-0"



A6 PHASE 2 SECOND FLOOR STRUCTURAL FRAMING PLAN

1/8" = 1'-0"

LEGEND

- EXISTING STRUCTURAL MEMBER
- STRUCTURAL MEMBER TO BE REMOVED
- STRUCTURAL MEMBER TO BE ADDED
- STRUCTURAL MEMBER TO BE MODIFIED

- EXISTING WALL
- WALL TO BE REMOVED
- WALL TO BE ADDED
- WALL TO BE MODIFIED

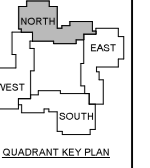
- EXISTING DOOR
- DOOR TO BE REMOVED
- DOOR TO BE ADDED
- DOOR TO BE MODIFIED



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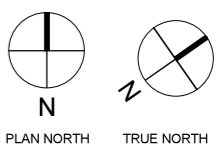
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TITLE
PHASE 2 SECOND FLOOR STRUCTURAL PLANS

SHEET
S102.2



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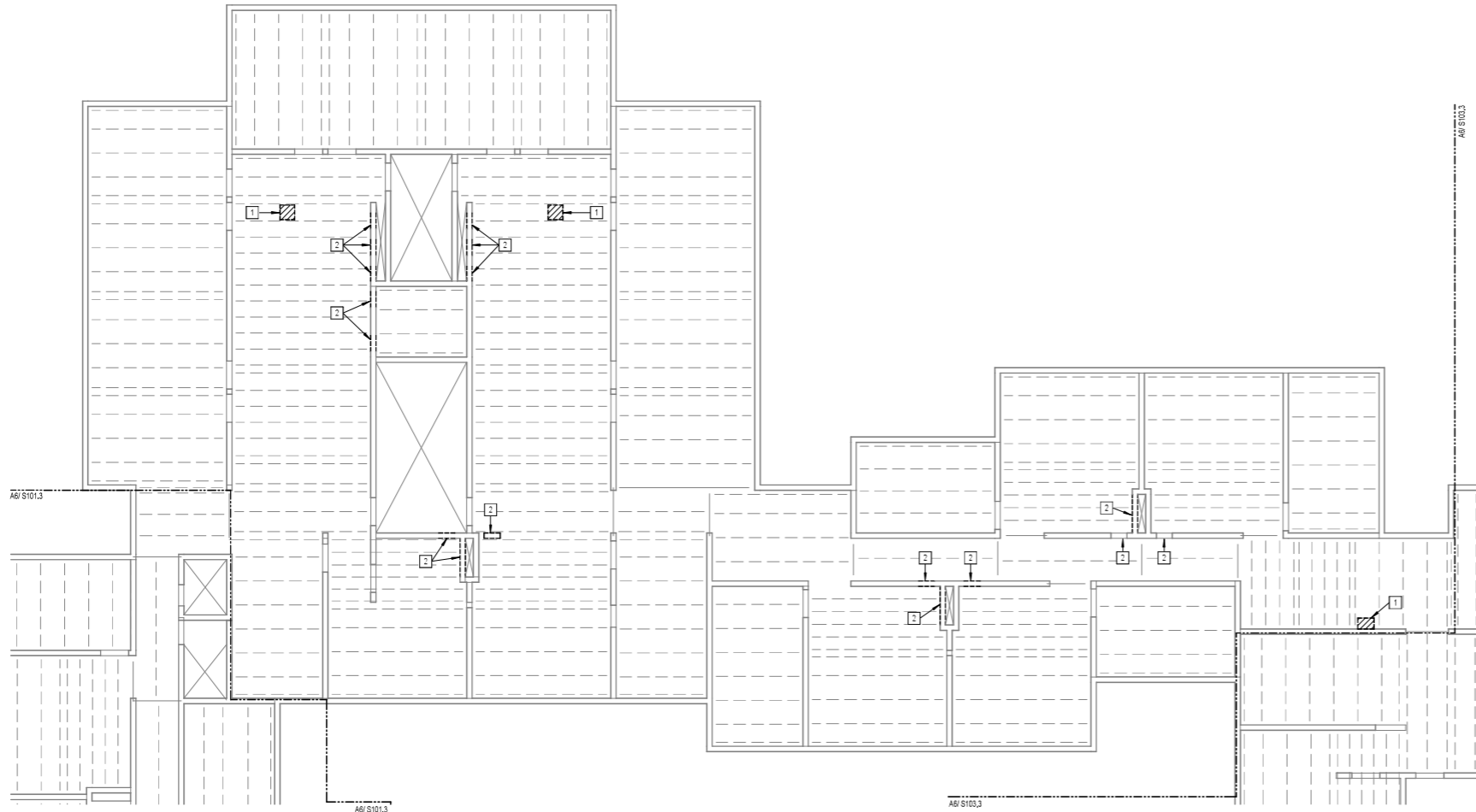
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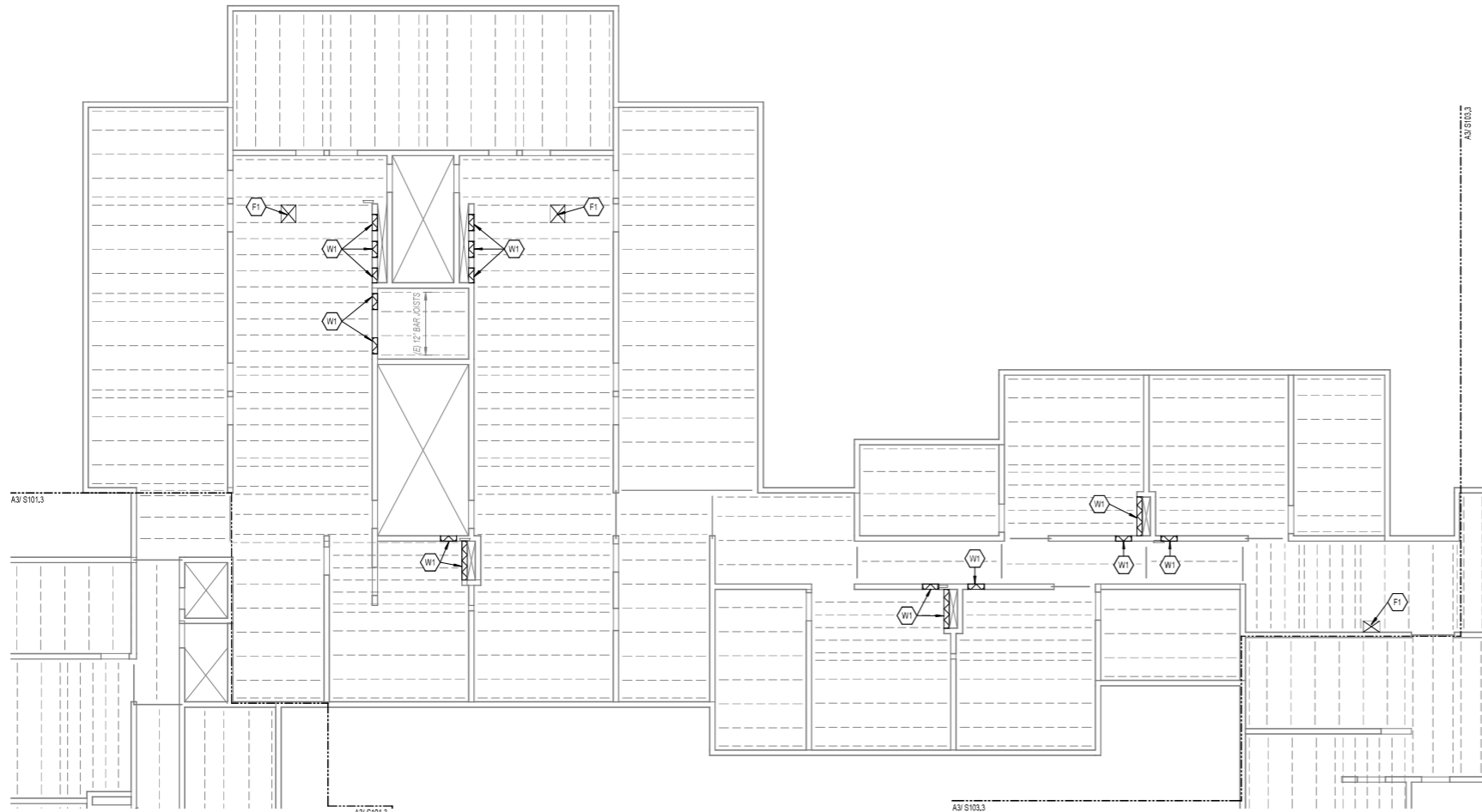
B

A



C6 PHASE 2 THIRD FLOOR STRUCTURAL DEMO PLAN

1/8" = 1'-0"



A6 PHASE 2 THIRD FLOOR STRUCTURAL FRAMING PLAN

1/8" = 1'-0"

6 5 4 3 2 1

- LEGEND**
- EXISTING STRUCTURAL ELEMENTS
 - EXISTING NON-STRUCTURAL ELEMENTS
 - NEW STRUCTURAL ELEMENTS
 - NEW NON-STRUCTURAL ELEMENTS

- LEGEND**
- EXISTING STRUCTURAL ELEMENTS
 - EXISTING NON-STRUCTURAL ELEMENTS
 - NEW STRUCTURAL ELEMENTS
 - NEW NON-STRUCTURAL ELEMENTS

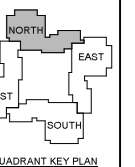
- LEGEND**
- FLOOR JOISTS
 - WALL JOISTS



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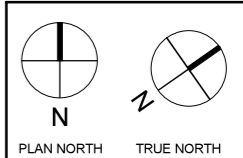
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JOB NO.
075982

ISSUE
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11/22/2023

TITLE
PHASE 2 THIRD FLOOR STRUCTURAL PLANS

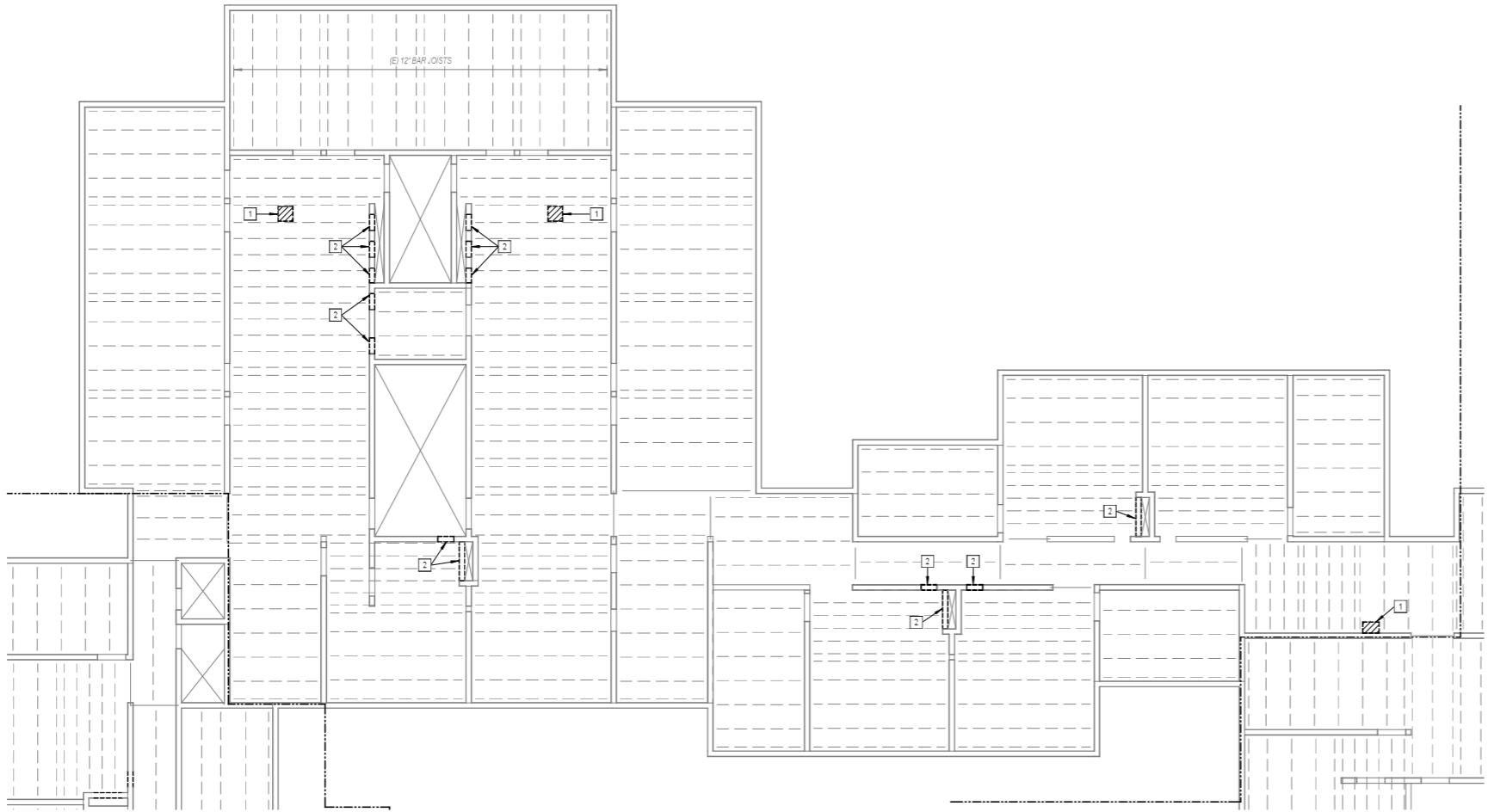
SHEET
S102.3



6 5 4 3 2 1

E

D



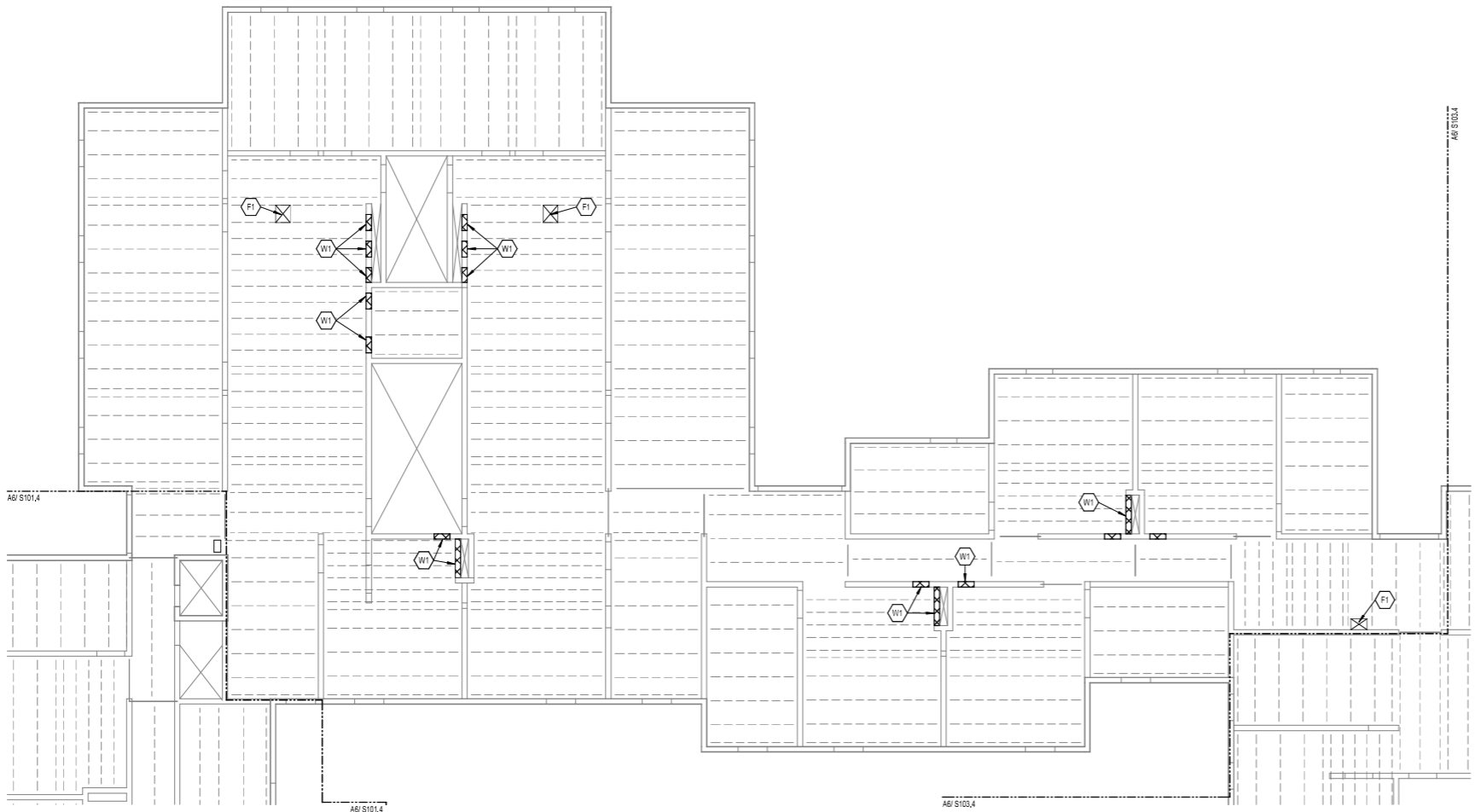
C6 PHASE 2 FOURTH FLOOR STRUCTURAL DEMO PLAN

1/8" = 1'-0"

C

B

A



A6 PHASE 2 FOURTH FLOOR STRUCTURAL FRAMING PLAN

1/8" = 1'-0"

6 5 4 3 2 1

- REMOVE EXISTING CONCRETE WALLS
- REMOVE EXISTING CONCRETE FLOORS
- REMOVE EXISTING CONCRETE CEILING
- REMOVE EXISTING CONCRETE BEAMS
- REMOVE EXISTING CONCRETE COLUMNS

- EXISTING WALL
- EXISTING FLOOR
- EXISTING CEILING
- EXISTING BEAM
- EXISTING COLUMN

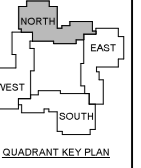
- FLOOR TO BE DEMOLISHED
- BEAM TO BE DEMOLISHED



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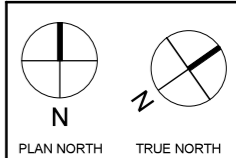
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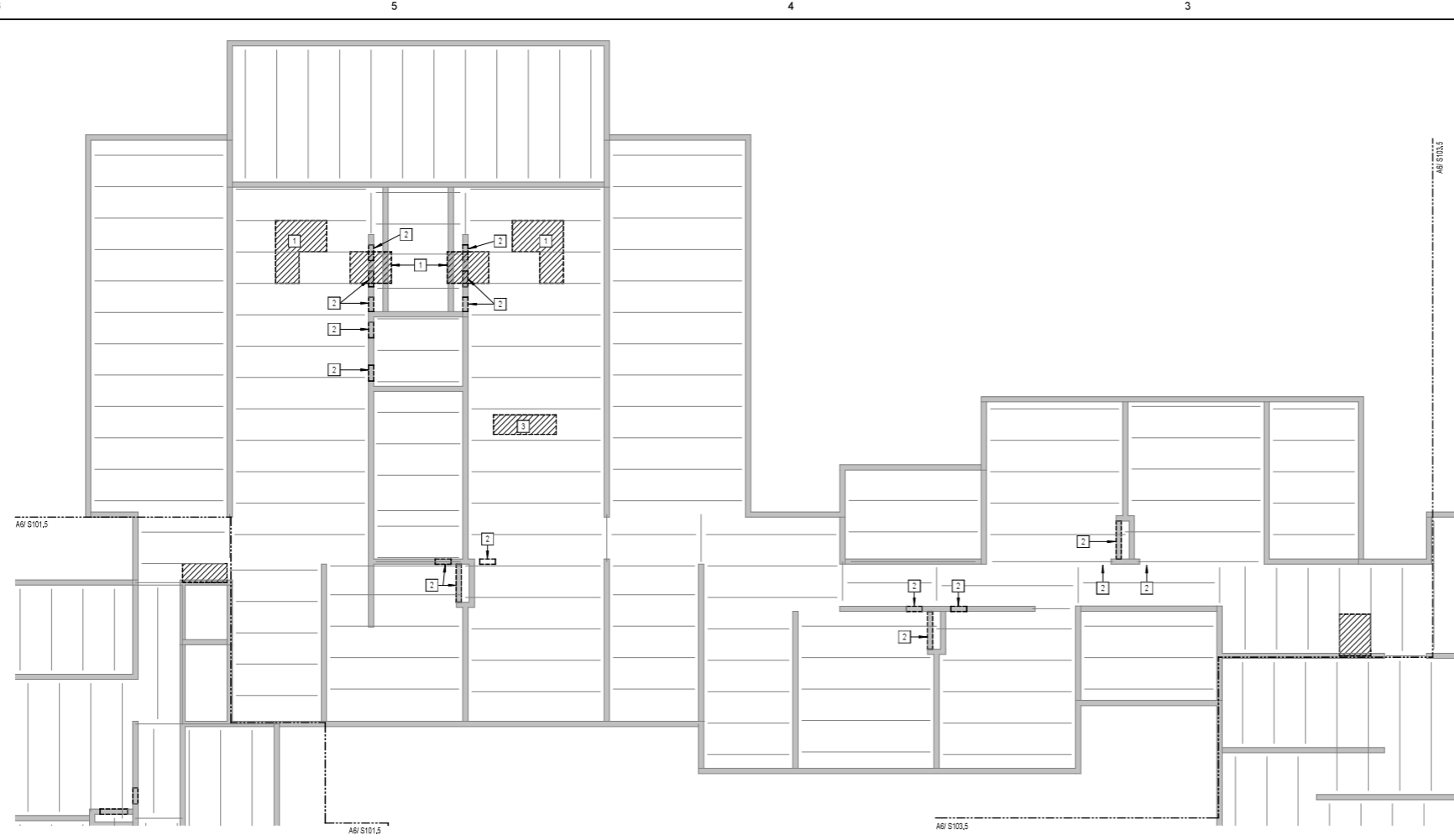
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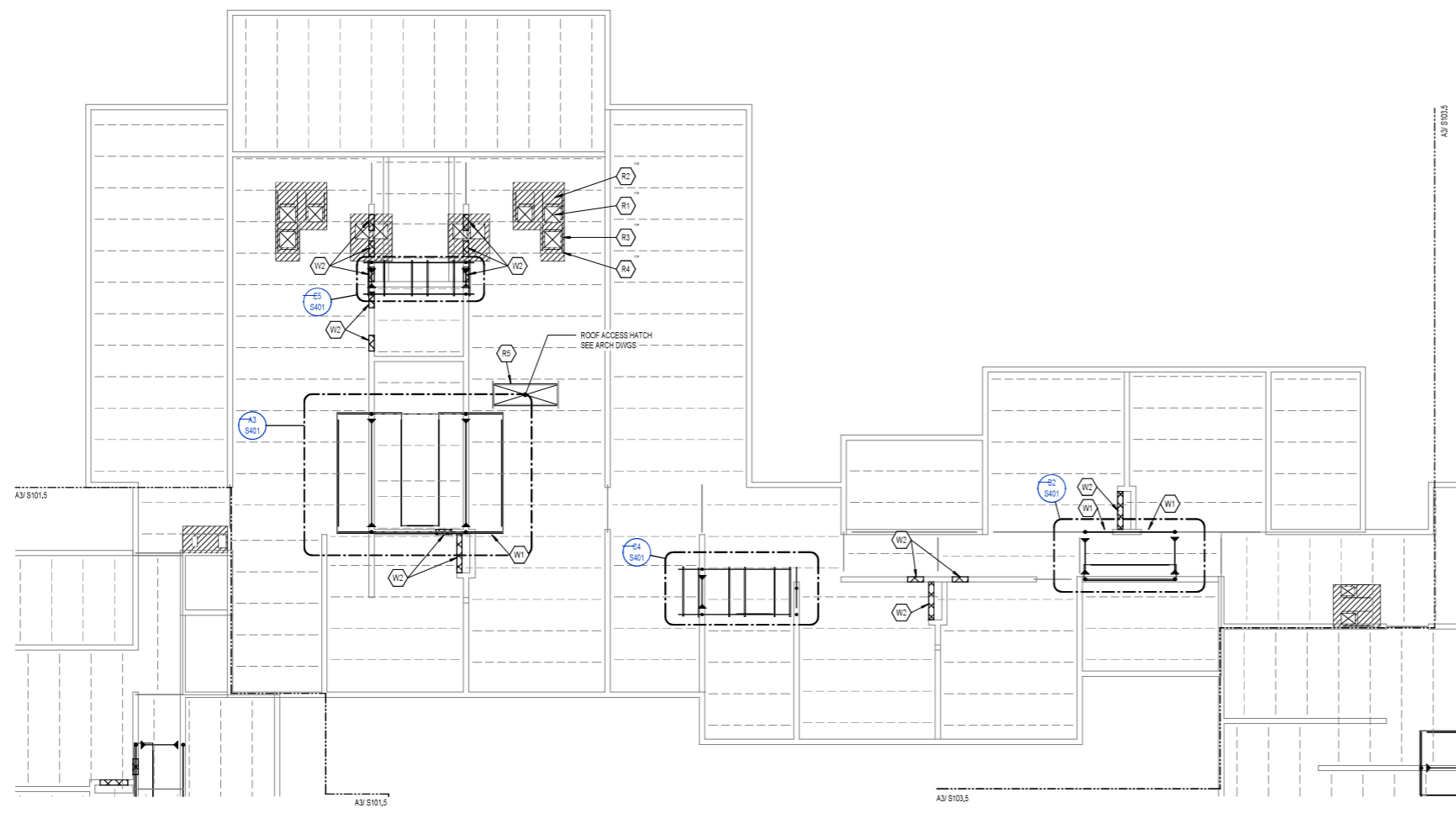
TITLE
PHASE 2 FOURTH FLOOR STRUCTURAL PLANS

SHEET
S102.4





C6 PHASE 2 ROOF LEVEL STRUCTURAL DEMO PLAN
1/8" = 1'-0"

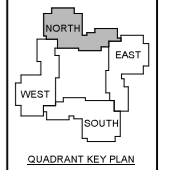


A6 PHASE 2 ROOF LEVEL STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

- REVISIONS**
- 1. [Symbol] [Description]
 - 2. [Symbol] [Description]
 - 3. [Symbol] [Description]

- LEGEND**
- [Symbol] [Description]
 - [Symbol] [Description]
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- NOTES**
- [Symbol] [Description]
 - [Symbol] [Description]
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No.	Date	Description
Revision Schedule		

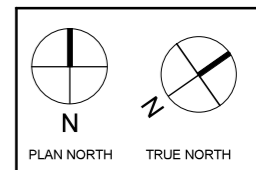
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PHASE 2 ROOF LEVEL STRUCTURAL PLANS

SHEET
S102.5



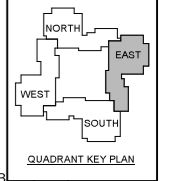
- DEMOLITION KEYED NOTES**
- 1 REMOVE (E) EXISTING OPENWEB STEEL JOISTS AND CONCRETE SLAB ON METAL DECK, SHORE ADJACENT EXISTING CONCRETE SLAB ON METAL DECK AND CMU PARTITION WALL ABOVE/AS REQUIRED PRIOR TO JOIST REMOVAL.
 - 2 ALLOWANCE FOR STRUCTURAL SLAB AND FLOOR FRAMING REPAIR/REPLACEMENT PENDING INSPECTION OF AREA BELOW (E) WALK-OFF MATS FOR REDWING PURPOSES. ASSUME REPLACEMENT OF 200 SQ. FT. OF SLAB ON DECK, (S) OWS AND (1) WF STEEL BEAM.
 - 3 REMOVE SLAB AS REQUIRED FOR INSTALLATION OF FLOOR ACCESS HATCH.

- KEYED NOTES**
- 1 REPLACE (E) CORRODED IJD JOISTS W/ NEW IJD JOISTS AT SAME LOCATIONS. INFL. SLAB W/ NEW METAL FORM DECK TO MATCH EXISTING DECK PROFILE.
 - 2 ALLOWANCE FOR STRUCTURAL SLAB AND FLOOR FRAMING REPAIR/REPLACEMENT PENDING INSPECTION OF AREA BELOW (E) WALK-OFF MATS.
 - 3 INSTALL NEW CRAWLSPACE ACCESS HATCH.

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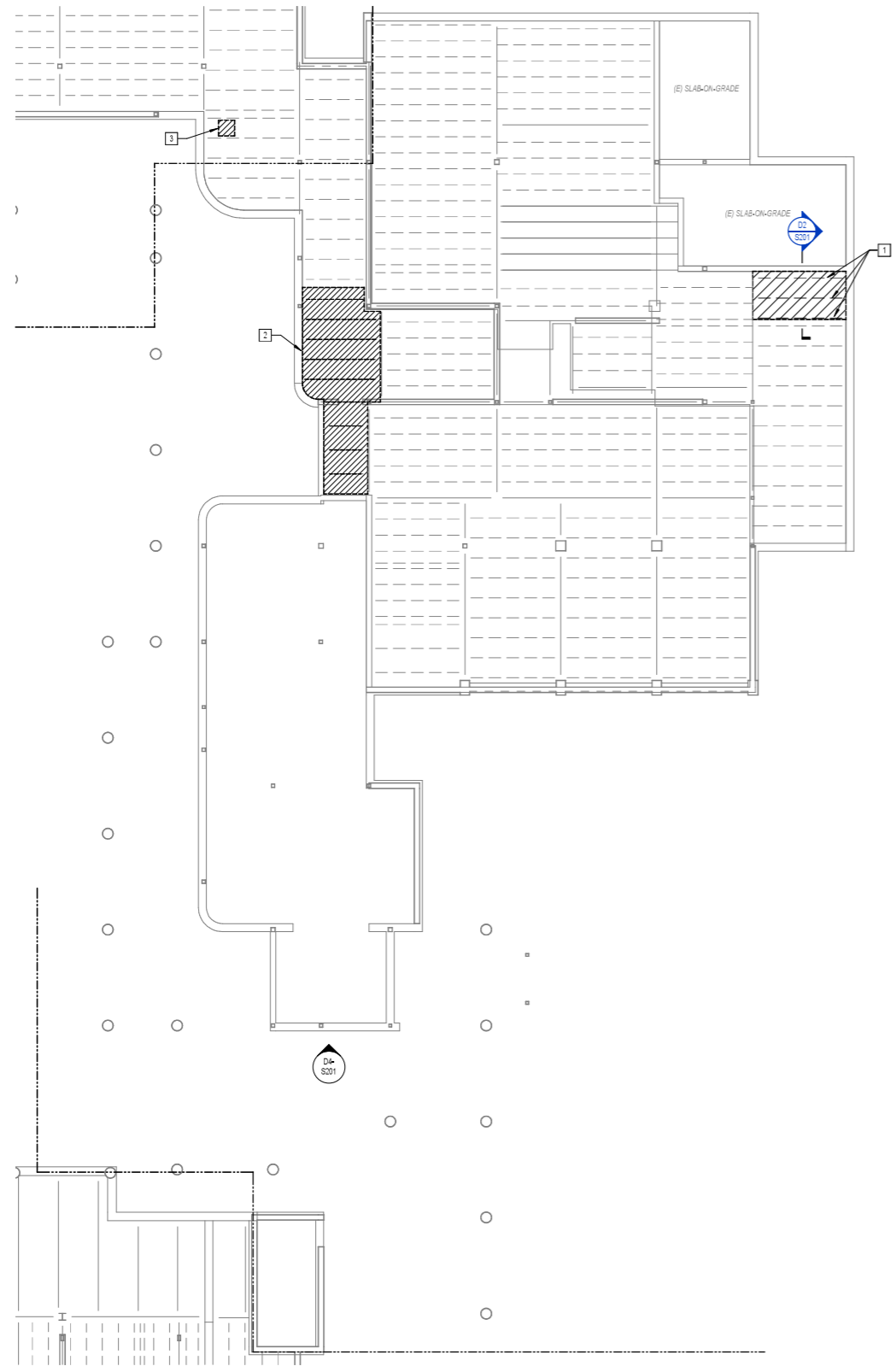
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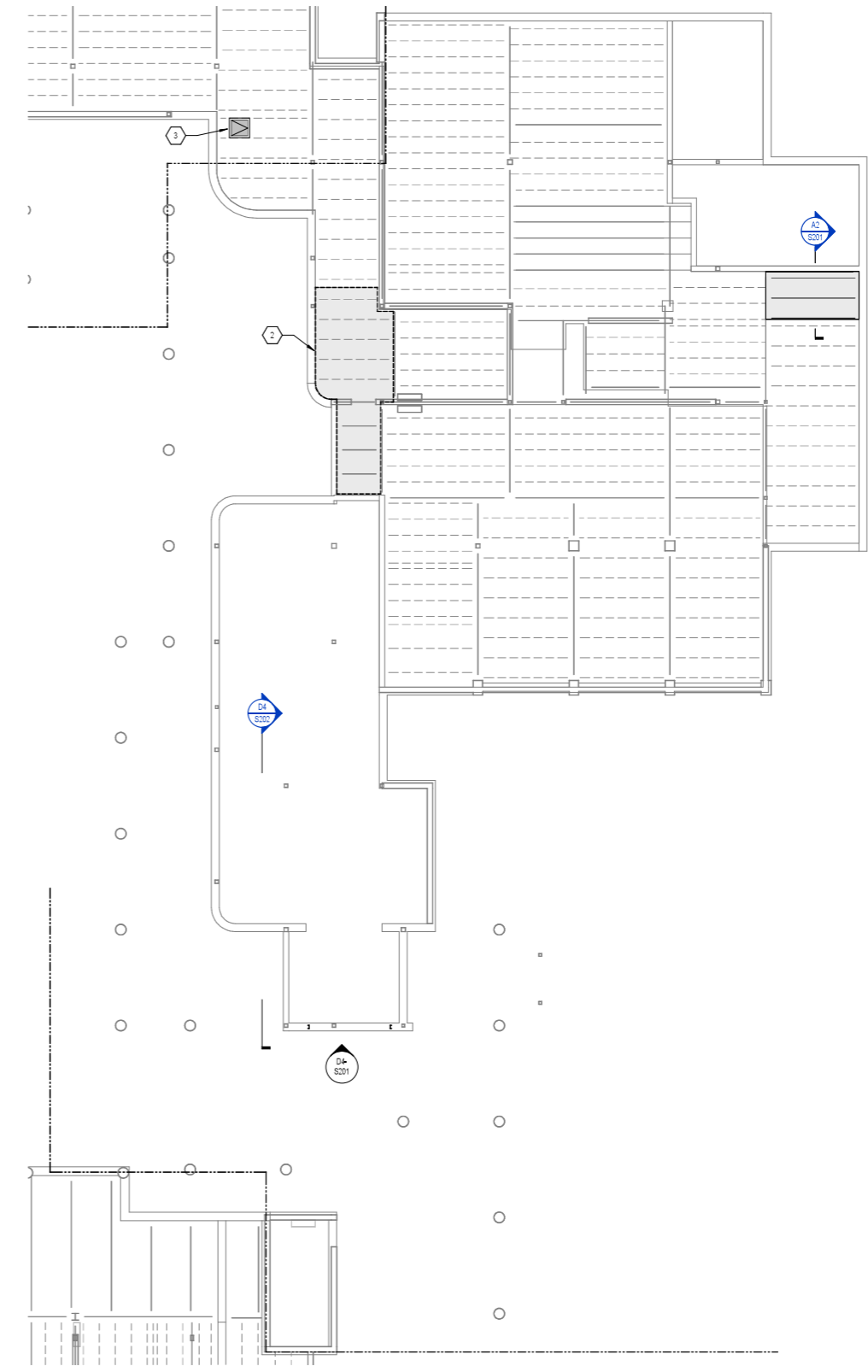
TITLE
 PHASE 3 FIRST FLOOR STRUCTURAL PLANS

SHEET
S103.1

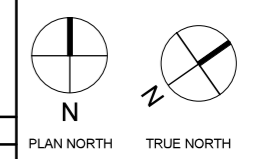
E
D
C
B
A



A6 PHASE 3 FIRST FLOOR STRUCTURAL DEMO PLAN
 1/8" = 1'-0"



A3 PHASE 3 FIRST FLOOR STRUCTURAL FRAMING PLAN
 1/8" = 1'-0"



6 5 4 3 2 1

6

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4

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2

1

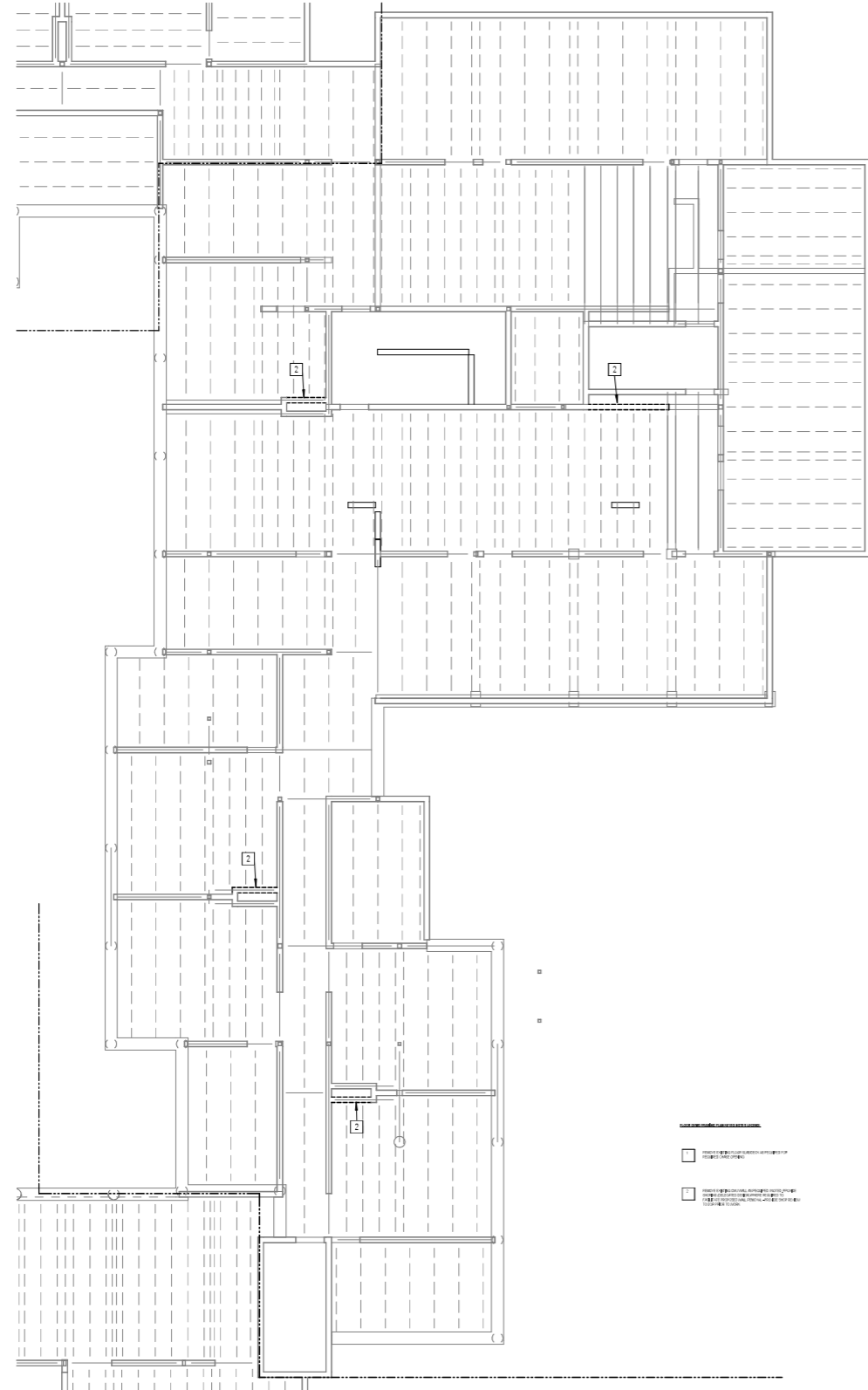
E

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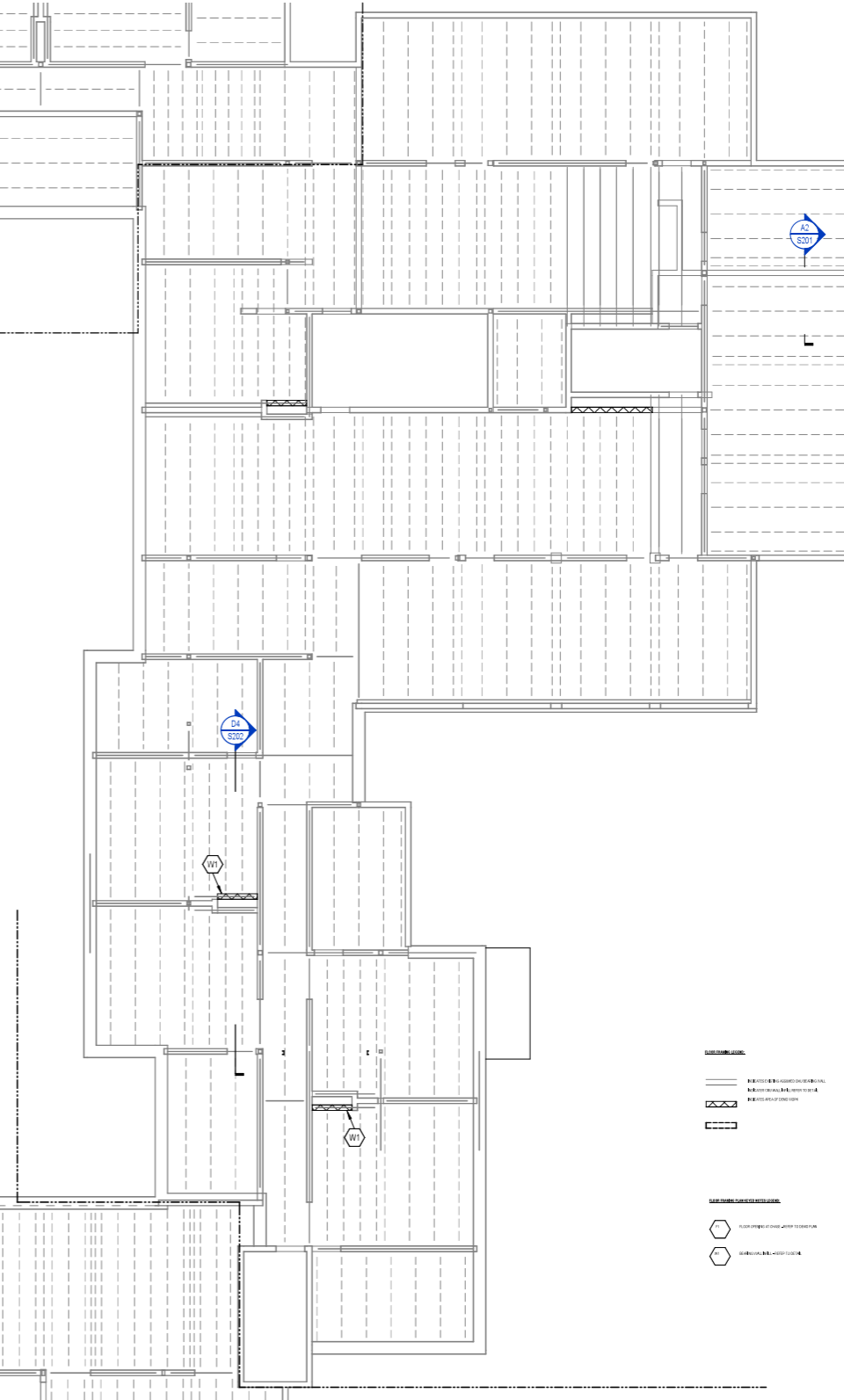
- EXISTING STRUCTURE
- - - STRUCTURE TO BE DEMOLISHED
- / - STRUCTURE TO BE REINFORCED

A6 PHASE 3 SECOND FLOOR STRUCTURAL DEMO PLAN
1/8" = 1'-0"

6

5

4



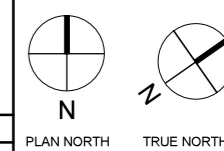
- EXISTING STRUCTURE
- - - STRUCTURE TO BE DEMOLISHED
- / - STRUCTURE TO BE REINFORCED
- COLUMN TO BE DEMOLISHED
- COLUMN TO BE REINFORCED

A3 PHASE 3 SECOND FLOOR STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

3

2

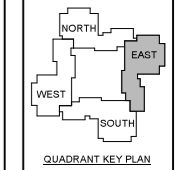
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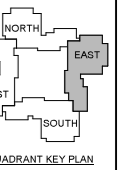
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TITLE
PHASE 3 SECOND FLOOR STRUCTURAL PLANS

SHEET
S103.2



No.	Date	Description
Revision Schedule		

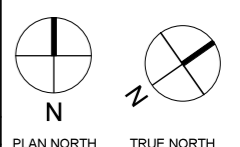
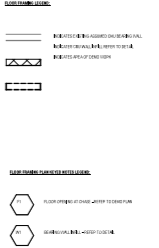
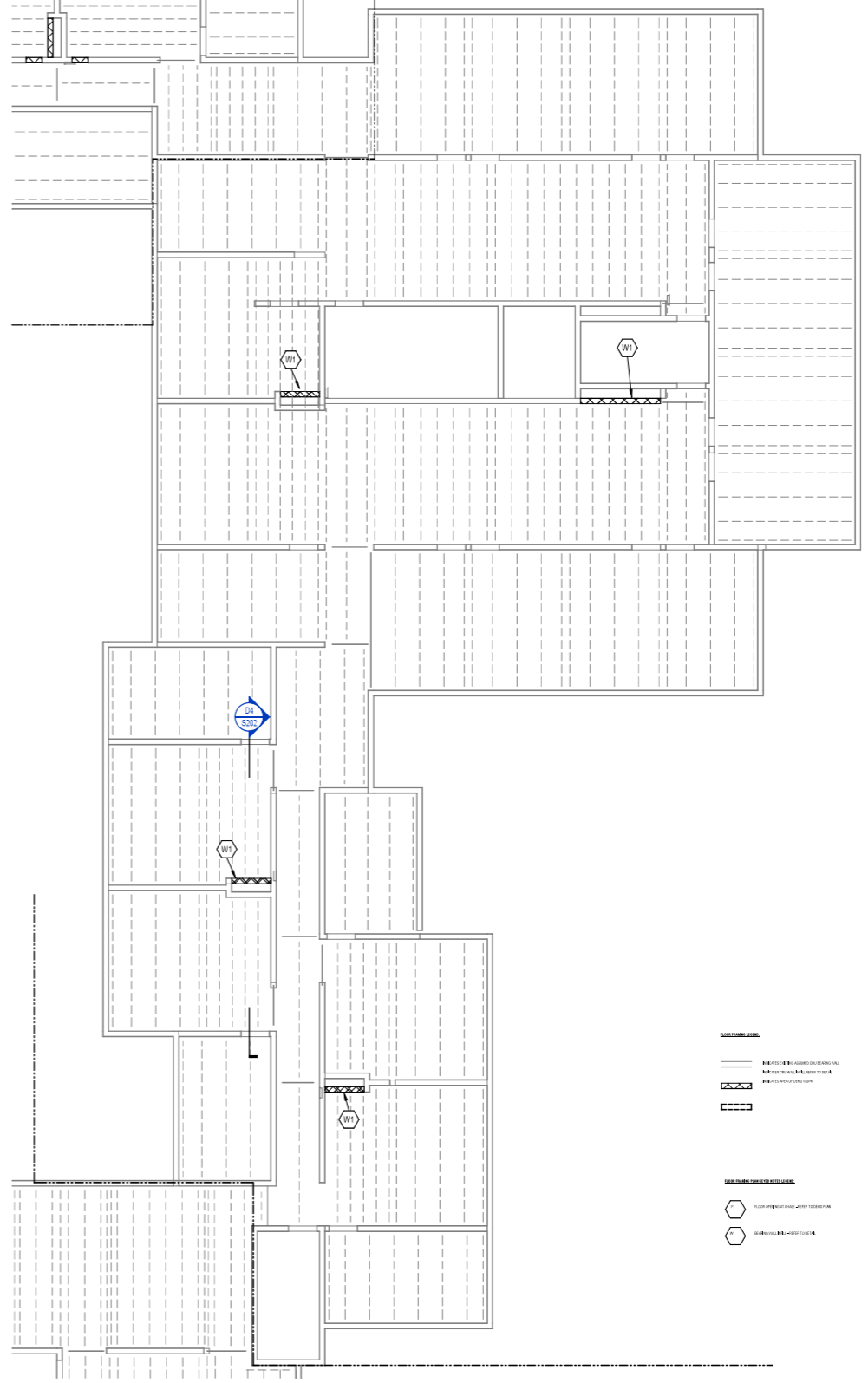
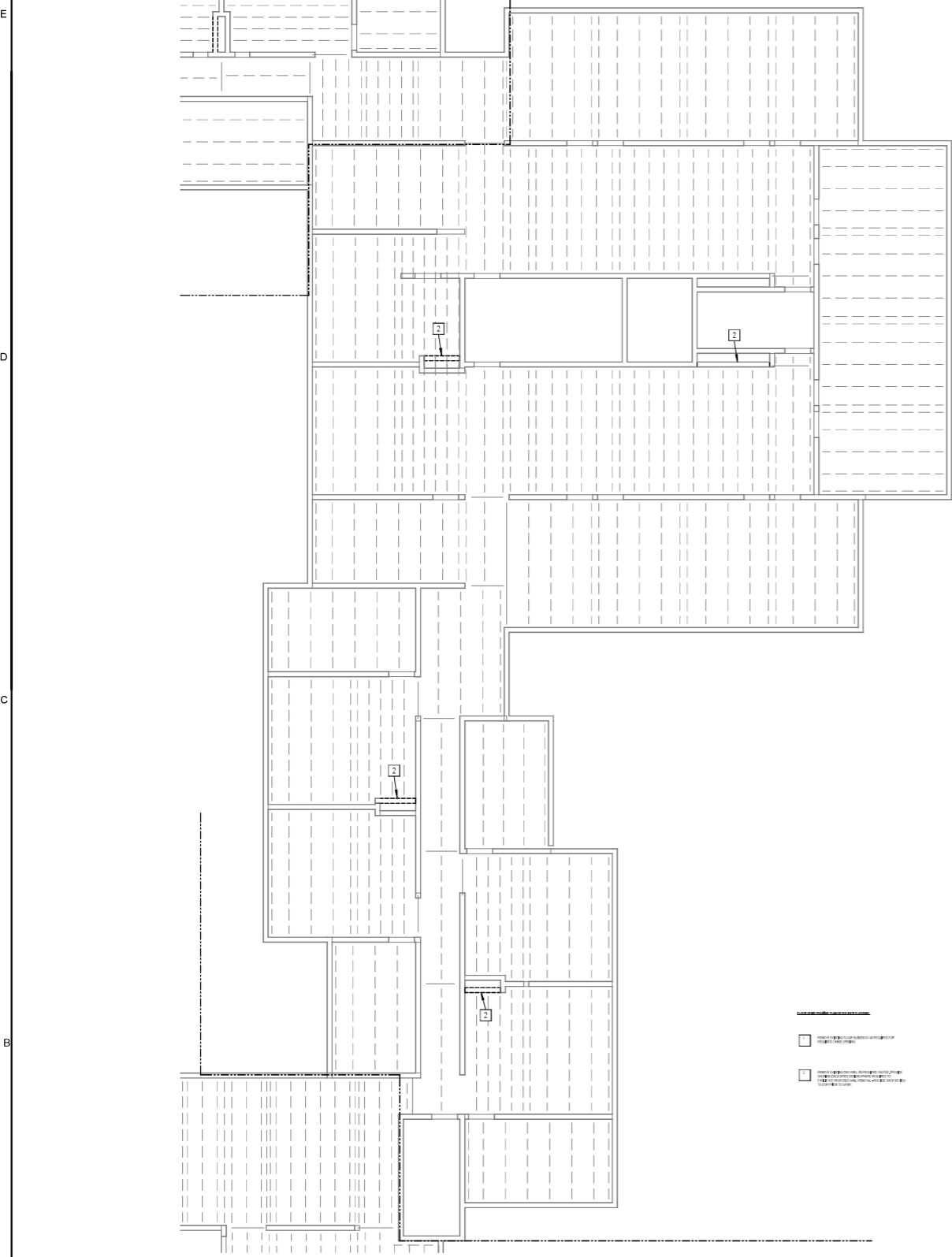
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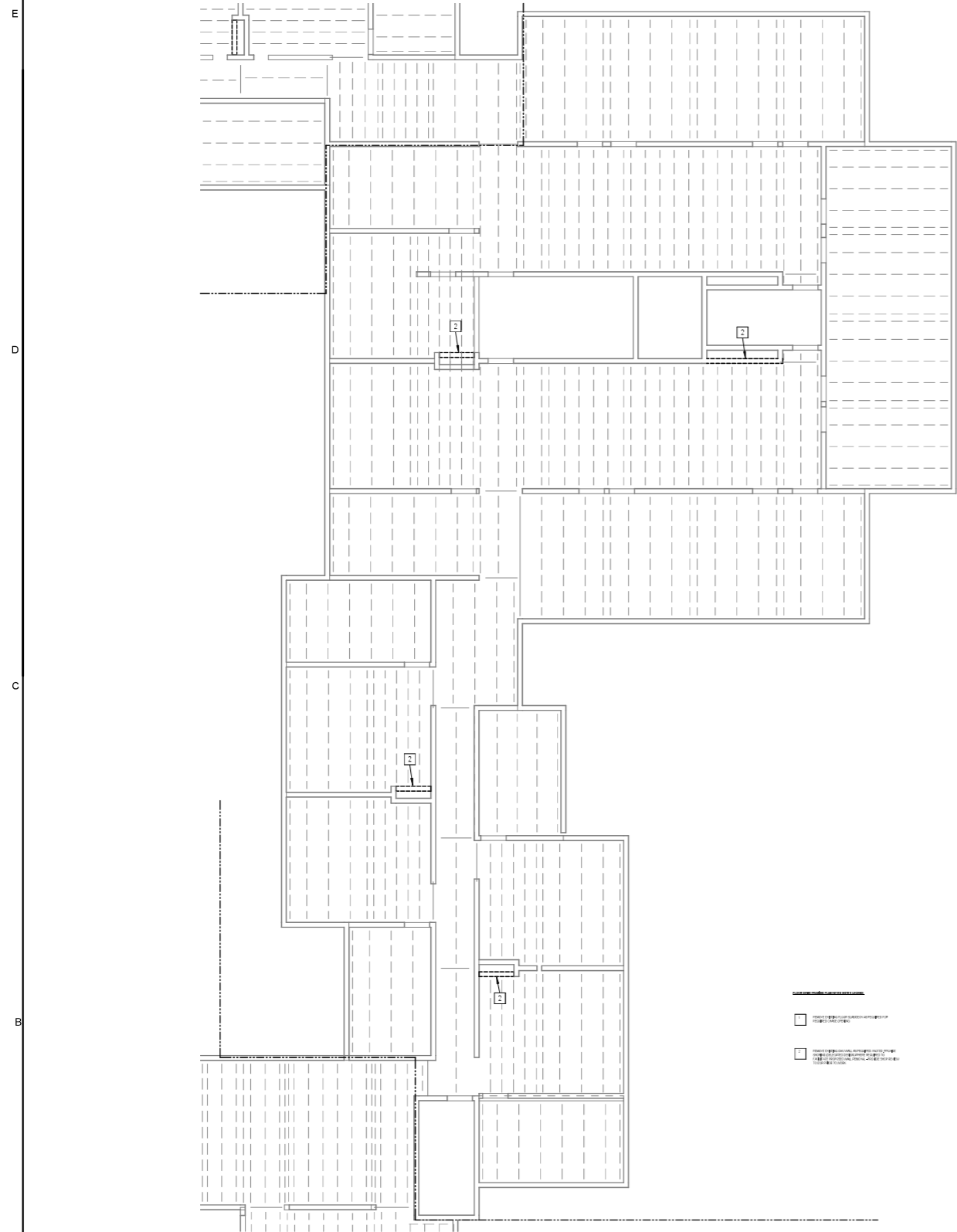
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TITLE
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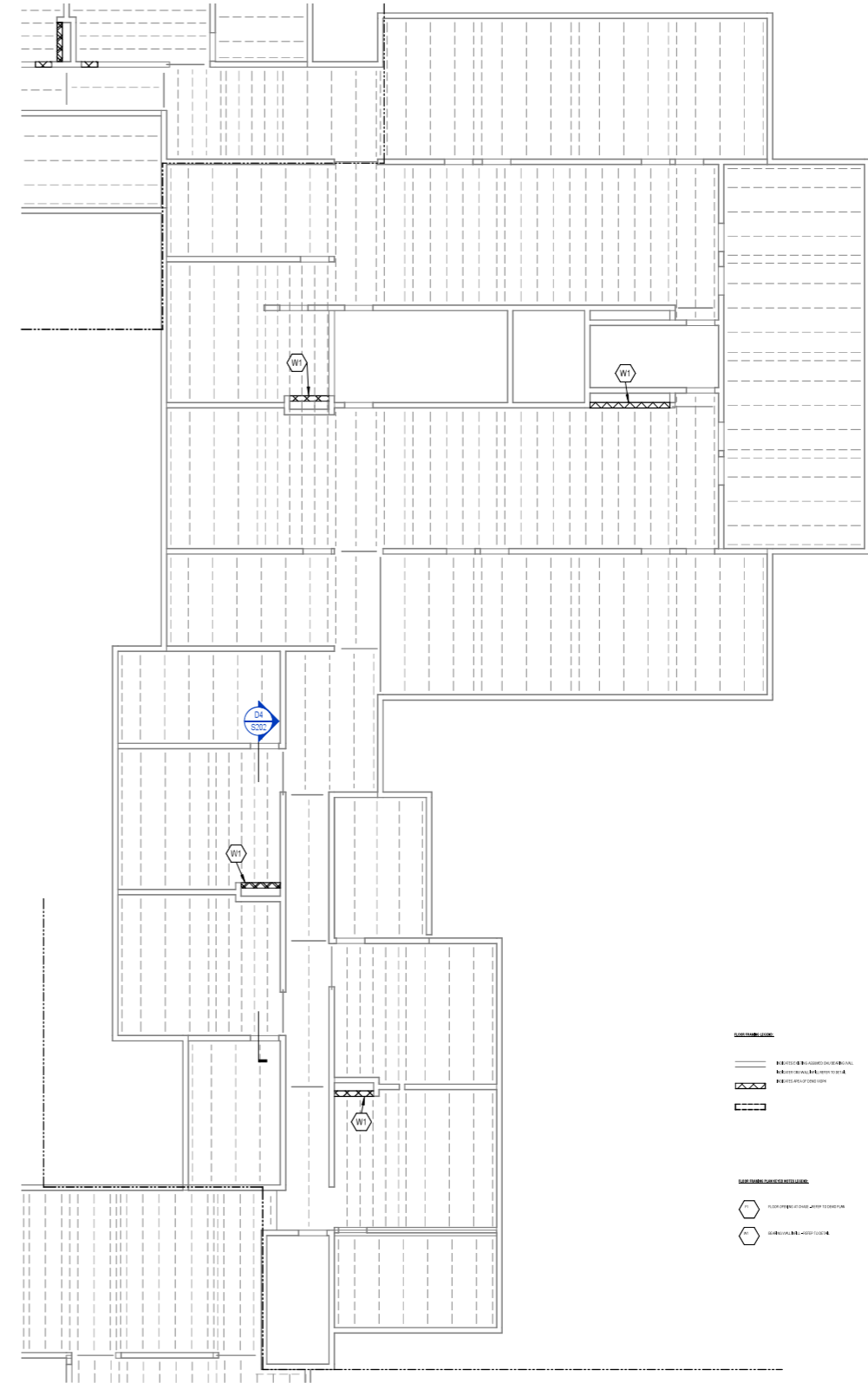
SHEET
S103.3



6 5 4 3 2 1



- DEMO OF EXISTING STRUCTURE
- EXISTING STRUCTURE
- EXISTING STRUCTURE TO REMAIN



- D1
- W1
- W2
- W3

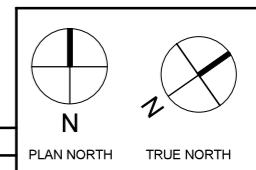
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A3 PHASE 3 FOURTH FLOOR STRUCTURAL DEMO PLAN
1/8" = 1'-0"

6 5 4

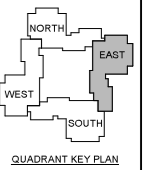
A6 PHASE 3 FOURTH FLOOR STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

3 2 1



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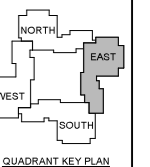
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TITLE
PHASE 3 FOURTH FLOOR STRUCTURAL PLANS

SHEET
S103.4



QUADRANT KEY PLAN

No.	Date	Description
Revision Schedule		

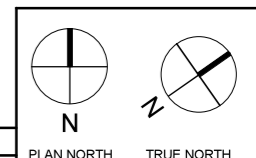
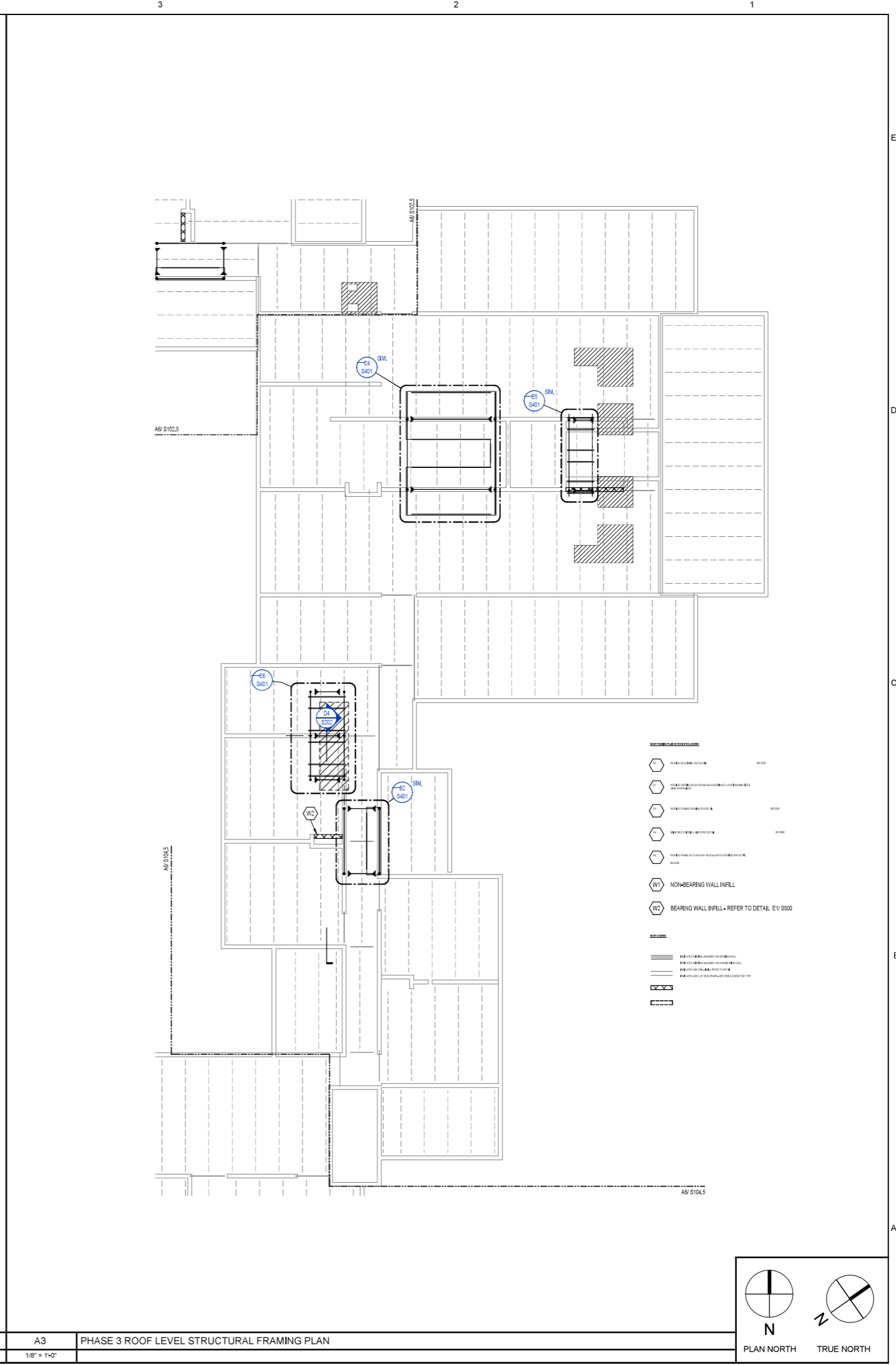
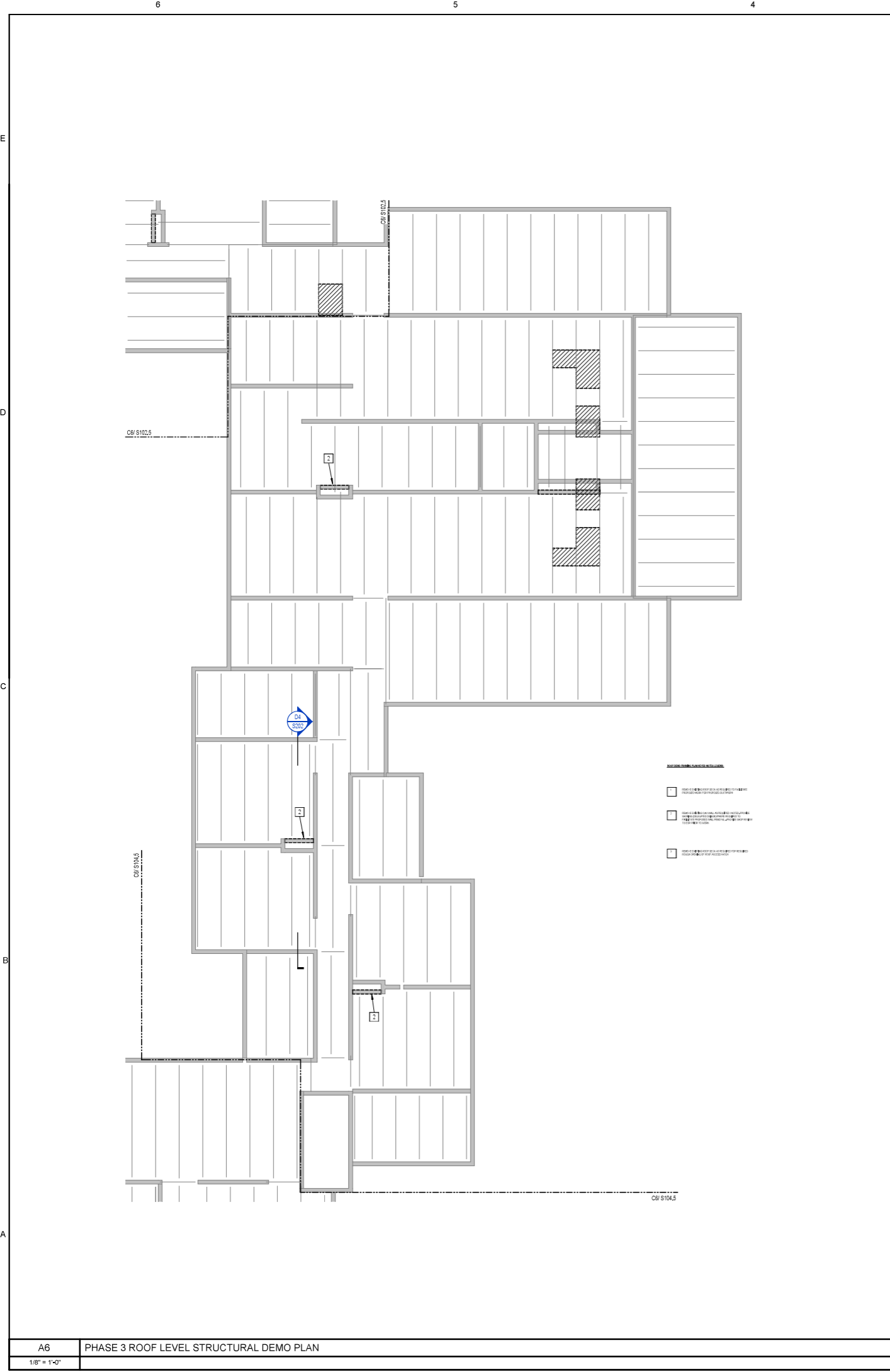
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TITLE
PHASE 3 ROOF LEVEL
STRUCTURAL PLANS

SHEET
S103.5



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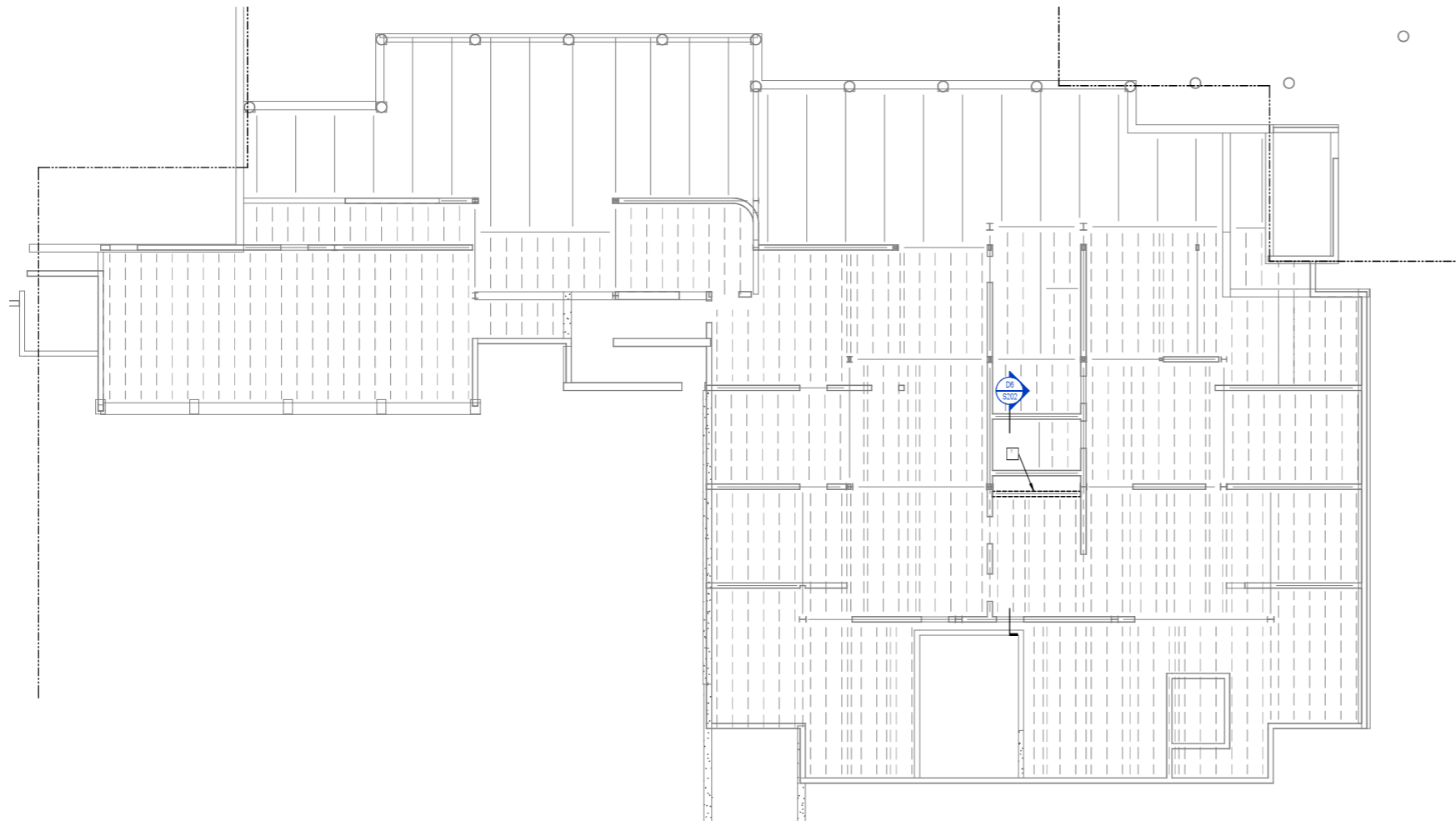
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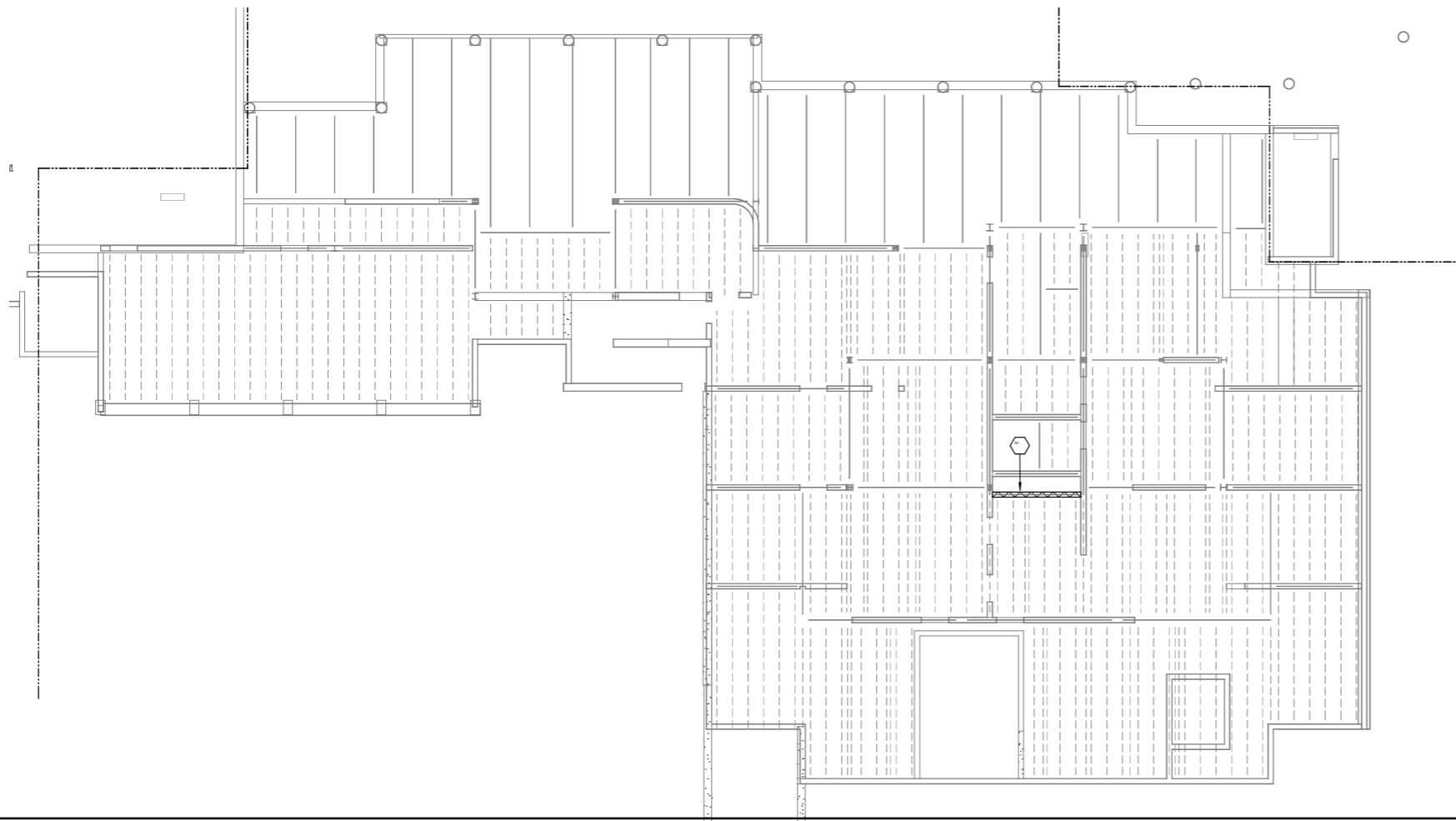
C

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CS PHASE 4 FIRST FLOOR STRUCTURAL DEMO PLAN



AS PHASE 4 FIRST FLOOR STRUCTURAL FRAMING PLAN

CHANGES

□	REVISION 1: ADDITION OF NEW WALLS
□	REVISION 2: REMOVAL OF EXISTING WALLS

LEGEND

—	EXISTING WALL
- - -	NEW WALL
▨	EXISTING FLOOR
- - -	NEW FLOOR

NOTES

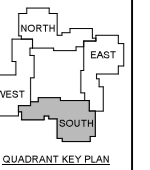
- 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 2. REFER TO SHEET S104.2 FOR FINISH SCHEDULE.



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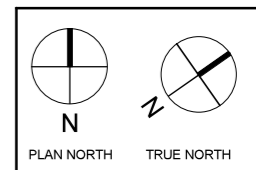
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TITLE
PHASE 4 FIRST FLOOR STRUCTURAL PLAN

SHEET
S104.1



6

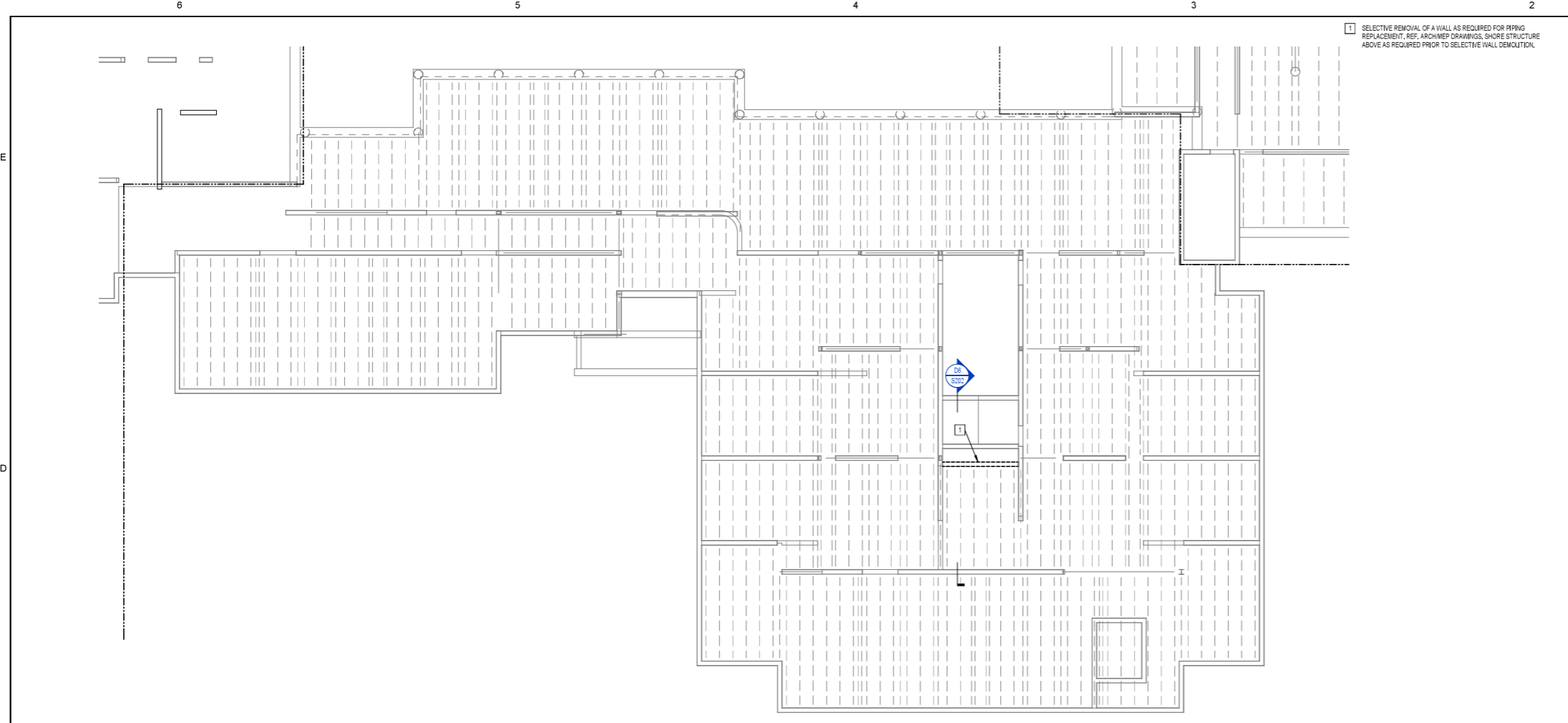
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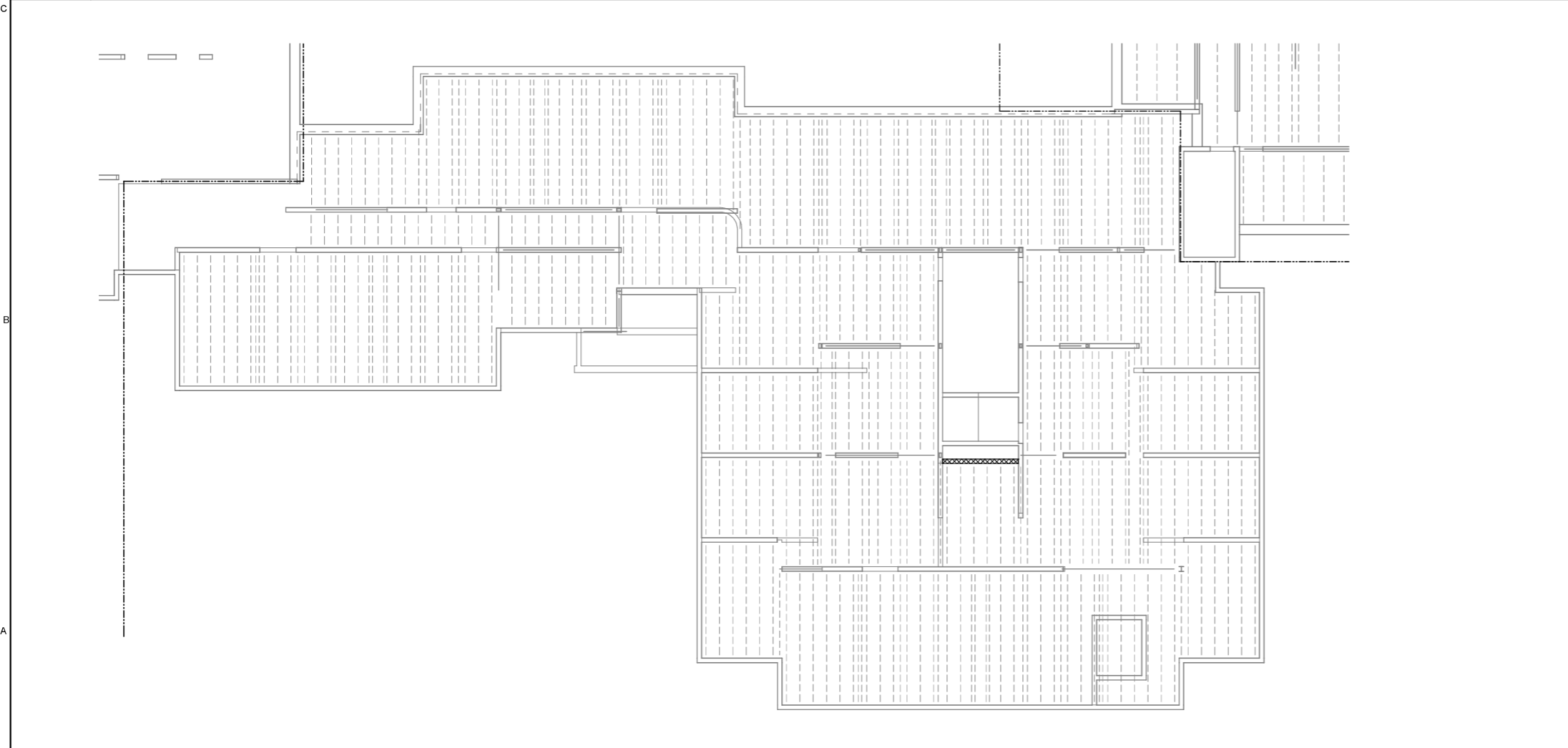
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2

1



C6 PHASE 4 SECOND FLOOR STRUCTURAL DEMO PLAN
1/8" = 1'-0"

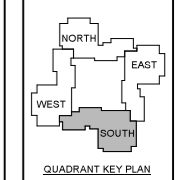
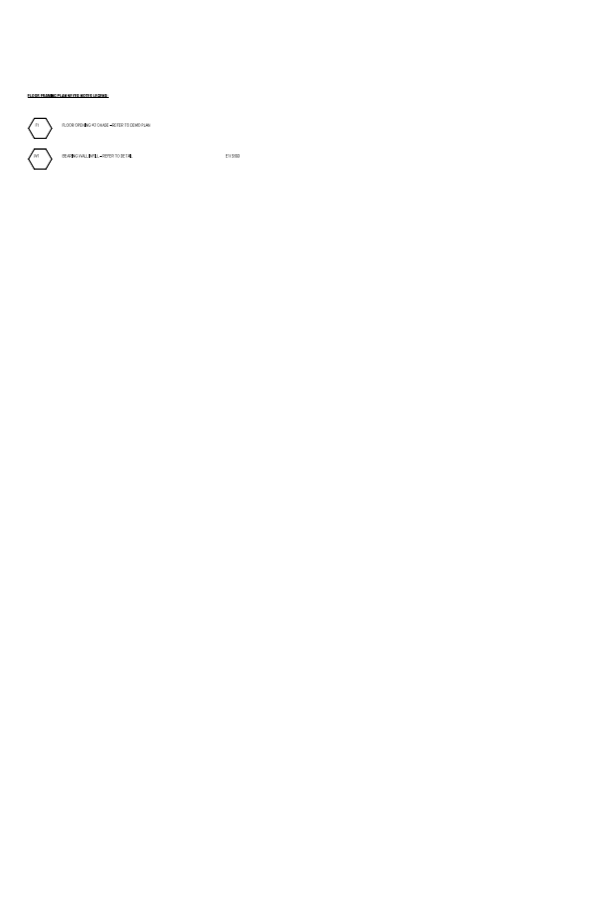


A6 PHASE 4 SECOND FLOOR STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

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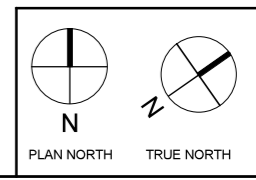
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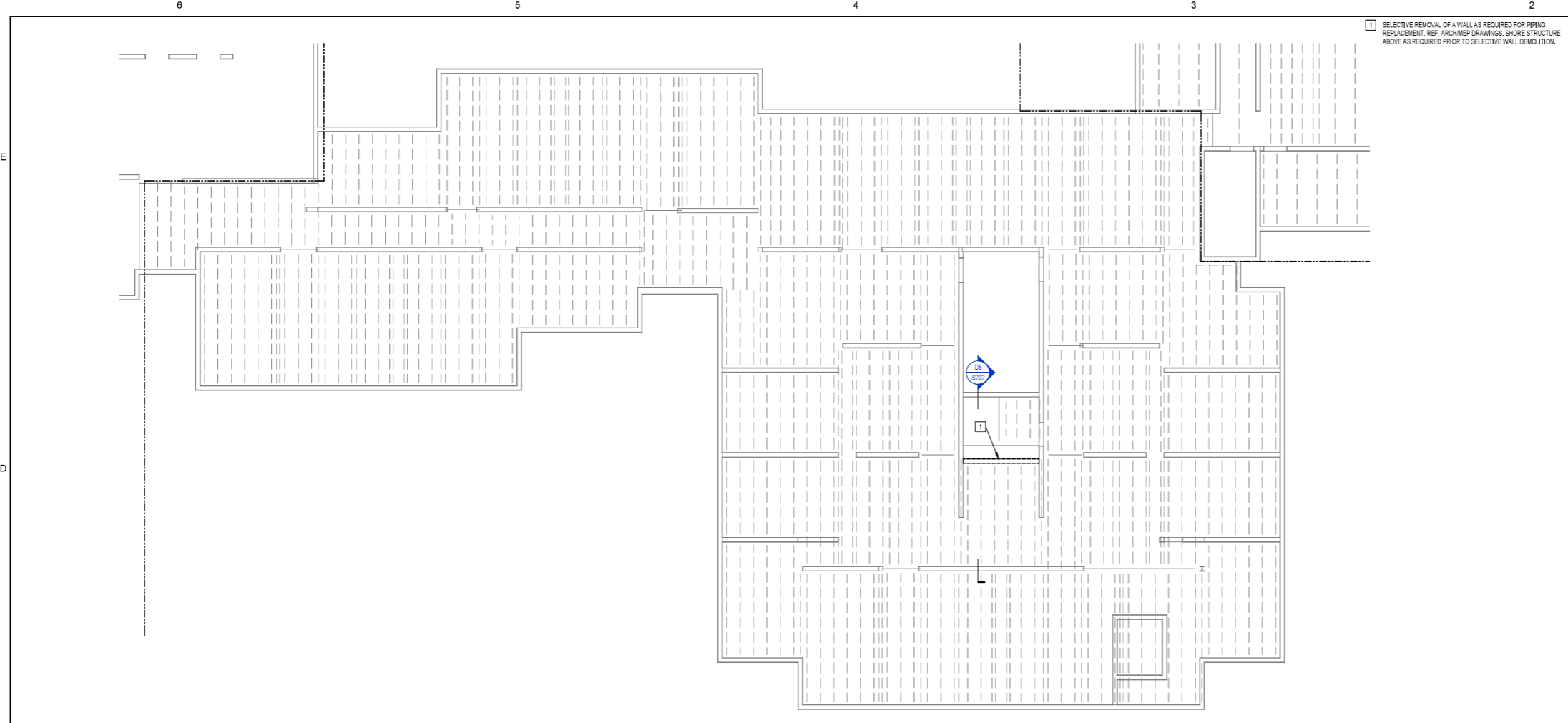
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TITLE
PHASE 4 SECOND
FLOOR STRUCTURAL
PLANS

SHEET
S104.2



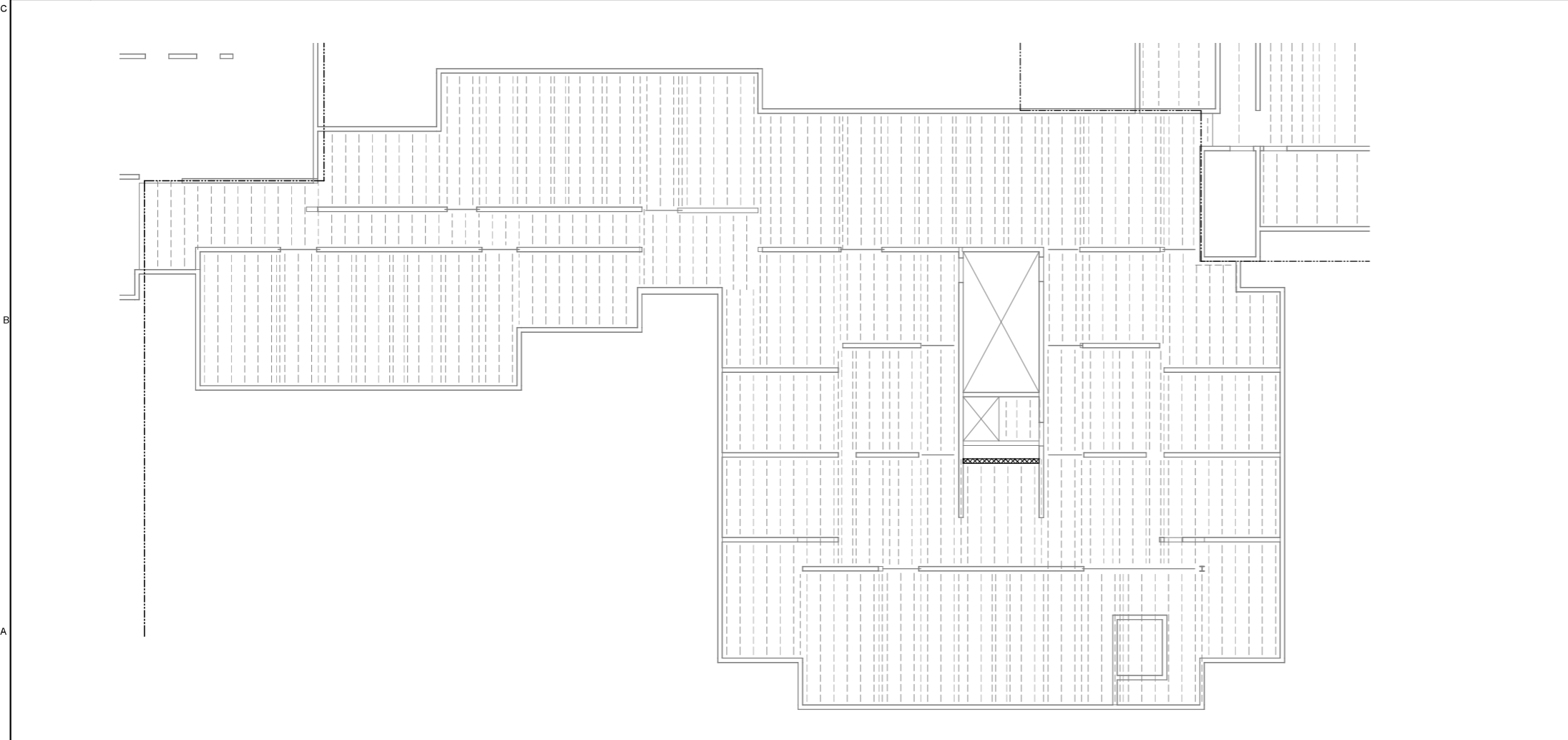


SELECTIVE REMOVAL OF A WALL AS REQUIRED FOR FRAMING REPLACEMENT, REF. ARCH/MEP DRAWINGS, SHORE STRUCTURE ABOVE AS REQUIRED PRIOR TO SELECTIVE WALL DEMOLITION.

- WALL TO BE REMOVED
- WALL TO REMAIN

- STRUCTURAL FRAMING
- FLOOR SLAB
- CEILING

C6 PHASE 4 THIRD FLOOR STRUCTURAL DEMO PLAN
1/8" = 1'-0"

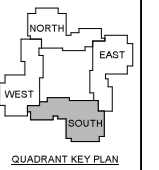


A6 PHASE 4 THIRD FLOOR STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

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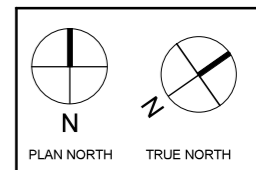
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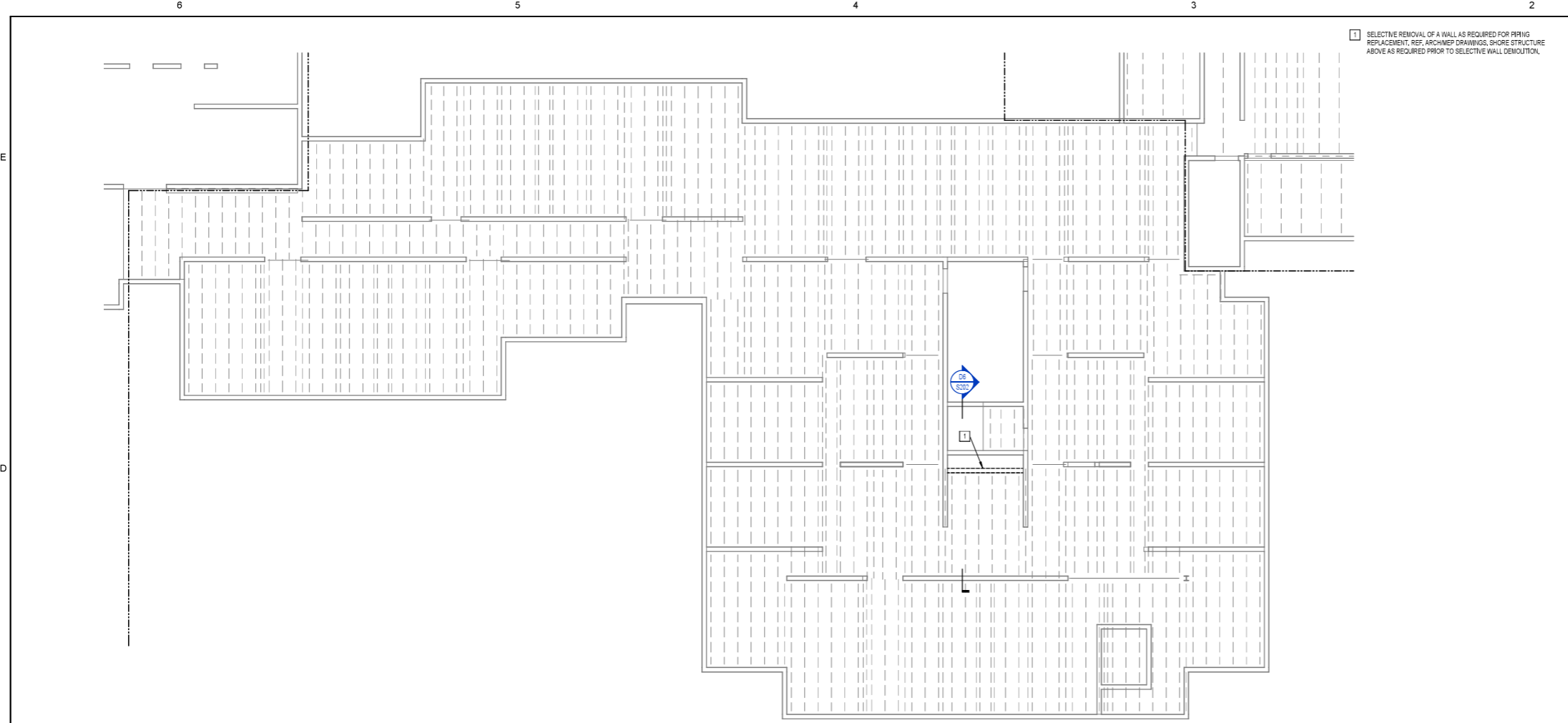
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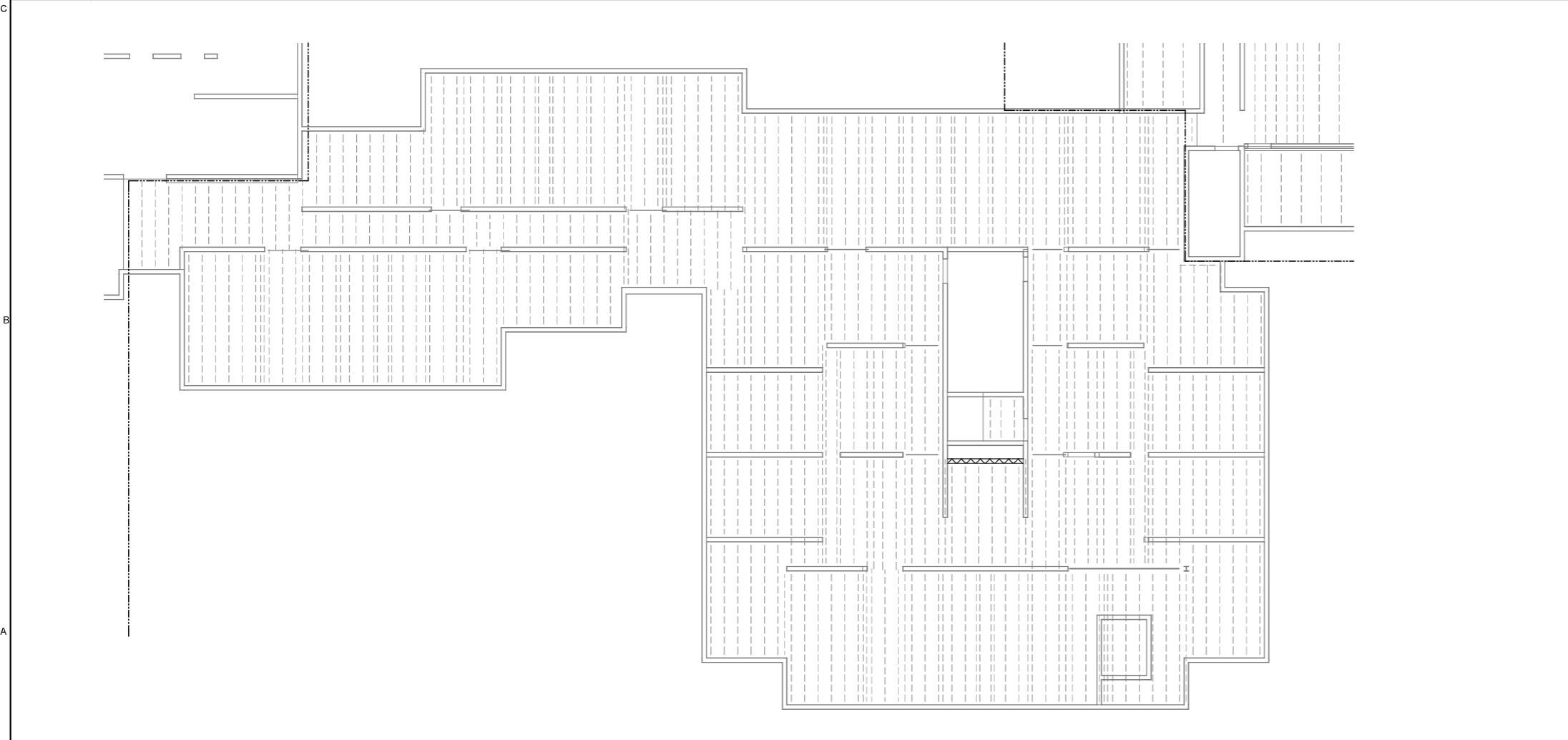
TITLE
PHASE 4 THIRD FLOOR
STRUCTURAL PLANS

SHEET
S104.3





C6 PHASE 4 FOURTH FLOOR STRUCTURAL DEMO PLAN
1/8" = 1'-0"

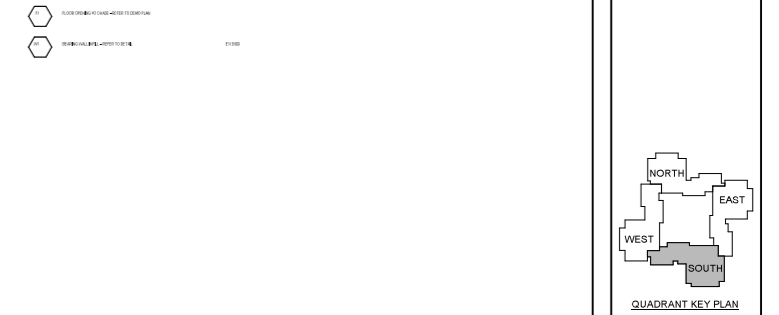


A6 PHASE 4 FOURTH FLOOR STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

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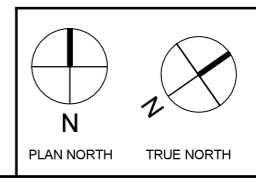
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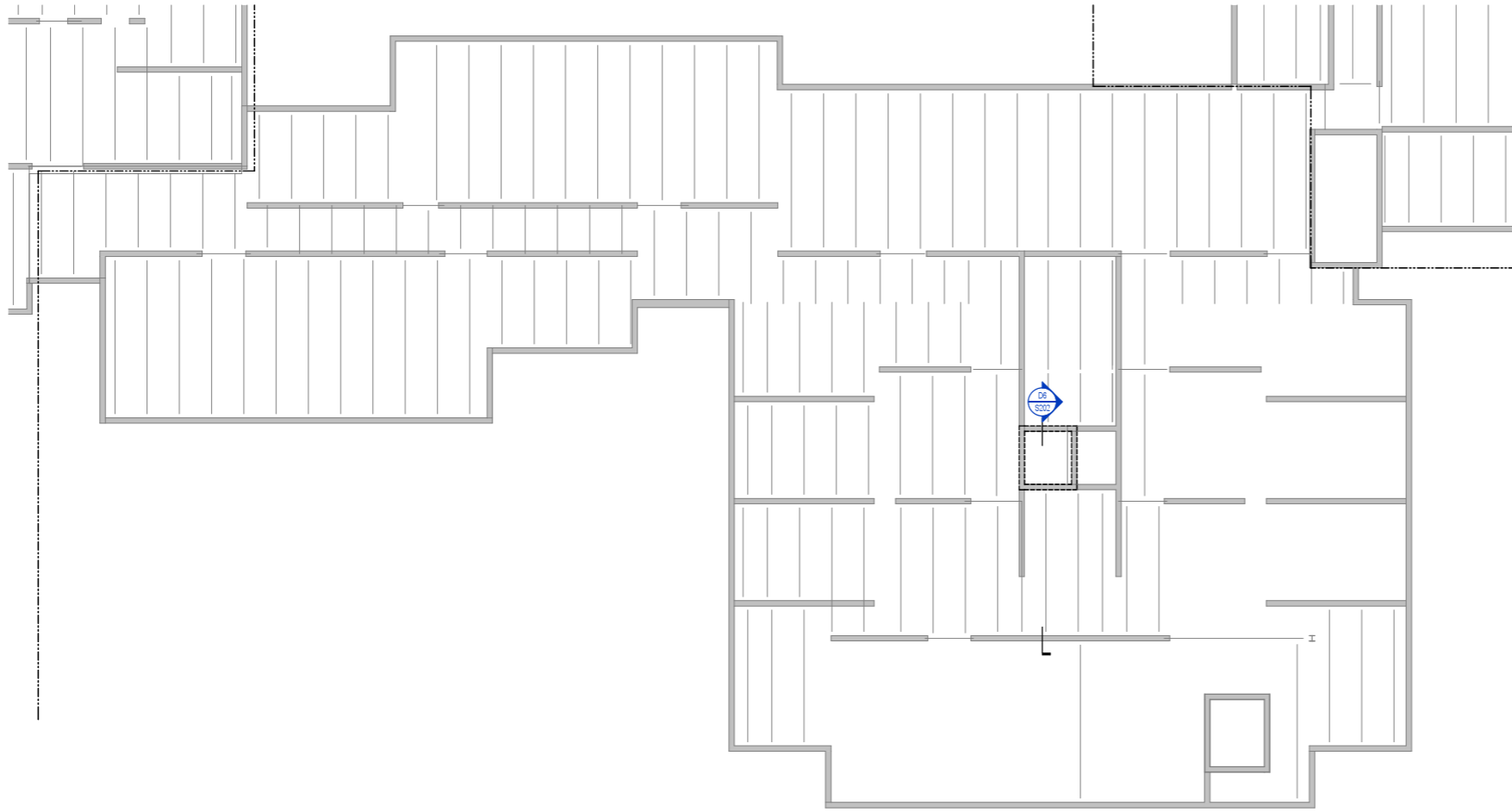
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S104.4



6 5 4 3 2 1

E

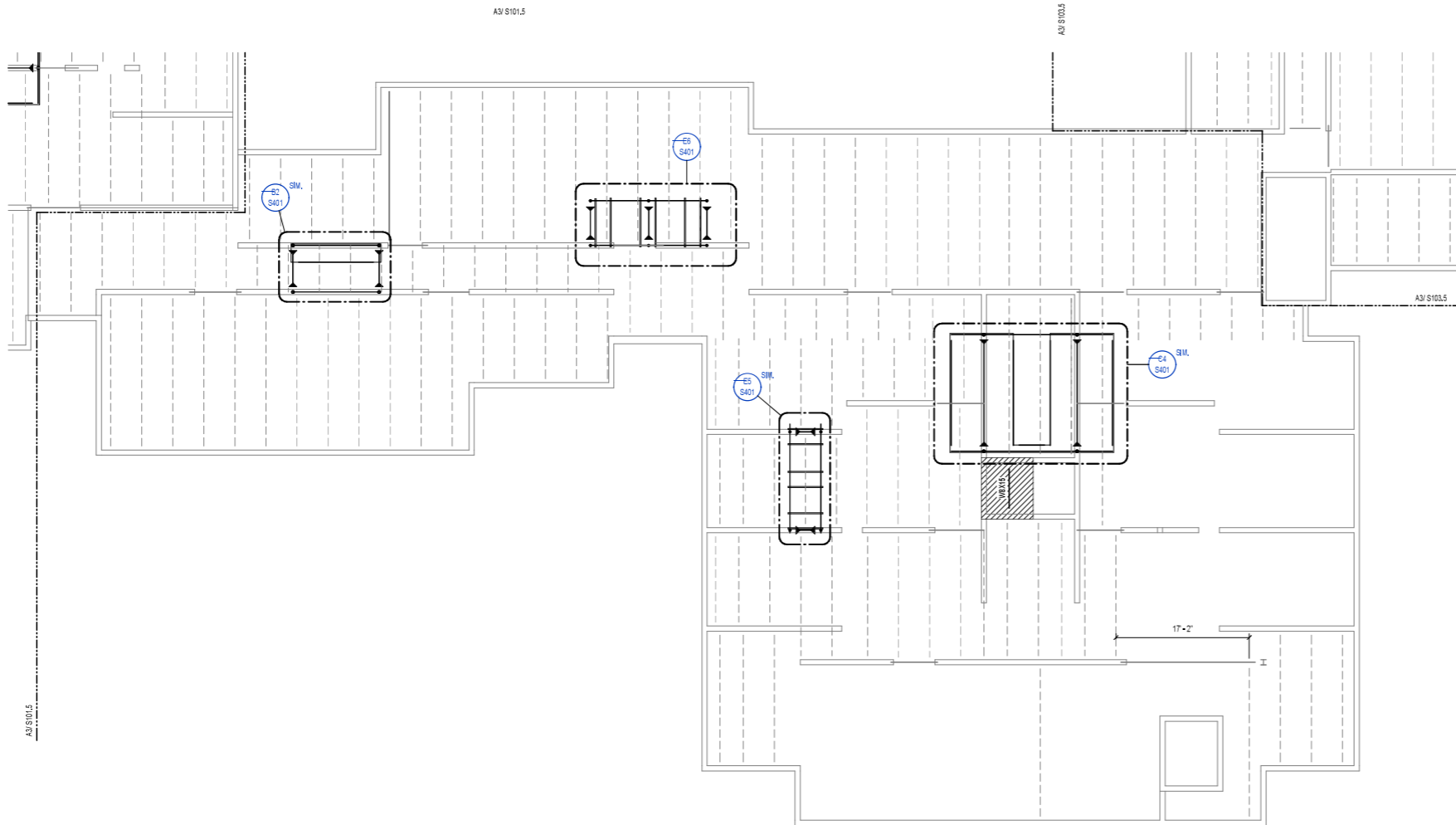
D



C6 PHASE 4 ROOF LEVEL STRUCTURAL DEMO PLAN
1/8" = 1'-0"

B

A



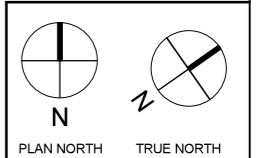
A6 PHASE 4 ROOF LEVEL STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

6 5 4 3 2 1

- DEMO
- EXISTING
- NEW
- NON-BEARING WALL INFILL
- BEARING WALL INFILL - REFER TO DETAIL E1/S500

- EXISTING
- NEW
- NON-BEARING WALL INFILL
- BEARING WALL INFILL - REFER TO DETAIL E1/S500

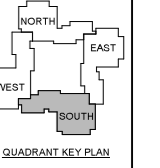
- 1' BEARING WALL INFILL
- 2' BEARING WALL INFILL
- 4' BEARING WALL INFILL
- 8' BEARING WALL INFILL
- W1 NON-BEARING WALL INFILL
- W2 BEARING WALL INFILL - REFER TO DETAIL E1/S500



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JOB NO.
075982

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11/22/2023

TITLE
PHASE 4 ROOF LEVEL STRUCTURAL PLANS

SHEET
S104.5

6

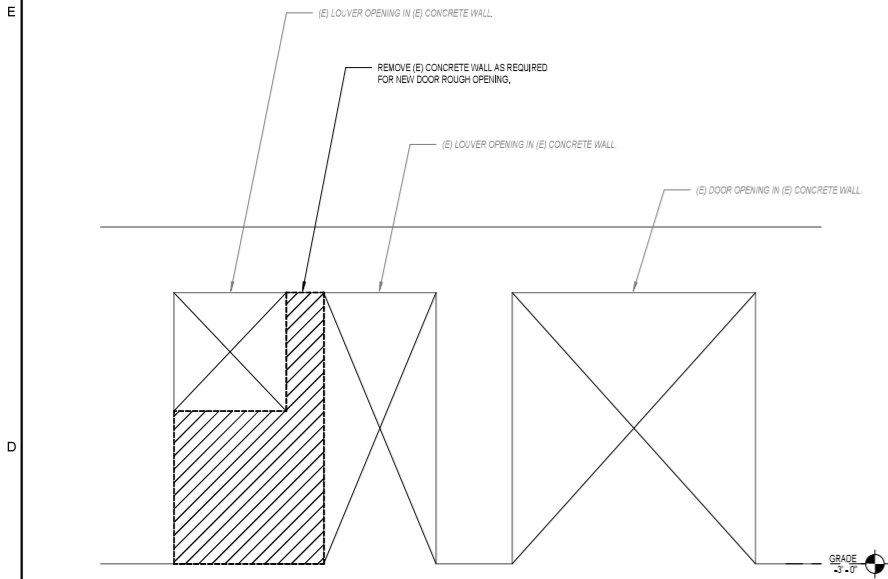
5

4

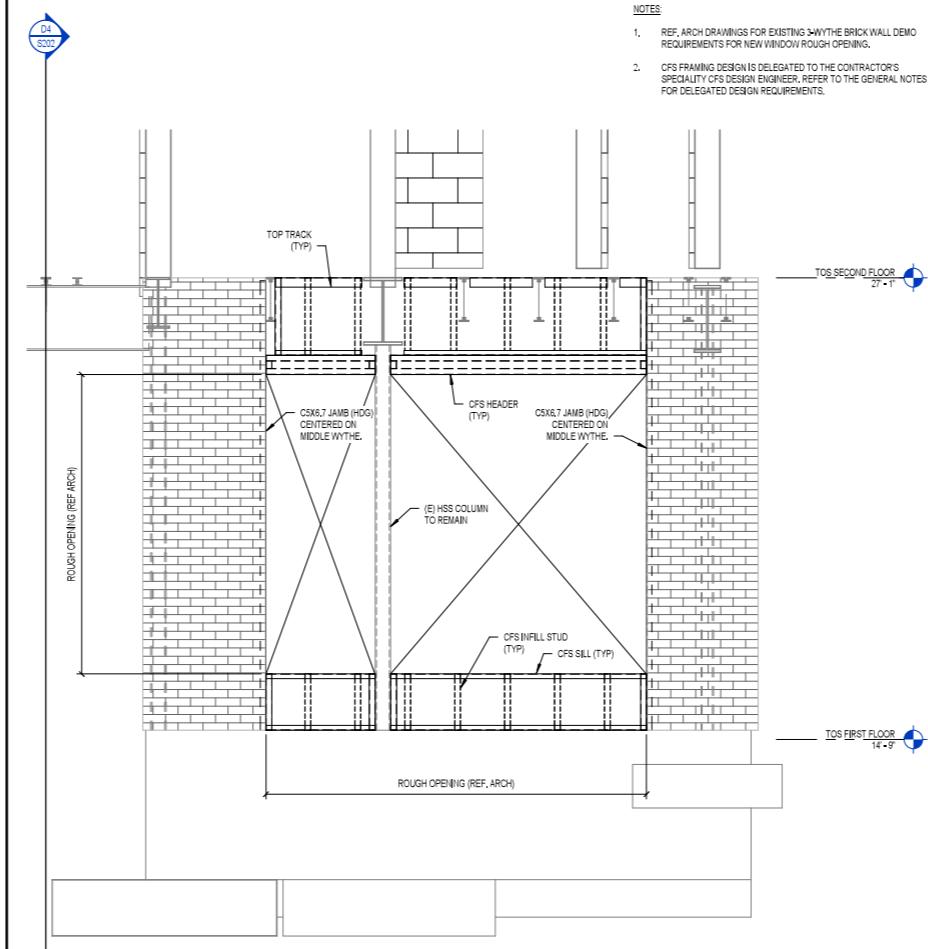
3

2

1

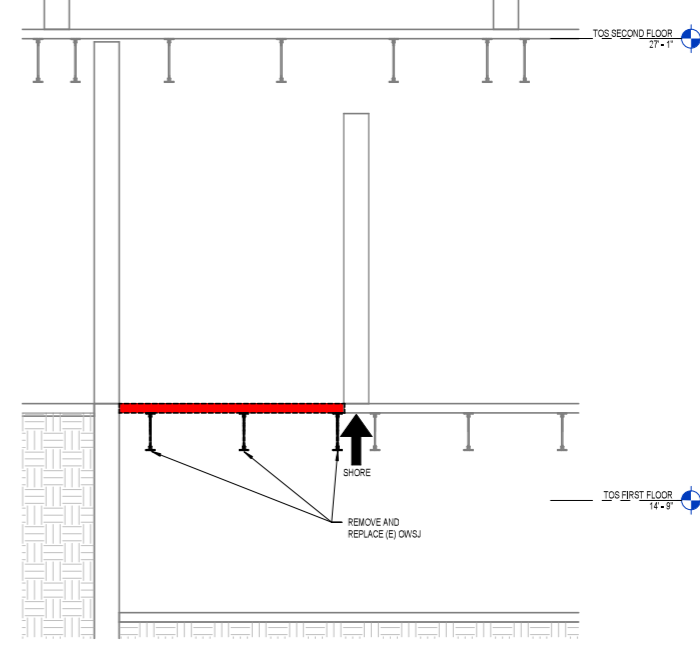


D6 ELECTRICAL ROOM WALL OPENING DEMO ELEVATION
1/2" = 1'-0"

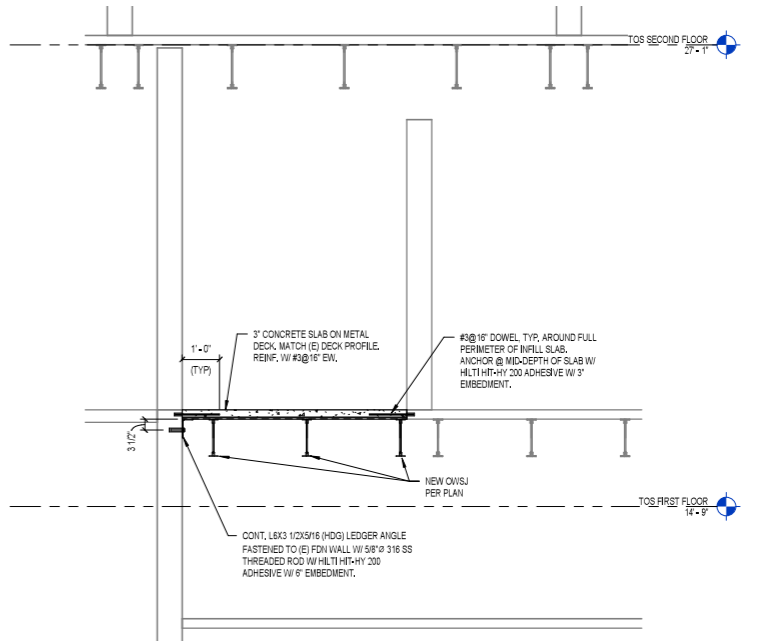


D4 ENTRY STRUCTURAL ELEVATION SOUTH
1/2" = 1'-0"

- NOTES
1. REF. ARCH DRAWINGS FOR EXISTING 3-WYTHE BRICK WALL DEMO REQUIREMENTS FOR NEW WINDOW ROUGH OPENING.
 2. CFS FRAMING DESIGN IS DELEGATED TO THE CONTRACTOR'S SPECIALTY CFS DESIGN ENGINEER. REFER TO THE GENERAL NOTES FOR DELEGATED DESIGN REQUIREMENTS.



D2 SECTION AT DETERIORATED CORRIDOR - REMOVALS
1/2" = 1'-0"



A2 SECTION AT DETERIORATED CORRIDOR - REPAIRS
1/2" = 1'-0"



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TITLE
STRUCTURAL SECTIONS AND ELEVATIONS

SHEET
S201

6

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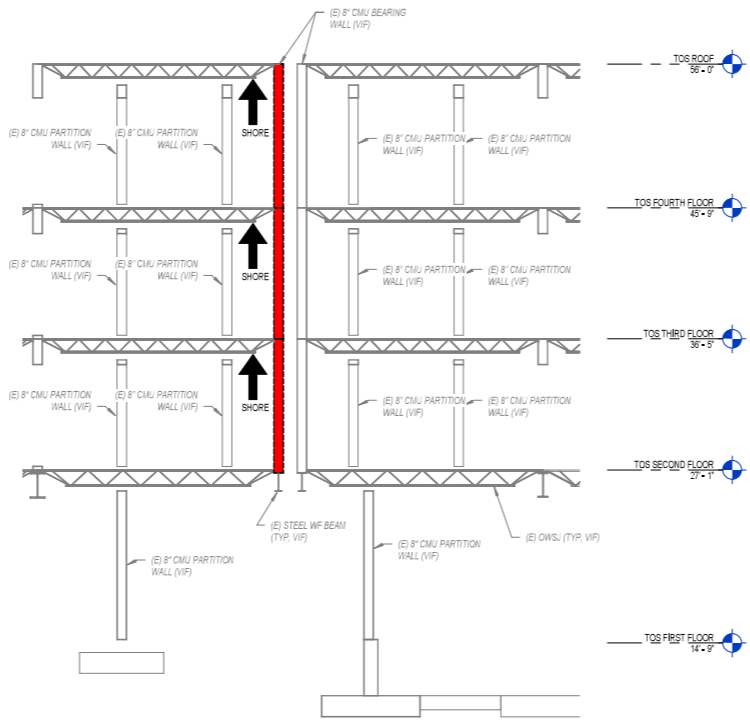
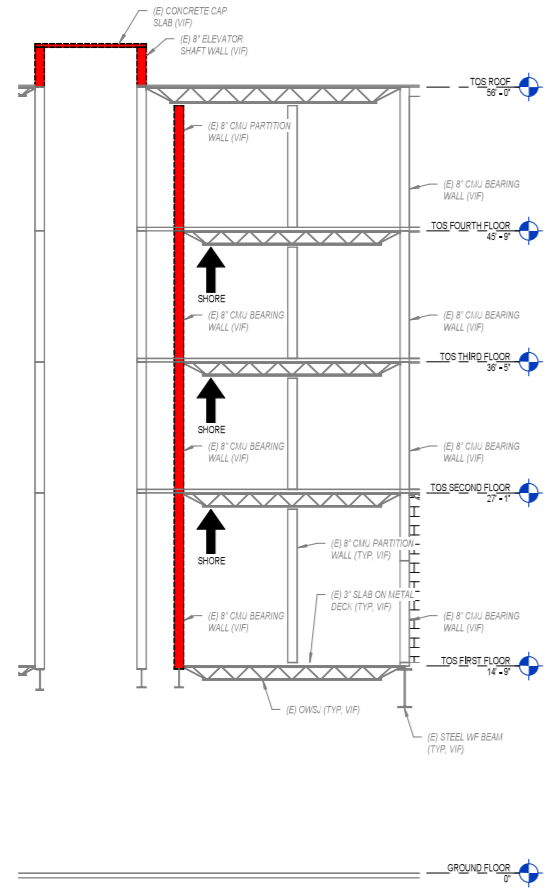
E

D

C

B

A



D6 SECTION

3/16" = 1'-0"

D4 SECTION

3/16" = 1'-0"



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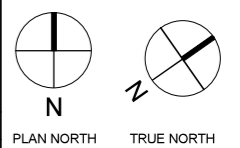
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TITLE
 STRUCTURAL
 SECTIONS AND
 ELEVATIONS

SHEET
S202



6

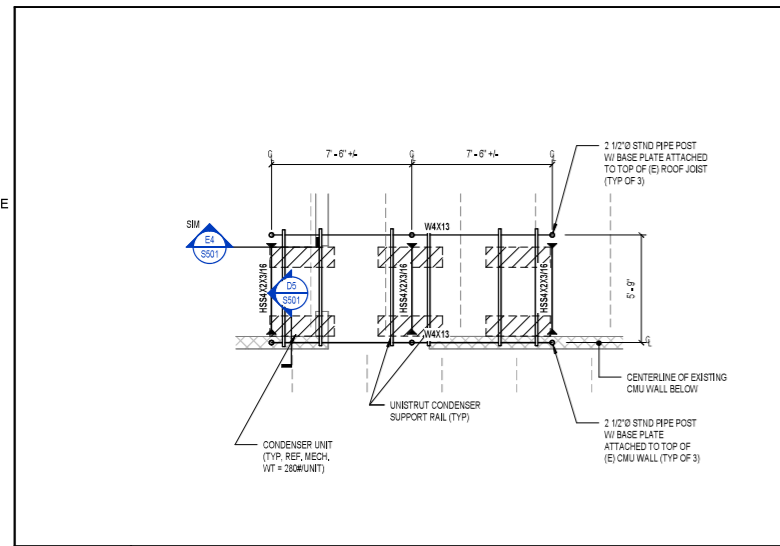
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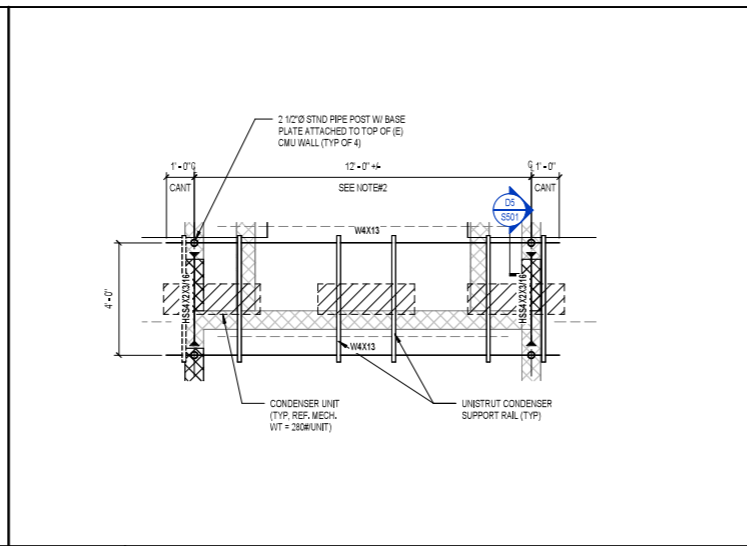
2

1



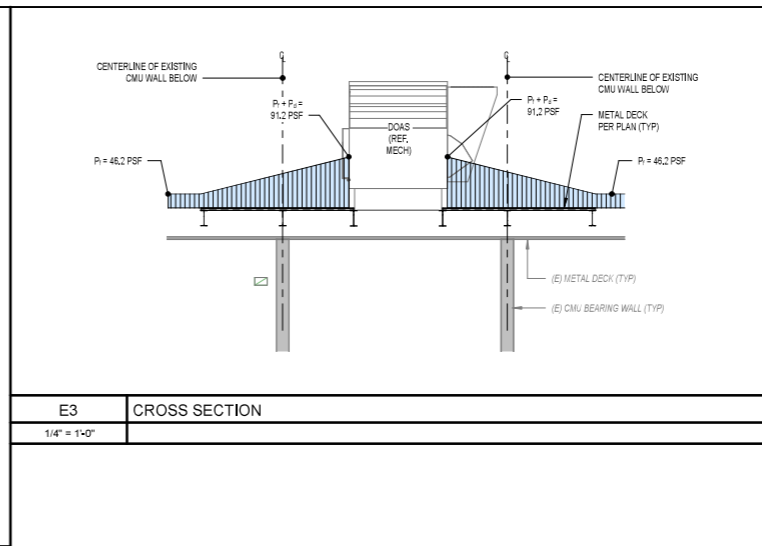
E6 ENLARGED CONDENSER DUNNAGE FRAMING PLAN

1/4" = 1'-0"



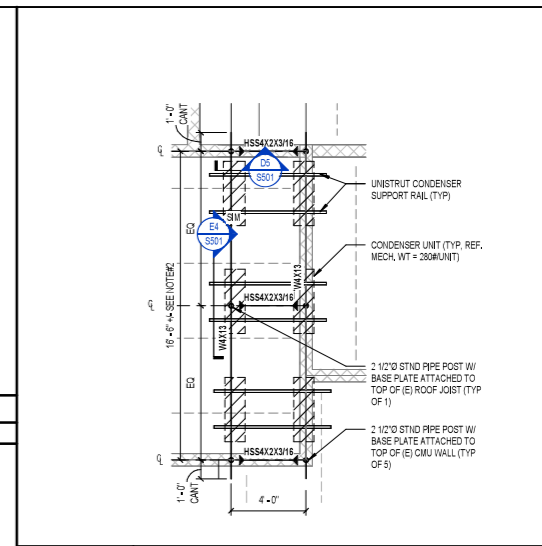
E5 ENLARGED CONDENSER DUNNAGE FRAMING PLAN

3/8" = 1'-0"



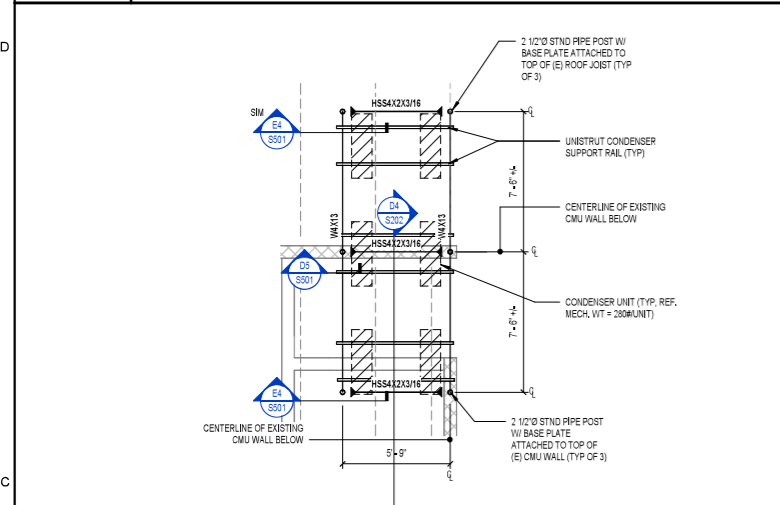
E3 CROSS SECTION

1/4" = 1'-0"



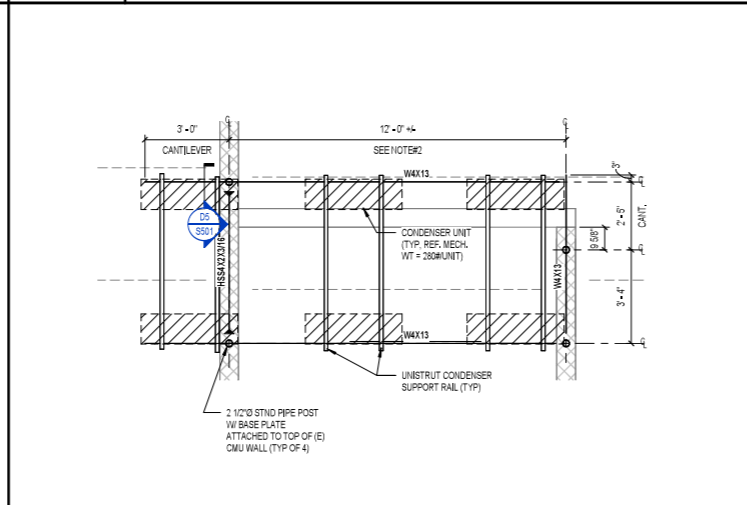
E1 ENLARGED CONDENSER DUNNAGE FRAMING PLAN

1/4" = 1'-0"



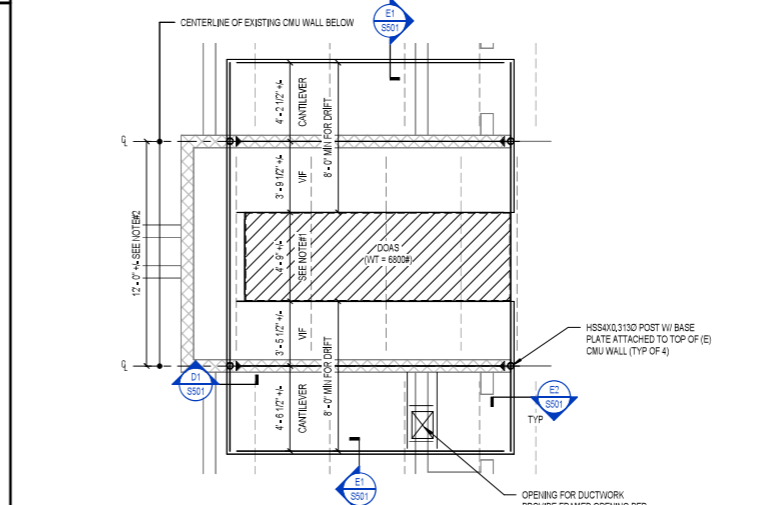
C6 ENLARGED CONDENSER DUNNAGE FRAMING PLAN

1/4" = 1'-0"



C4 ENLARGED CONDENSER DUNNAGE FRAMING PLAN

3/8" = 1'-0"



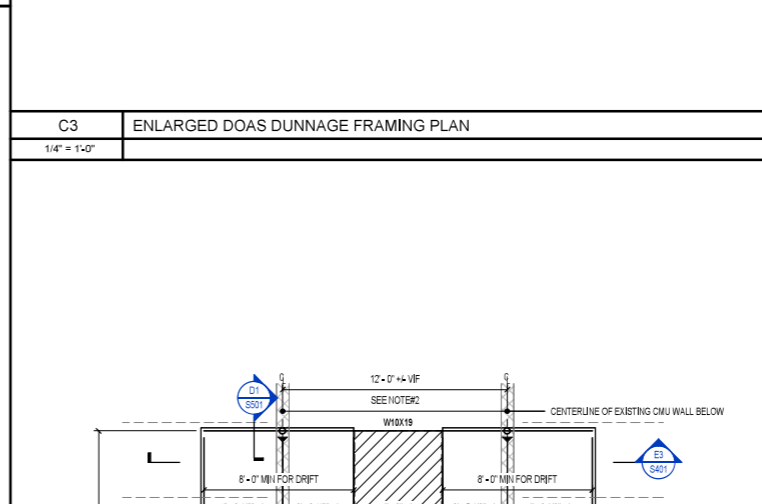
C3 ENLARGED DOAS DUNNAGE FRAMING PLAN

1/4" = 1'-0"



B2 ENLARGED DOAS DUNNAGE FRAMING PLAN

3/8" = 1'-0"

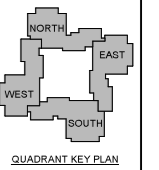
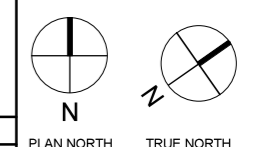


A3 ENLARGED DOAS DUNNAGE FRAMING PLAN

1/4" = 1'-0"

- DUNNAGE FRAMING PLAN NOTES:**
- COORDINATE FINAL DIMENSION WITH MECHANICAL UNIT SIZE AND ANCHORAGE POINTS.
 - COORDINATE FINAL DIMENSION WITH EXISTING 8" CMU WALL LOCATION BELOW - INTENTION IS FOR DUNNAGE POSTS TO BE LOCATED ON EXISTING WALL CENTERLINES.
 - DUNNAGE STEEL, INCLUDING CONNECTIONS AND ASSOCIATED FASTENERS SHALL BE GALVANIZED.
 - PROVIDE HOLES IN BEAM TOP FLANGE AT MOUNTING LOCATIONS FOR UNIT - GC SHALL COORDINATE LOCATIONS AND HOLES SIZES w/FABRICATOR AND UNIT SPECIFICATIONS.

- DUNNAGE FRAMING PLAN LEGEND:**
- RD1 INDICATES DECK SPAN OF 1 1/2" STEEL ROOF DECKING.
 - INDICATES MOMENT CONNECTION - SEE DET. B3/5500



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TITLE ENLARGED STRUCTURAL FRAMING PART PLANS

SHEET S401

6

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2

1

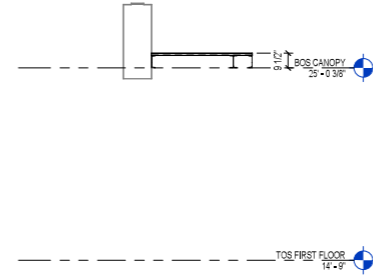
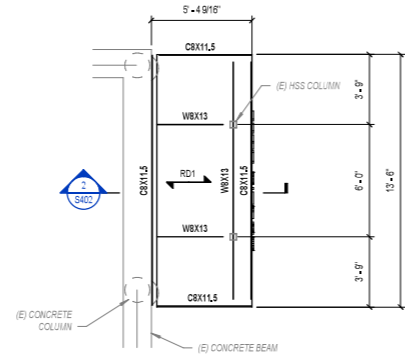
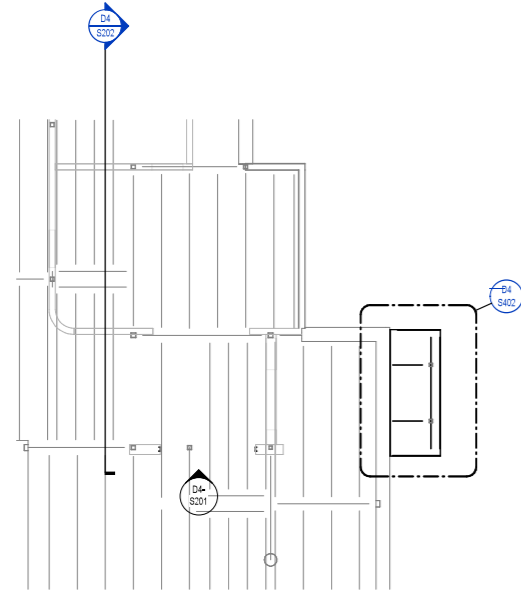
E

D

C

B

A



LEGEND

RD1 INDICATES DECK SPAN OF 1 1/2" STEEL ROOF DECKING.

INDICATES MOMENT CONNECTION - SEE DTL. XX/IS-201.

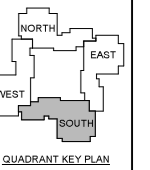
D6	LOBBY AREA PART PLAN	D4	CANOPY ENLARGED FRAMING PLAN	2	SECTION
1/8" = 1'-0"		1/4" = 1'-0"		1/4" = 1'-0"	



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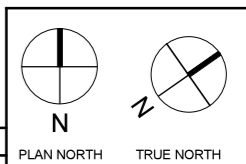
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TITLE
ENTRY CANOPY
STRUCTURAL FRAMING
PLAN

SHEET
S402



6

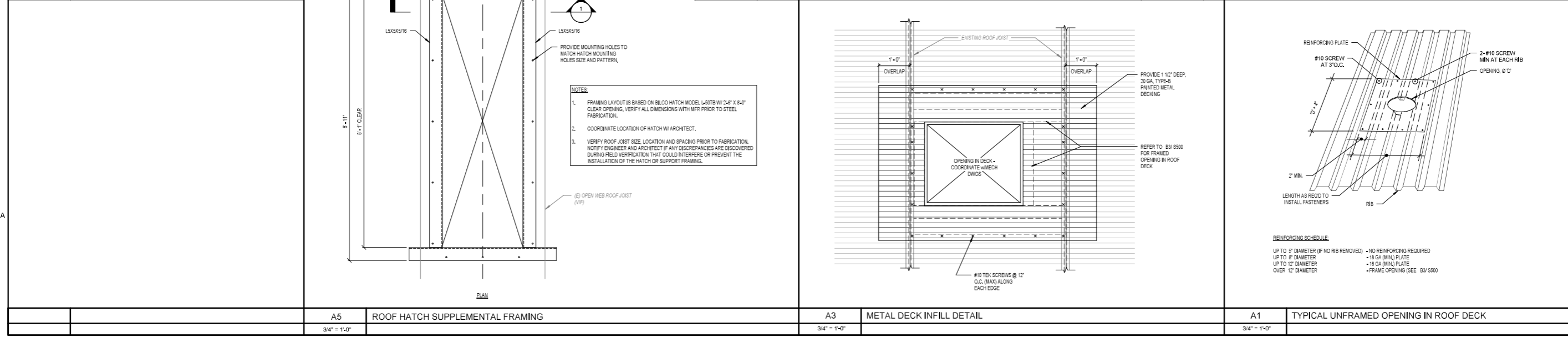
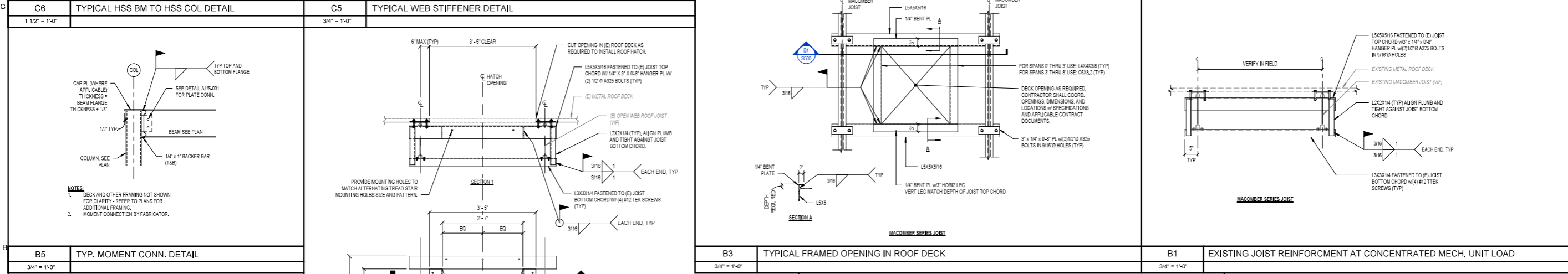
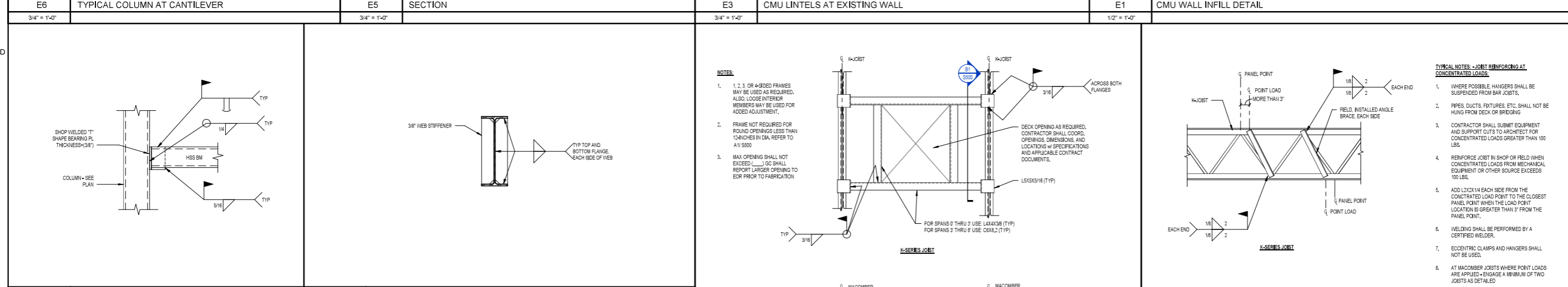
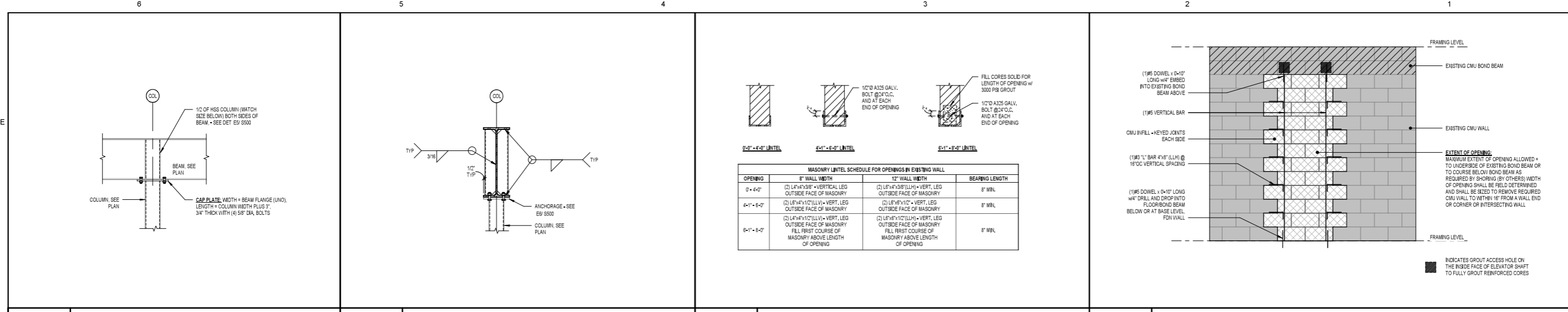
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		Revision Schedule

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TITLE
STRUCTURAL DETAILS

SHEET
S500

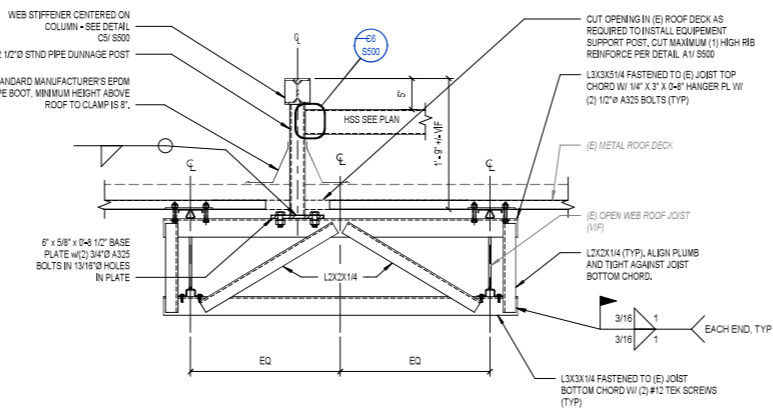
E

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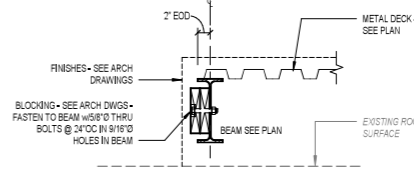
C

B

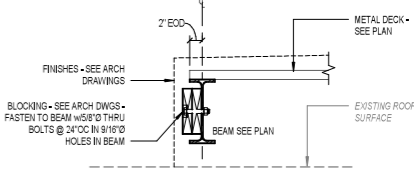
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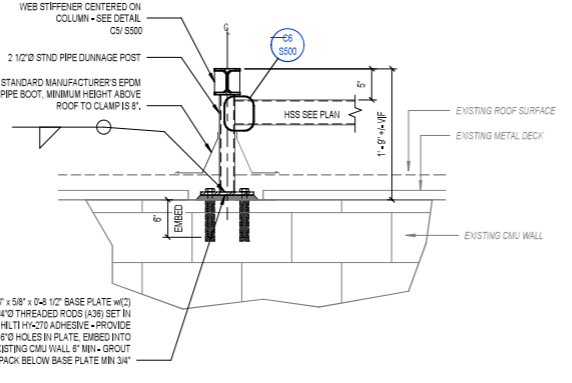
E4 2 1/2"Ø PIPE DUNNAGE POST ANCHORAGE AT EX JOIST
1" = 1'-0"



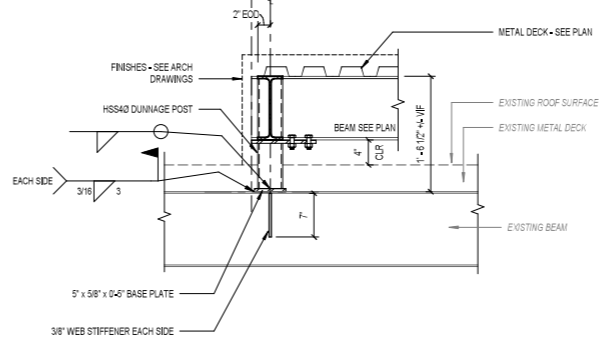
E2 DUNNAGE PLATFORM DECK NON-BRG
1" = 1'-0"



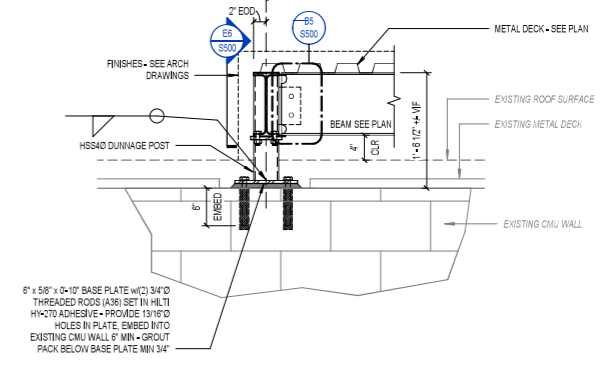
E1 DUNNAGE PLATFORM DECK BRG
1" = 1'-0"



D5 2 1/2"Ø PIPE DUNNAGE POST ANCHORAGE AT CMU
1" = 1'-0"



D3 HSS40 DUNNAGE POST ANCHORAGE AT EX BEAM
1" = 1'-0"



D1 HSS40 DUNNAGE POST ANCHORAGE AT CMU
1" = 1'-0"

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TITLE
STRUCTURAL DETAILS

SHEET
S501

SPRINKLER NOTES:

1. THE CONTRACTOR, UNDER THE SCOPE OF THIS PROJECT, SHALL FURNISH AND INSTALL, BASED ON THE CURRENT SPRINKLER PIPING ARRANGEMENT, TWO 4"O SUPERVISED ISOLATION VALVES WITH TAMPER SWITCHES AT EACH FLOOR OF THE FACILITY TO ENABLE ISOLATION OF HALF OF EACH FLOOR WHILE REMAINING AREAS REMAIN PROTECTED - REFER TO SPECIFICATION SECTION 211000 FOR SPECIFICS.
2. SPRINKLER COVERAGE AT ALL OCCUPIED SPACES SHALL REMAIN THROUGHOUT THE CONSTRUCTION PROJECT, REQUIRING THAT THE CONTRACTOR WORK AROUND LIVE SPRINKLER PIPING WITHIN THE CONSTRUCTION ZONE, SHUT DOWNS AS REQUIRED TO FACILITATE SPECIFIED SPRINKLER REVISIONS SHALL BE STRICTLY SCHEDULED WITH MAINE MARITIME ACADEMY AND SHALL BE LIMITED TO SHUT DOWN OF ONE FLOOR OF ONE OCCUPIED QUADRANT IN ADDITION TO THE CONSTRUCTION AREA AT ANY ONE TIME.
3. SCHEDULED SHUT DOWNS SHALL BE LIMITED TO 8 HRS DURING NORMAL SUPERVISED CONSTRUCTION TIMES.



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MEP General Phasing Requirements and Milestones

Phasing Document Development Notes:

1. Listed below is an outline/schematic version of an expected work/phasing plan. The general contractor will assemble a detailed work/phasing plan (with input from the respective system sub-contractors) for review and comment by the owner and the engineer of record prior to initiating any procurement/demolition/construction effort. The general contractor will set up a work/phasing plan meeting to acquire input from the owner and the design team. The work/phasing plan will include as a minimum each of the steps listed below, however, will elaborate with more detail, steps and information. Include in the work plan each step beginning with investigation work and following through to close-out, step ID and description, approximate duration, if shut-down required, quantity of staff utilized, tools and equipment required for step, systems/areas/loads at risk, contingency plans, start/stop date (and time of day, if necessary) for each step.
2. The contractor shall plan phasing of work tasks required for scope in an active phase in a manner that does not require related scope to be performed in or through a turned-over or completed phase. If work is required within a completed phase, that work shall be thoroughly coordinated with the Owner, preference being that the work in a completed phase should be performed during summer months only, when the building is less occupied.

West Phase (Phase one)

1. Initiate re-tubing of one steam boiler end of April 2024. Maintain other two steam boilers and associated systems related to the two out-buildings that they serve. Maintain steam/condensate to bookstore unit.
2. Demo steam-to-water heat exchangers for building heat, semi-instantaneous water heaters, hot water heating pumps starting end of May 2024.
3. Demo horizontal heating HWS/HWR mains, DHW/DCW/DHWR mains, above floor sanitary waste mains, storm water mains, and vent piping throughout the West Phase area, starting in the boiler room starting in May 2024.
4. Demo all HWS/HWR/DCW/DHW/DHWR/Sanitary/Vent/Storm piping within the West Phase area from Ground Floor up to the fourth floor starting in May 2024.
5. Install new hot water pumps, steam-to-water heat exchangers, glycol loop equipment, domestic water heaters, etc, and make operational by August 2024.
6. Install new horizontal HWS/HWR, GWS/R, DCW, DHW, DHWR mains from the boiler room through the Phase 1 areas, Valve and cap the mains at the Phase 2 & 4 boundaries for future connection to new piping in those phases. Provide temporary connection to existing Phase 2 and Phase 4 piping mains to facilitate temporary service for those phases from the new mains. Install vertical stubs with valves for upper floor piping mains in the Phase 1 area. New horizontal piping mains charged and operational for August 2024.
7. Replace all HWS/HWR/DHW/DCW/DHWR/Sanitary/Storm/Vent piping throughout the Phase 1 areas to be completed by January 2025.
8. Remove Phase 1 rooftop exhaust fans serving bathrooms throughout that phase area.
9. Remove steam air handler in the Phase 1 basement and cap steam/condensate piping at mains.
10. Install new DOAS/ERV units and associated ductwork to serve the Phase 1 areas (electrical power from new panels, temporarily fed from existing electrical infrastructure).
11. Install new dryer vent exhaust fan for the Phase 1 areas.
12. Install new VRF heat pumps throughout the Phase 1 areas (electrical power from new panels, temporarily fed from existing electrical infrastructure).
13. Test, adjust, balance, commission all new M+P systems within the Phase 1 areas for January 2025.
14. Install new interior lighting and controls (base and alternates as selected at contract)
15. Install new exit signs and emergency egress lighting systems
16. Install new exterior entry/egress (if alternate was selected at contract)
17. Replace existing legacy panelboards that have been scheduled for replacement
18. Install new 400 Amp HVAC distribution panel (at 4th floor) and temporarily connect it to the existing power distribution equipment in existing main electrical room. Provide splice box in existing main electrical room that will facilitate the permanent feed for this panel to the new switchgear under the next phase.
19. Wire new rooftop HVAC equipment to new 400 Amp panel, wire other HVAC loads to existing and replaced power distribution equipment.
20. Install new fire alarm devices (including NAC panels, batteries and power supplies needed to support new devices)
21. Route the conduits needed for 400 Amp HVAC panels scheduled to be installed in phase two, three and four through the work zone of this phase. Extend respective conduits and install related feeders under the associated phase.

North Phase (Phase two)

1. Demo horizontal heating HWS/HWR mains, DHW/DCW/DHWR mains, above floor sanitary waste mains, storm water mains, and vent piping throughout the Phase 2 areas, starting in January 2025
2. Demo all HWS/HWR/DCW/DHW/DHWR/Sanitary/Vent/Storm piping within the North phase area from ground floor up to the fourth floor starting in January 2025
3. Install new horizontal HWS/HWR, GWS/R, DCW, DHW, DHWR mains from the Phase 1 mains through Phase 2 areas to the Phase 3 boundary and provide temporary tie in to the existing mains in the Phase 3 area, with valves for isolation. This occurs primarily at the first-floor area with the exception of DHW which also serves the Phase 3 areas via horizontal piping through the Phase 2 area. Valve and cap the mains at the Phase 3 boundaries for future connection to new piping in that phase. Install vertical stubs with valves for upper floor piping mains in the Phase 2 area. The existing pipe mains serving the Phase 3 area shall remain operational at all times. As such the existing horizontal mains serving Phase 3 from the Phase 2 area shall remain operational until such time as the new tie ins from the new mains are installed and charged, to minimize interruption for Phase 3.
4. Replace all HWS/HWR/DHW/DCW/DHWR/Sanitary/Storm/Vent piping throughout the Phase 2 areas to be completed by August 2025.
5. Remove Phase 3 rooftop exhaust fans serving bathrooms throughout that phase area.
6. Install new DOAS/ERV units and associated ductwork to serve the Phase 2 area (electrical power from new panels and new infrastructure).
7. Install new dryer vent exhaust fan for the Phase 2 areas.
8. Install new VRF heat pumps throughout the Phase 2 areas (electrical power from new panels and new infrastructure).
9. Install new generator, ATS, triple switch, transformer and make operational by August 2025.
10. Re-feed west phase electrical distribution panels/panelboards from new switchgear and power distribution infrastructure - Summer 2025
11. Test, adjust, balance, commission all new MEP systems within the north phase and new electrical infrastructure for August 2025. Adjust heating hot water pump pressure setpoints as required.
12. Install new interior lighting and controls (base and alternates as selected at contract)
13. Install new exit signs and emergency egress lighting systems
14. Install new exterior entry/egress and parking area lighting (if alternate was selected at contract)
15. Replace existing legacy panelboards that have been scheduled for replacement
16. Install new 400 Amp HVAC distribution panel (at 4th floor)
17. Wire new rooftop HVAC equipment to new 400 Amp panel, wire other HVAC loads to existing and replaced power distribution equipment
18. Install new fire alarm devices (including NAC panels, batteries and power supplies needed to support new devices)
19. Route the conduits needed for 400 Amp HVAC panels scheduled to be installed in phase three through the work zone of this phase. Extend respective conduit and install related feeder under the associated phase.

East Phase (Phase three)

1. Demo horizontal heating HWS/HWR mains, DHW/DCW/DHWR mains, above floor sanitary waste mains, storm water mains, and vent piping throughout the Phase 3 area, starting in May 2025
2. Demo all HWS/HWR/DCW/DHW/DHWR/Sanitary/Vent/Storm piping within the Phase 3 area from ground floor up to the fourth floor starting in May 2025
3. Install new horizontal HWS/HWR, GWS/R, DCW, DHW, DHWR mains from the horizontal Phase 2 mains (first and third floors) through the Phase 3 area to the Phase 4 boundary. Install vertical stubs with valves for upper floor piping mains in the Phase 3 area.
4. Replace all HWS/HWR/DHW/DCW/DHWR/Sanitary/Storm/Vent piping throughout the Phase 3 areas to be completed by August 2025.
5. Remove Phase 3 rooftop exhaust fans serving bathrooms throughout that phase area.
6. Install new DOAS/ERV units and associated ductwork to serve the Phase 3 area (electrical power from new panels and new infrastructure).
7. Install new dryer vent exhaust fan for the Phase 3 area.
8. Install new VRF heat pumps throughout the East Phase area (electrical power from new panels and new infrastructure).
9. Complete MEP installations throughout the renovated Quarter Deck area.
10. Test, adjust, balance, commission all new MEP systems within the east phase for January 2026. Adjust heating hot water pump pressure setpoints as required.
11. Install new interior lighting and controls (base and alternates as selected at contract)
12. Install new exit signs and emergency egress lighting systems
13. Install new exterior entry/egress and courtyard lighting (if alternate was selected at contract)
14. Replace existing legacy panelboards that have been scheduled for replacement
15. Install new 400 Amp HVAC distribution panel (at 4th floor)
16. Wire new rooftop HVAC equipment to new 400 Amp panel, wire other HVAC loads to existing and replaced power distribution equipment
17. Install new fire alarm devices (including NAC panels, batteries and power supplies needed to support new devices)

South Phase (Phase four)

1. Demo horizontal heating HWS/HWR mains, DHW/DCW/DHWR mains, above floor sanitary waste mains, storm water mains, and vent piping throughout the Phase 4 area, starting in January 2025
2. Demo all HWS/HWR/DCW/DHW/DHWR/Sanitary/Vent/Storm piping within the Phase 4 area from ground floor up to the fourth floor starting in January 2025
3. Demo the steam air handler and associated ductwork serving the Phase 4 area.
4. Replace all HWS/HWR/DHW/DCW/DHWR/Sanitary/Storm/Vent piping throughout the Phase 4 area.
5. Connect to new mains installed in Phase 1. Work to be completed by January 2025.
6. Remove Phase 4 rooftop exhaust fans serving bathrooms throughout the Phase 4 area.
6. Install new DOAS/ERV units and associated ductwork to serve the Phase 4 area (electrical power from new panels and new infrastructure).
7. Install new dryer vent exhaust fan for the Phase 4 area.
8. Install new VRF heat pumps throughout the Phase 4 area (electrical power from new panels and new infrastructure).
9. Final test, adjust, balance, commission all new MEP systems within the east phase for January 2026. Adjust heating hot water pump pressure setpoints as required.
10. Install new interior lighting and controls (base and alternates as selected at contract)
11. Install new exit signs and emergency egress lighting systems
12. Install new exterior entry/egress (if alternate was selected at contract)
13. Replace existing legacy panelboards that have been scheduled for replacement
14. Install new 400 Amp HVAC distribution panel (at 4th floor)
15. Wire new rooftop HVAC equipment to new 400 Amp panel, wire other HVAC loads to existing and replaced power distribution equipment
16. Install new fire alarm devices (including NAC panels, batteries and power supplies needed to support new devices)

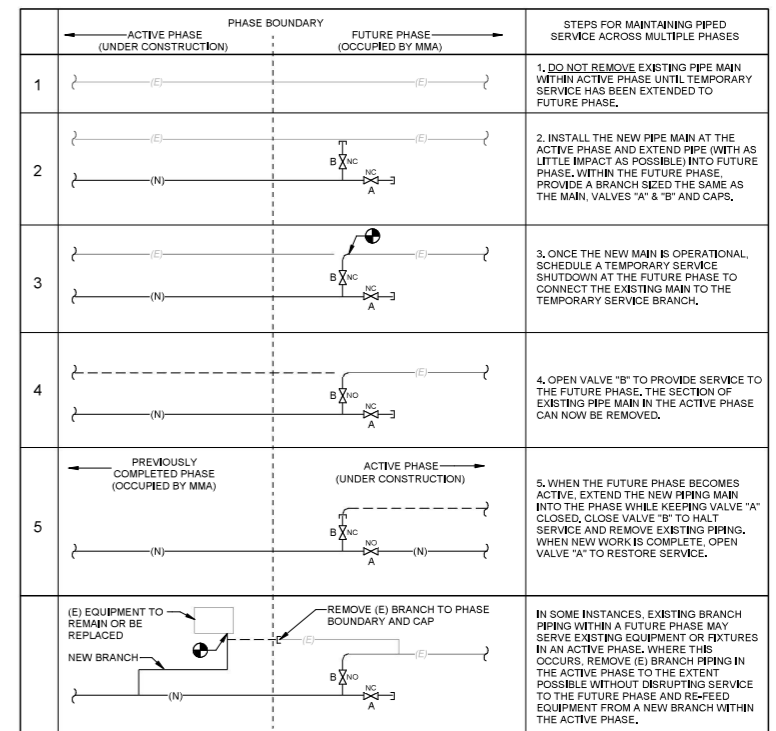
General Phased Hydronic Balancing Notes

1. Prior to conducting demolition of HWS/HWR piping/systems, the contractor shall document the operating head of the existing hot water heating pumps.
2. Upon installation of new hot water heating pumps, the contractor shall set the system D.P. to maintain that of the existing system to ensure flow to all "Future Phases" as currently exists.
3. Once Phase 4 is complete and all new piping and systems are operational, the contractor shall adjust the system D.P. based upon actual system requirements.

NOTE: WORK ON THIS PROJECT SHALL BE COMPLETED IN 4 SCHEDULED CONSTRUCTION PHASES, WHILE CONSTRUCTION IN ANY GIVEN PHASE IS ACTIVE, MAINE MARITIME ACADEMY WILL CONTINUE TO OCCUPY THE REMAINING INACTIVE PHASES.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SERVICES (INCLUDING BUT NOT LIMITED TO DOMESTIC WATER SUPPLY, HYDRONIC SUPPLY & RETURN, RAIN WATER DRAINAGE, VENT SYSTEMS, ETC.) TO INACTIVE PHASES DURING CONSTRUCTION. THE METHOD SHOWN BELOW IS ONE THAT CAN BE USED TO MAINTAIN PIPED SERVICES TO ADJACENT PHASES BUT IS NOT NECESSARILY THE ONLY METHOD AND IS NOT INTENDED TO LIMIT HOW THE CONTRACTOR MEETS THIS RESPONSIBILITY.

ANY INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS OF THE BUILDING SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY.



No.	Date	Description
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TITLE M-E-P PHASING NOTES

SHEET

MEP000

ACCESS PANEL NOTE:

COORDINATE WITH DIMENSION 8 FOR INSTALLATION OF ARCHITECTURAL ACCESS PANELS TO THE EXTENT REQUIRED TO ACCESS DEVICES REQUIRING ROUTINE MAINTENANCE. WHERE LOCATED ABOVE/BEHIND HARD SURFACES, THESE ITEMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- ISOLATION VALVES
- CONTROL VALVES
- ACTUATORS
- VOLUME DAMPERS
- SHOCK ARRESTORS
- SOLENOID VALVES
- CONTROL TRANSFORMERS
- CONTROLLERS
- FIRE AND SMOKE DAMPERS

ACCESS PANELS SHALL BE SIZED TO PROMOTE ADEQUATE ACCESS TO THE DEVICE SERVICED - 12" X 12" MINIMUM, ADDITIONALLY, ACCESS PANELS (24" X 24") SHOULD BE INSTALLED FOR ACCESS TO ALL PLUMBING CHASES.



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E6 HVAC AND PLUMBING NOTES

Table containing HVAC and plumbing symbols and notes. Includes categories like PIPE ELBOW TURNED DN, GLOBE VALVE, STEAM TRAP, EXPANSION LOOP, CHANGE IN ELEVATION, MOTORIZED DAMPER, REGISTER, GRILLE & DIFFUSER TAG, FINTUBE TAG, VAV TAG, EQUIPMENT TAG, and DETAIL REFERENCE SYMBOL.

C6 SYMBOLS LEGEND

Table containing symbols legend and abbreviations. Includes categories like ACID WASTE, LIQUID NITROGEN, AUTOMATIC AIR VENT, COPPER, CONDENSING UNIT, FORCE MAIN, NOT IN CONTRACT, TIGHT TO STEEL, and various pipe types and materials.

A6 PIPING LINETYPE LEGEND

Table for piping linetype legend, showing line styles for different pipe materials and types.

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421

Table with 2 columns: No., Date, Description. Revision Schedule.

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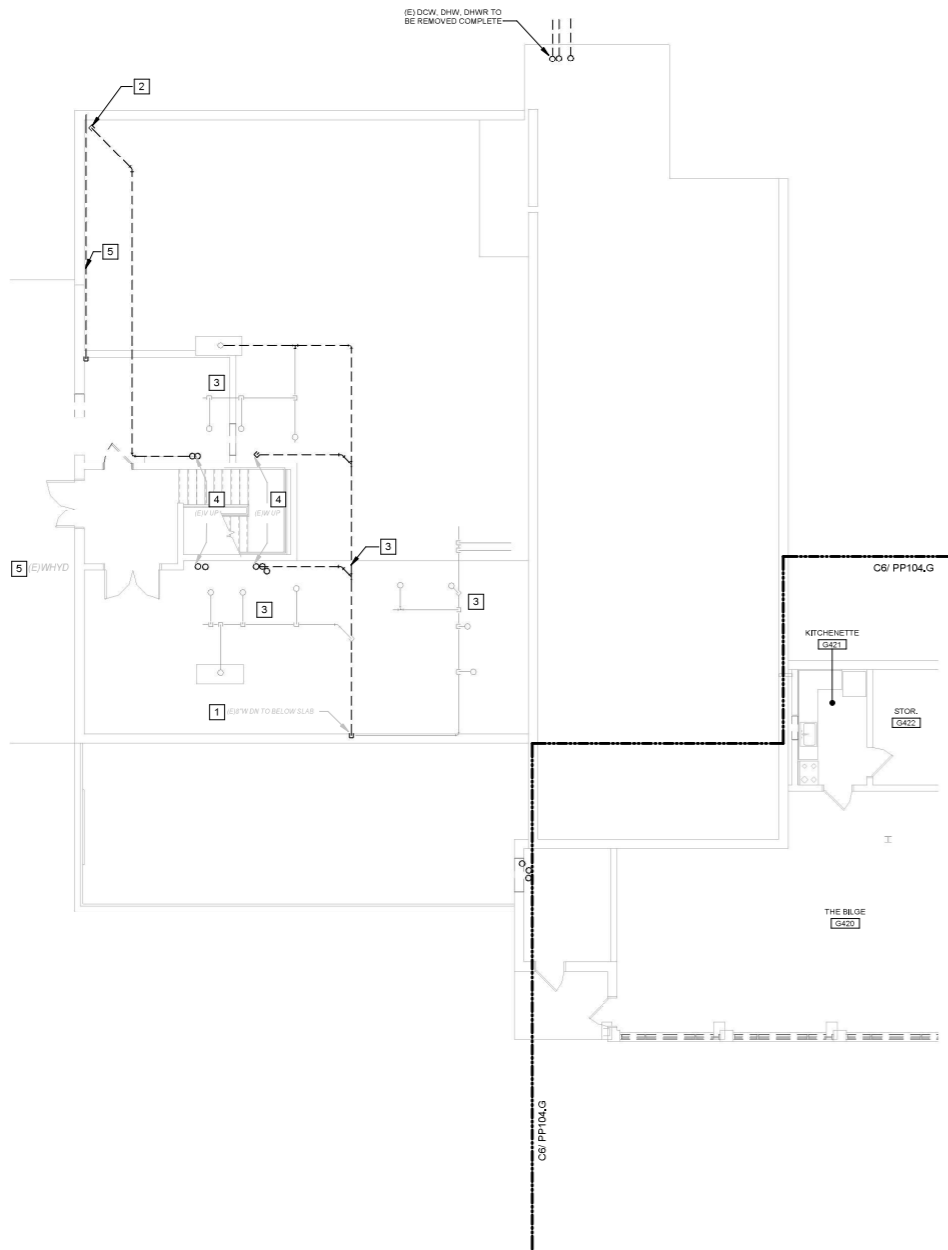
TITLE
PLUMBING AND HVAC NOTES, LEGEND AND ABBREVIATIONS

SHEET
P000

NOTE
ALL GENERAL NOTES, SYMBOL LEGENDS AND DETAILS ARE TO BE CONSIDERED AS APPLICABLE TO ALL PLUMBING AND HVAC DRAWINGS FOR THIS PROJECT. SYMBOLS AND ABBREVIATIONS SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY AND DO NOT INDICATE THEIR INCORPORATION INTO THE DESIGN.

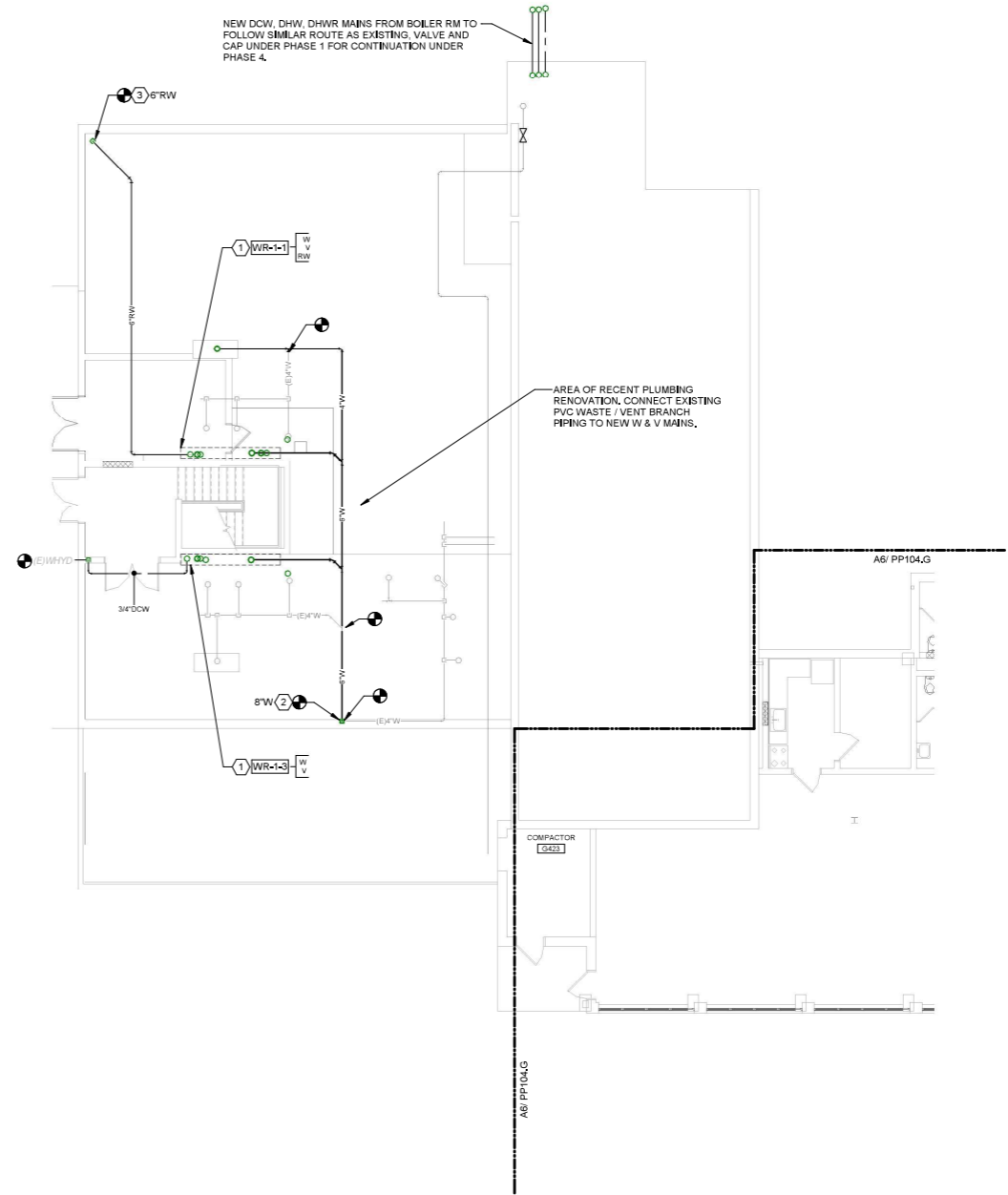
DEMOLITION KEYED NOTES:

- 1 REMOVE EXISTING WASTE PIPING TO WITHIN 12 INCHES OF SLAB - PREPARE FOR NEW PIPE CONNECTION.
- 2 REMOVE EXISTING RAINWATER DRAIN PIPING TO WITHIN 12 INCHES OF SLAB - PREPARE FOR NEW PIPE CONNECTION.
- 3 AREA OF RECENT PLUMBING RENOVATION, REMOVE EXISTING METALLIC WASTE PIPE MAIN, NEWER PVC BRANCH PIPING TO REMAIN.
- 4 EXISTING PLUMBING RISERS TO BE REMOVED, SEE PD501.
- 5 (E) PVC CONDUIT AND DIESEL FUEL PIPING TO (E) GENERATOR TO REMAIN UNTIL THE NEW GENERATOR IS OPERATIONAL, ONCE THE NEW GENERATOR IS OPERATIONAL, REMOVE (E) FUEL PIPING AND PVC CONDUIT COMPLETE (PHASE 2).



KEYED NOTES:

- 1 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P501.
- 2 NEW W DN, CONNECT TO EXISTING PIPING ABOVE SLAB, PROVIDE CLEANOUT IN DROP.
- 3 NEW RW DN, CONNECT TO EXISTING PIPING ABOVE SLAB, PROVIDE CLEANOUT IN DROP.

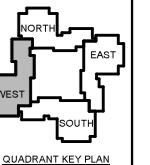
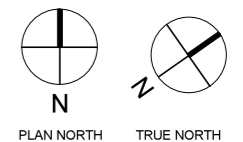


GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING, REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES, THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION, SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS, INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY, SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



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TITLE
PHASE 1 GROUND FLOOR PLUMBING DEMOLITION & NEW PLANS

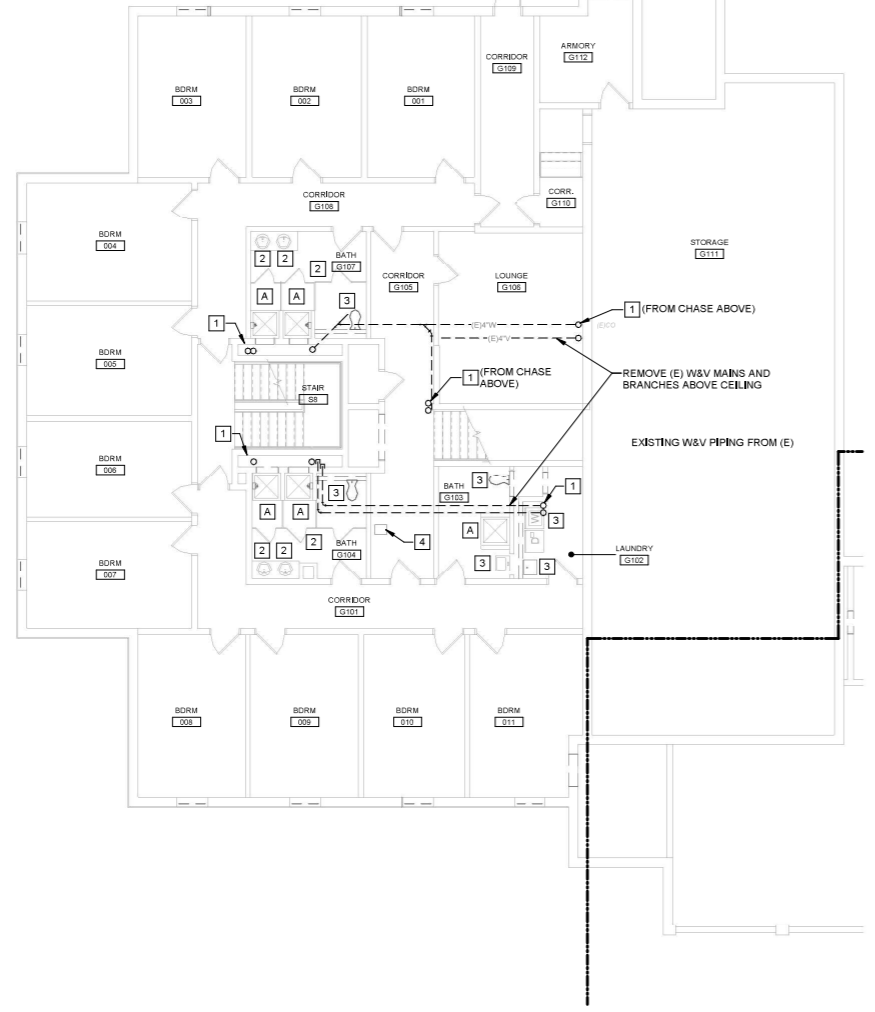
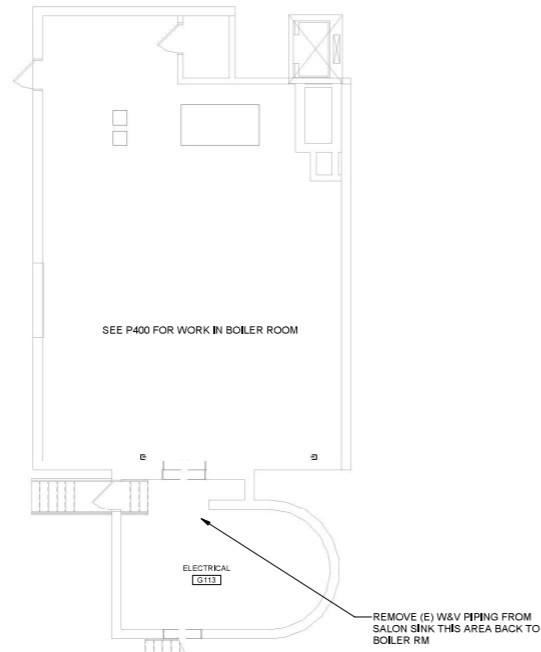
SHEET
P101.G

DEMOLITION KEYED NOTES:

- 1 EXISTING PIPING IN CHASE TO BE REMOVED, REFER TO EXISTING PLUMBING RISER DIAGRAMS WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN, ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING, DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE, REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.



GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

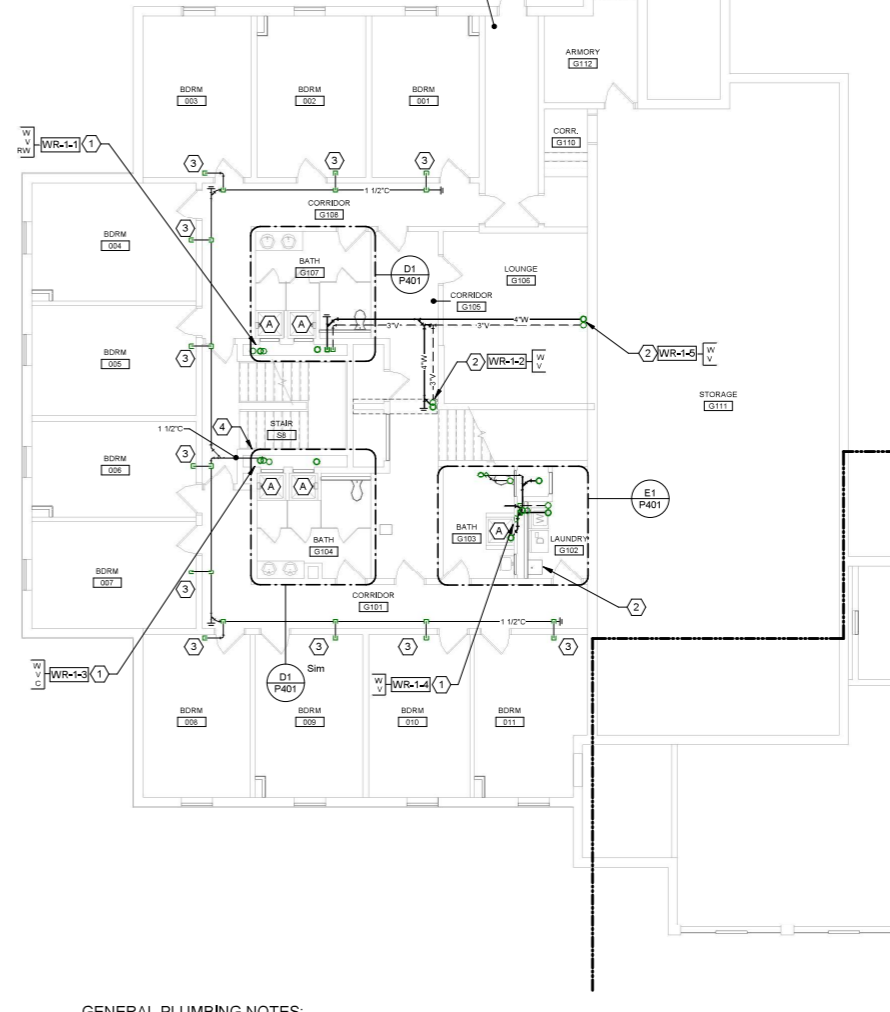
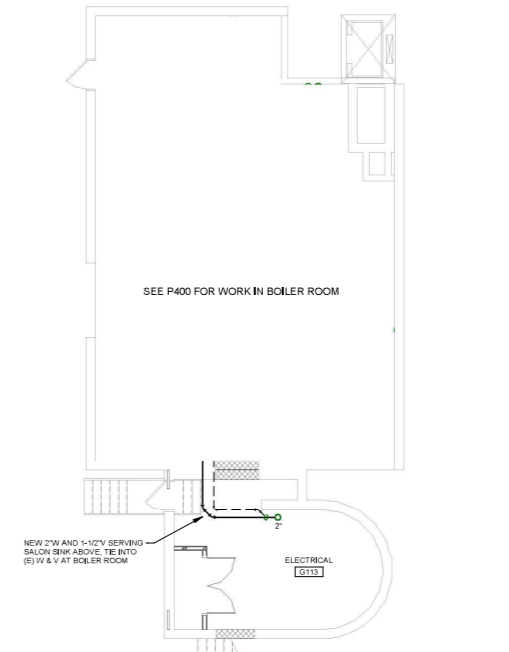
A6 PHASE 1 INTERMEDIATE FLOOR PLUMBING W&V DEMOLITION PLAN

KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P501.
- 2 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P501.
- 3 UNDER ALTERNATE #3, ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 4 UNDER ALTERNATE #3, PROVIDE CONDENSATE STANDPIPE IN CHASE, LOCATE BEHIND ACCESS PANEL, SEE C2 / P500.

SHOWER NOTES:

- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

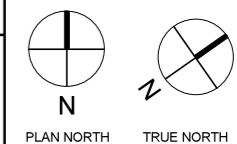


GENERAL PLUMBING NOTES:

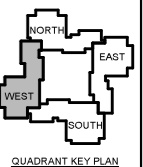
- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING, REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES, THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION, SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS, INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY, SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



A3 PHASE 1 INTERMEDIATE FLOOR PLUMBING W&V PLAN



No.	Date	Description
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TITLE
PHASE 1
INTERMEDIATE FLOOR
PLUMBING W&V
DEMOLITION & NEW
PLANS

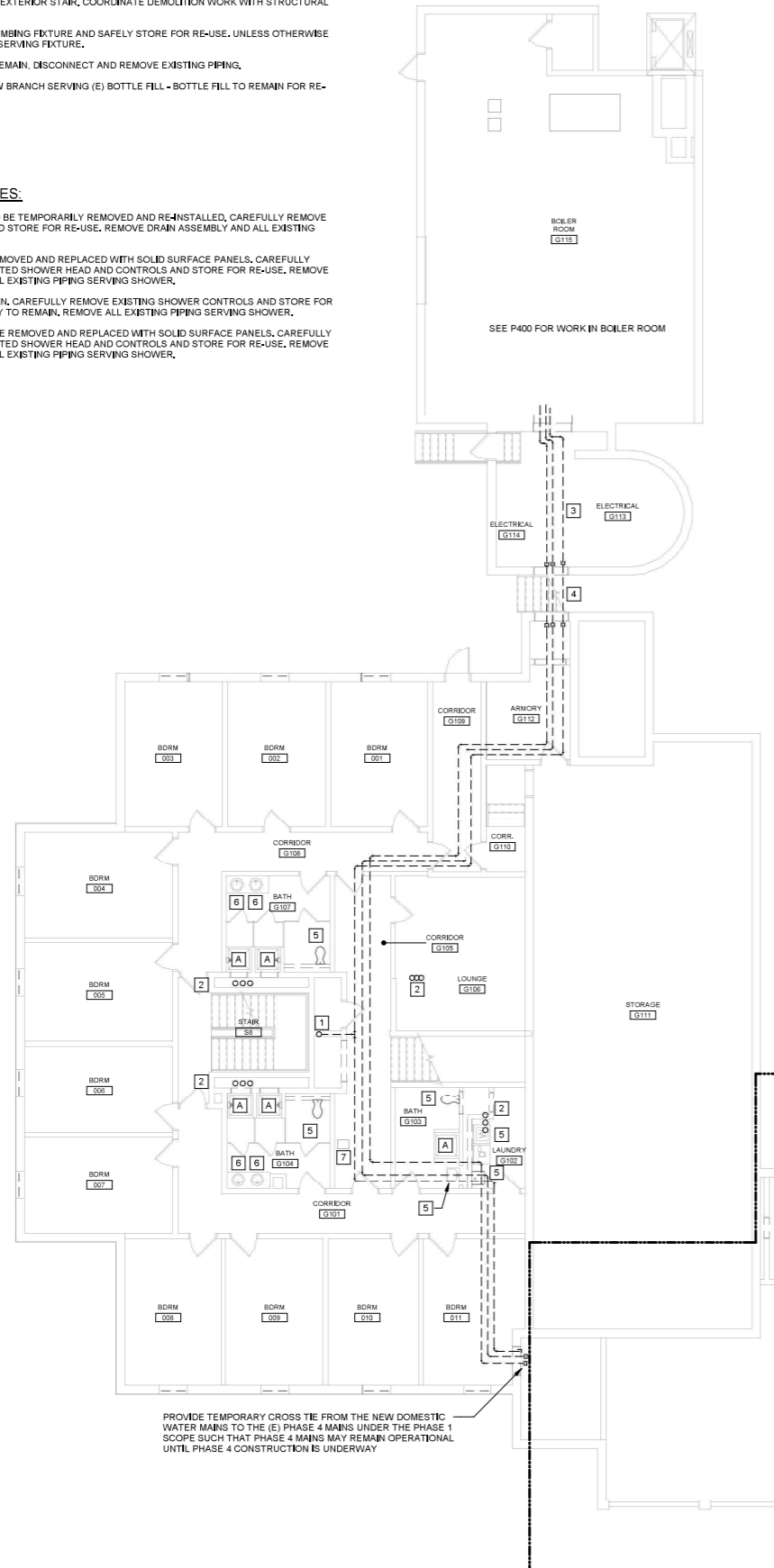
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DEMOLITION KEYED NOTES:

- 1 REMOVE EXISTING DCW RISER.
- 2 REMOVE EXISTING PLUMBING PIPING FROM CHASE.
- 3 EXISTING PIPING LOCATED IN ELECTRICAL ROOM, COORDINATE DEMOLITION WORK WITH ELECTRICAL.
- 4 EXISTING PIPING LOCATED BELOW EXTERIOR STAIR, COORDINATE DEMOLITION WORK WITH STRUCTURAL EXCAVATION.
- 5 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 6 EXISTING PLUMBING FIXTURE TO REMAIN, DISCONNECT AND REMOVE EXISTING PIPING.
- 7 DISCONNECT AND REMOVE (E) DCW BRANCH SERVING (E) BOTTLE FILL - BOTTLE FILL TO REMAIN FOR RE-USE.

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.



GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

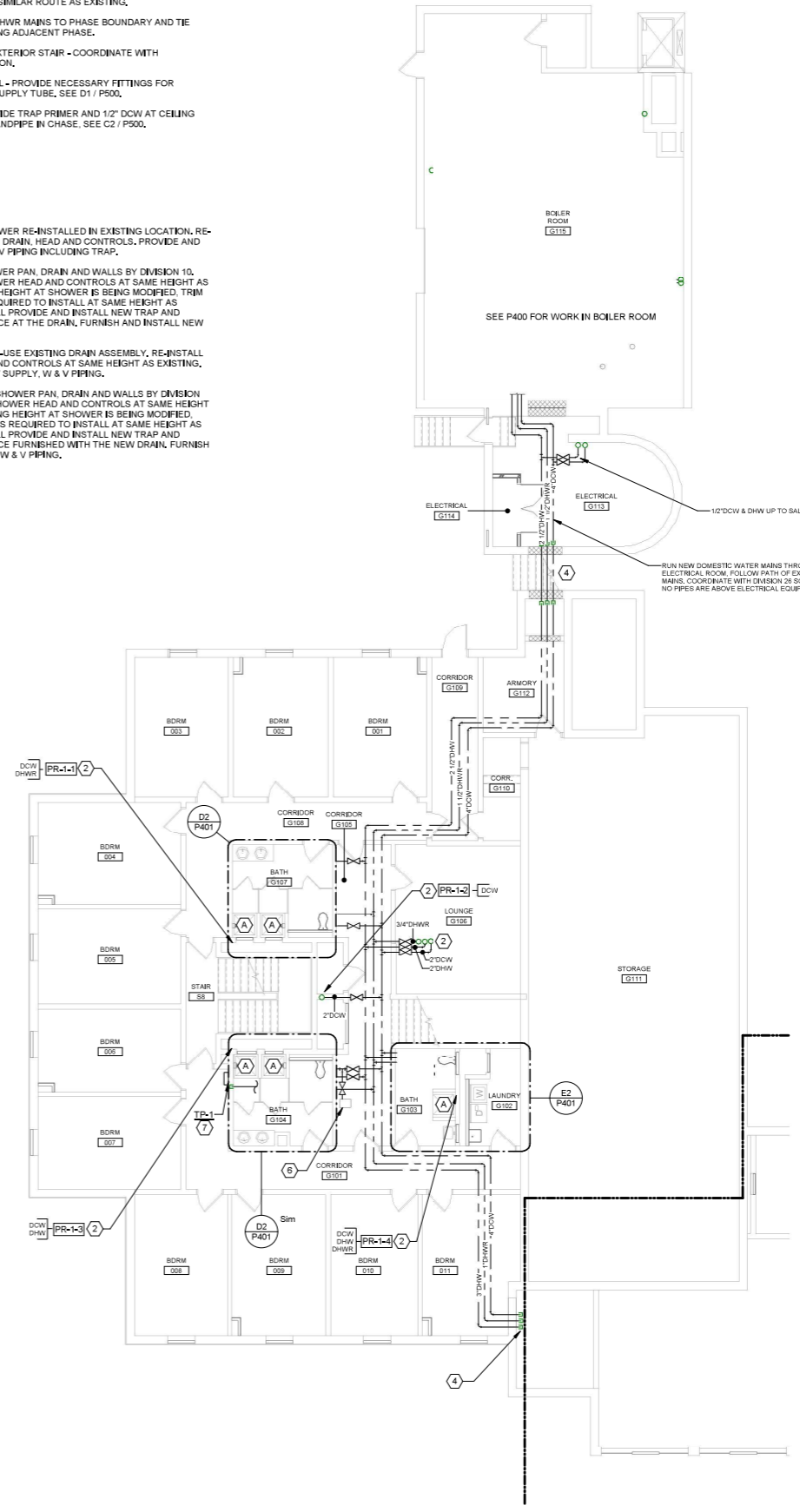
A6 PHASE 1 INTERMEDIATE FLOOR PLUMBING SUPPLY DEMOLITION PLAN

KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P501.
- 2 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P501.
- 3 DCW, DHW, DHWR MAINS TO RISER ABOVE, OFFSET ABOVE CEILING AND RISE INTO CHASE - FOLLOW SIMILAR ROUTE AS EXISTING.
- 4 INSTALL NEW DCW, DHW & DHWR MAINS TO PHASE BOUNDARY AND TIE INTO EXISTING MAINS SERVING ADJACENT PHASE.
- 5 NEW PIPING RUNS BELOW EXTERIOR STAIR - COORDINATE WITH STRUCTURAL FOR EXCAVATION.
- 6 NEW DCW TO (E) BOTTLE FILL - PROVIDE NECESSARY FITTINGS FOR CONNECTION TO EXISTING SUPPLY TUBE, SEE D1 / P500.
- 7 UNDER ALTERNATE #3, PROVIDE TRAP PRIMER AND 1/2" DCW AT CEILING TO SERVE CONDENSATE STANDPIPE IN CHASE, SEE C2 / P500.

SHOWER NOTES:

- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHOULD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

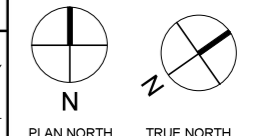


GENERAL PLUMBING NOTES:

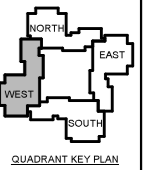
- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING, REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

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A3 PHASE 1 INTERMEDIATE FLOOR PLUMBING SUPPLY PLAN



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		Revision Schedule

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TITLE
PHASE 1 INTERMEDIATE FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS

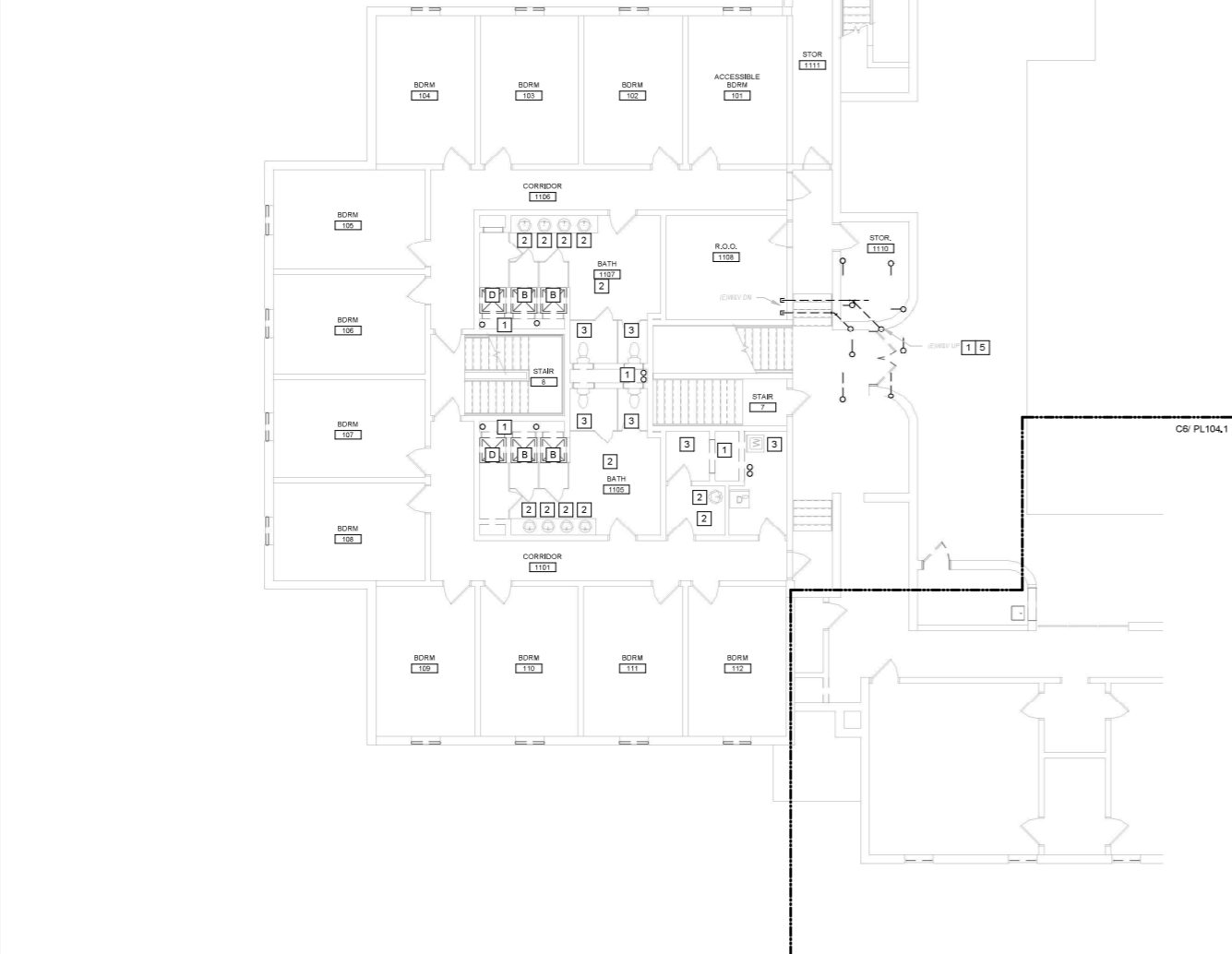
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DEMOLITION KEYED NOTES:

- 1 EXISTING PIPING IN CHASE TO BE REMOVED, REFER TO EXISTING PLUMBING RISER DIAGRAMS WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN, ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING, DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE, REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.
- 5 EXISTING PIPING IN EXTERIOR SOFFIT TO BE REMOVED, COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.



GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

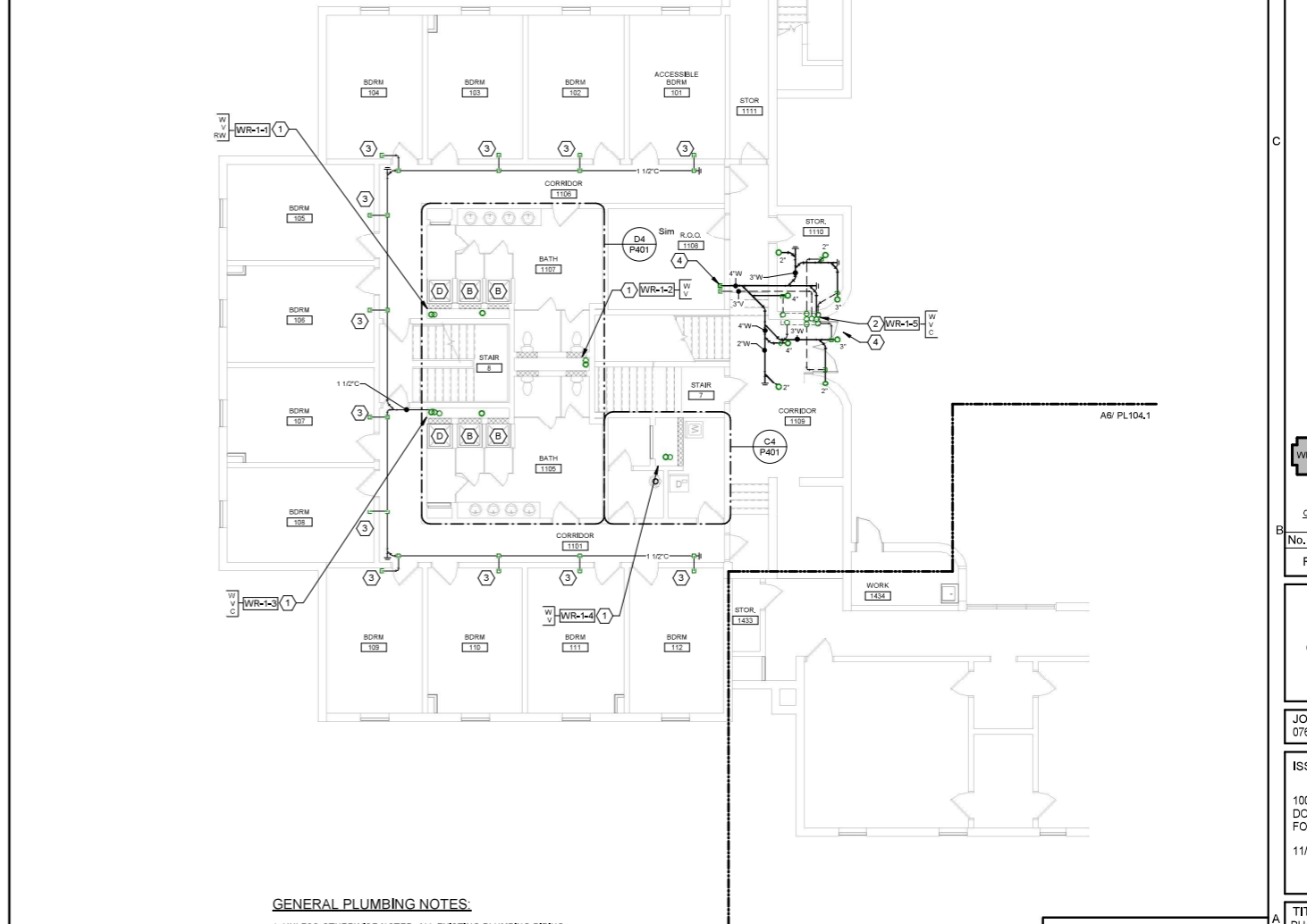
A6 PHASE 1 FIRST FLOOR PLUMBING W&V DEMOLITION PLAN

KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P501.
- 2 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P501.
- 3 UNDER ALTERNATE #3 ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 4 PIPING IN HEATED EXTERIOR SOFFIT - ROUTE IN A DIRECT MANNER TO REDUCE PIPING IN SOFFIT TO THE EXTENT POSSIBLE, COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.
- 5 RE-INSTALL EXISTING SALON SINK AND CONNECT TO NEW W&V PIPING.

SHOWER NOTES:

- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

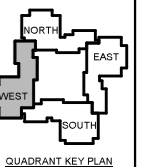
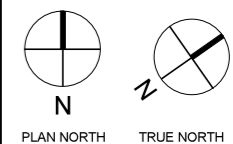


GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING, REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES, THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION, SEE A2/MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS, INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY, SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



No.	Date	Description
		Revision Schedule

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JOB NO.
075982

ISSUE
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11/22/2023

TITLE
PHASE 1 FIRST FLOOR PLUMBING W&V DEMOLITION & NEW PLANS

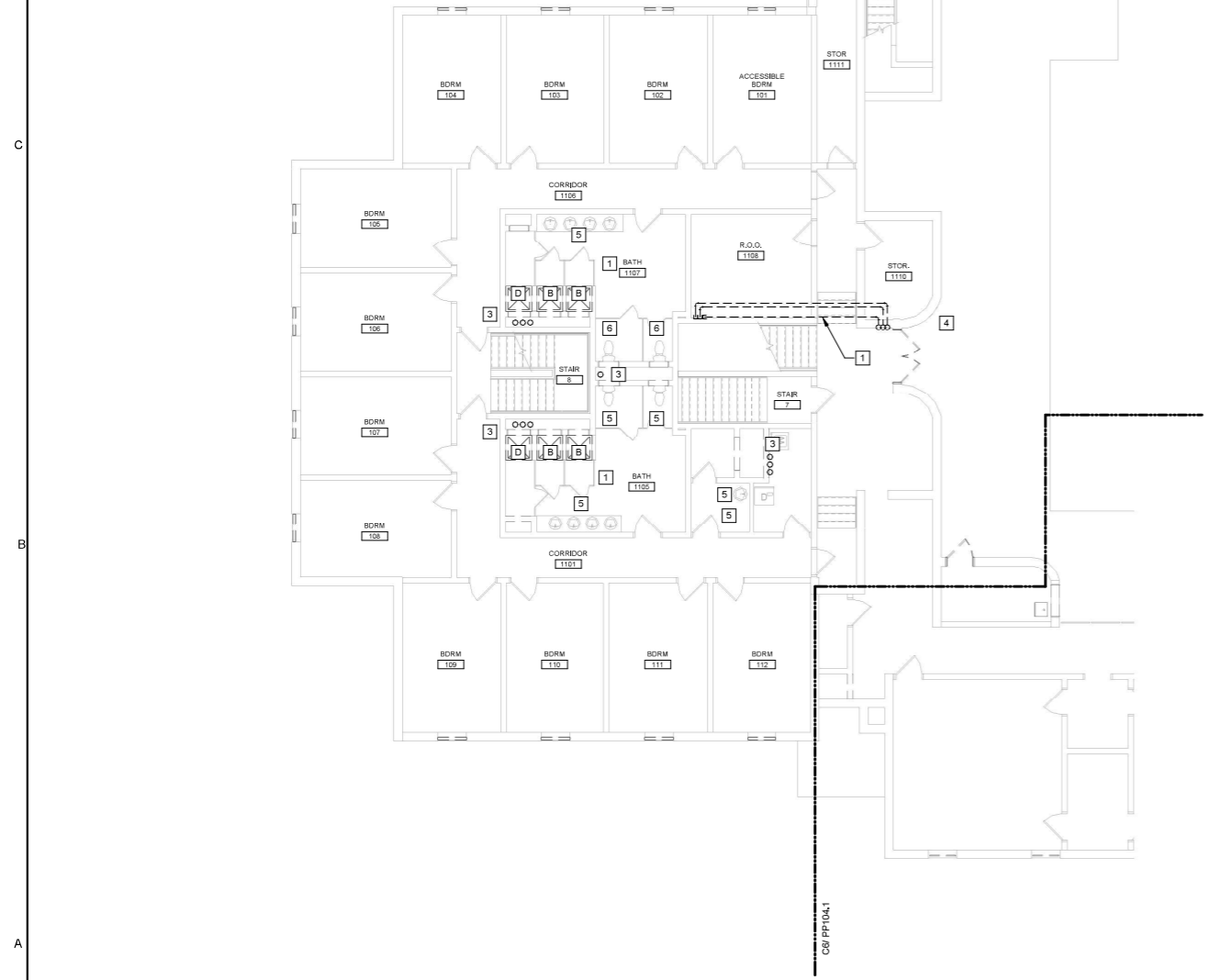
SHEET
PL101.1

DEMOLITION KEYED NOTES:

- 1 REMOVE EXISTING DOMESTIC WATER SUPPLY PIPING OFFSETS AND BRANCHES ABOVE CEILING THIS AREA.
- 2 REMOVE (E) DCW AND DHWR MAINS ABOVE CEILING TO PHASE BOUNDARY. UNDER PHASE 1 PROVIDE TEMPORARY VALVED CROSS CONNECTION FROM NEW PHASE 1 MAINS TO (E) PHASE 2/3 MAINS SUCH THAT THE PHASE 2/3 MAINS REMAIN OPERATIONAL UNTIL THE PHASE 2 CONSTRUCTION STARTS.
- 3 REMOVE EXISTING DOMESTIC WATER SUPPLY PIPING IN CHASE.
- 4 REMOVE EXISTING PIPING LOCATED IN EXTERIOR SOFFIT. COORDINATE WORK WITH ARCHITECTURAL DIVISIONS AND REMOVAL OF SOFFIT.
- 5 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 6 EXISTING PLUMBING FIXTURE TO REMAIN, DISCONNECT AND REMOVE EXISTING SUPPLY PIPING.

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.



GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

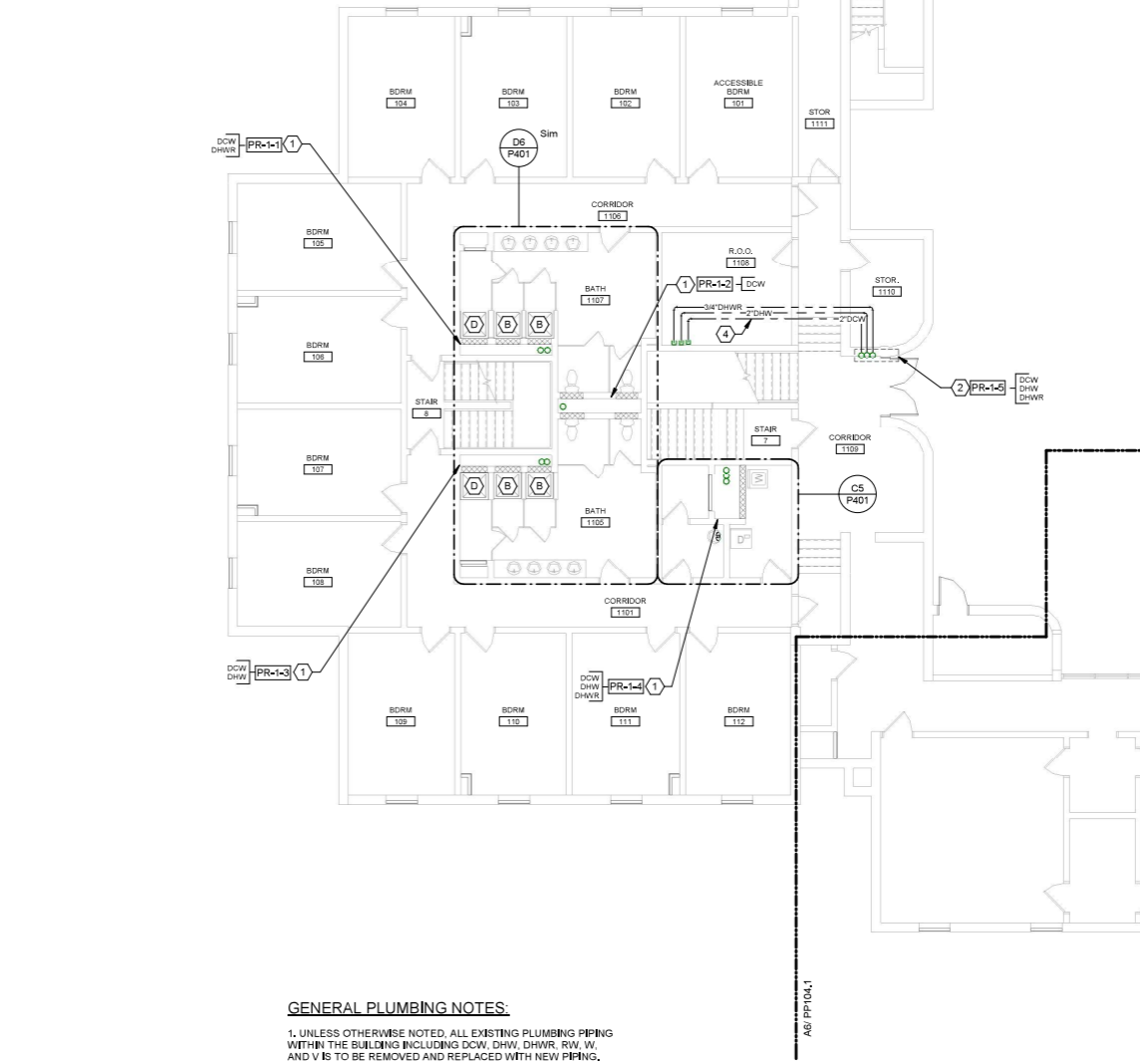
A6 PHASE 1 FIRST FLOOR PLUMBING SUPPLY DEMOLITION PLAN

KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P501.
- 2 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P501.
- 3 PIPING IN HEATED EXTERIOR SOFFIT - ROUTE IN A DIRECT MANNER TO REDUCE PIPING IN SOFFIT TO THE EXTENT POSSIBLE.
- 4 DCW, DHW, DHWR MAINS TO RISER ABOVE, OFFSET ABOVE CEILING AND RISE INTO CHASE - FOLLOW SIMILAR ROUTE AS EXISTING.
- 5 DHWR BALANCING VALVE - SET TO 0.2gpm.
- 6 INSTALL NEW DCW & DHWR MAINS ABOVE CEILING TO PHASE BOUNDARY AND TIE INTO EXISTING MAINS SERVING ADJACENT PHASE.
- 7 RE-INSTALL EXISTING SALON SINK AND CONNECT TO NEW 1/2" DCW AND DHW.

SHOWER NOTES:

- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

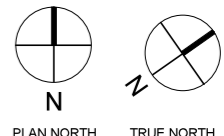


GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING, REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

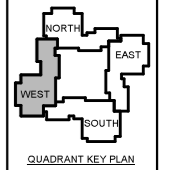
GENERAL PHASING NOTE:

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No.	Date	Description

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ISSUE
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11/22/2023

TITLE
PHASE 1 FIRST FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS

SHEET
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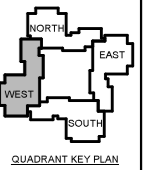
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No.	Date	Description
Revision Schedule		

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JOB NO.
075982

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11/22/2023

TITLE
PHASE 1 SECOND FLOOR PLUMBING DEMOLITION & NEW PLANS

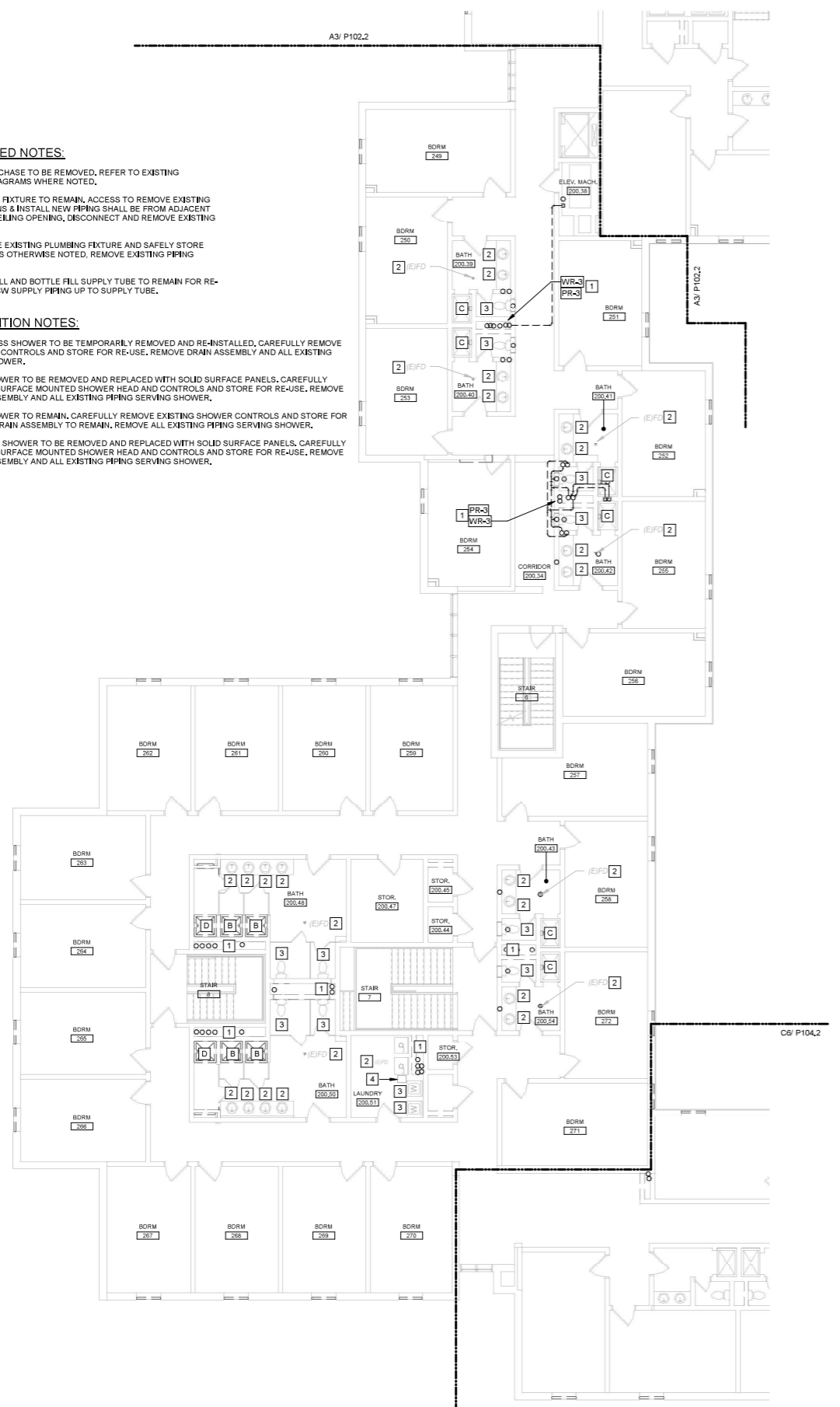
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P101.2

DEMOLITION KEYED NOTES:

- EXISTING PIPING IN CHASE TO BE REMOVED, REFER TO EXISTING PLUMBING RISER DIAGRAMS WHERE NOTED.
- EXISTING PLUMBING FIXTURE TO REMAIN, ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING, DISCONNECT AND REMOVE EXISTING PIPING.
- CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE, REMOVE (E) DOW SUPPLY PIPING UP TO SUPPLY TUBE.

SHOWER DEMOLITION NOTES:

- EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILE SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.



GENERAL PLUMBING DEMOLITION NOTES:

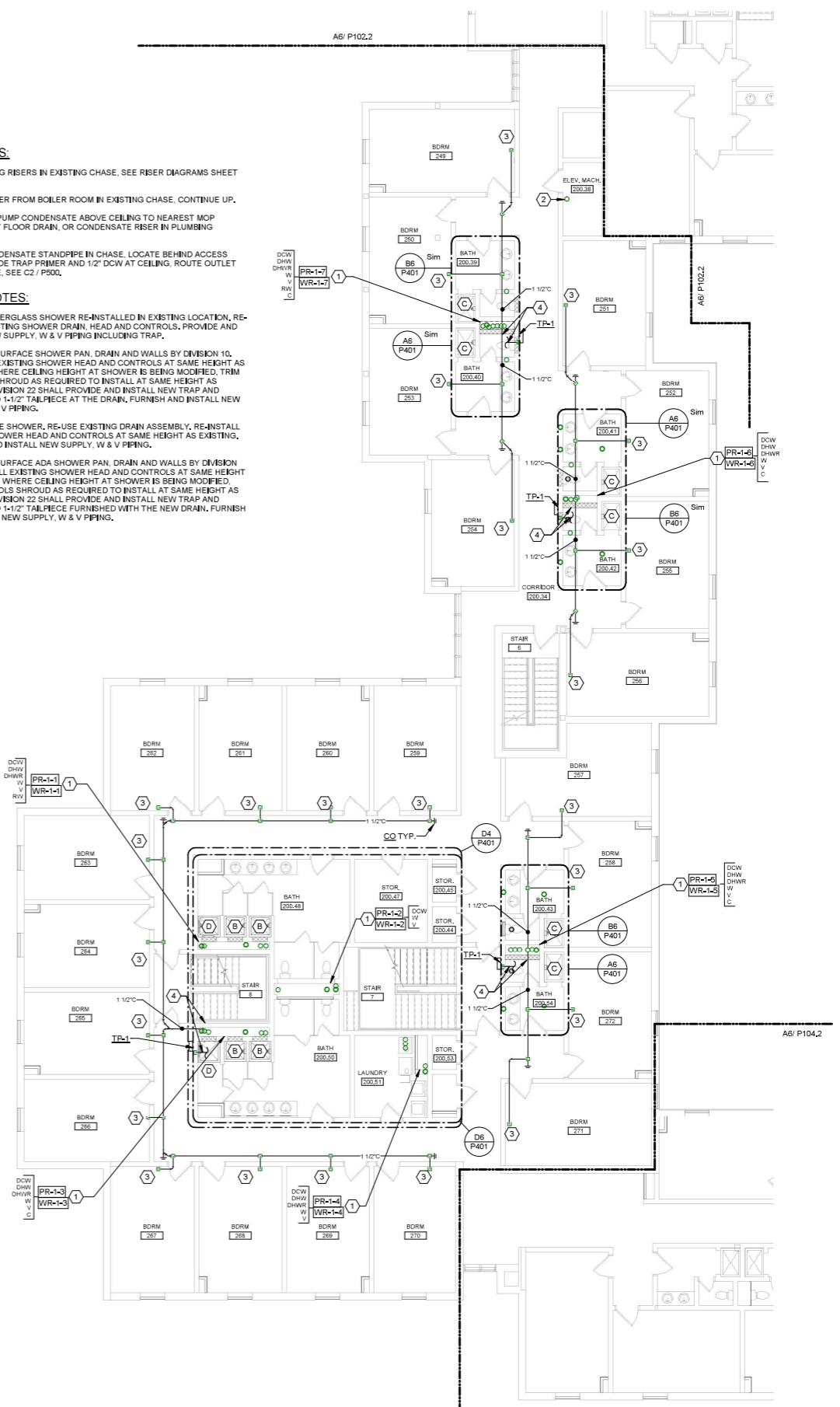
- FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

KEYED NOTES:

- NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P501.
- NEW DHW RISER FROM BOILER ROOM IN EXISTING CHASE, CONTINUE UP.
- ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO NEAREST MOP BASIN, UTILITY FLOOR DRAIN, OR CONDENSATE RISER IN PLUMBING CHASE.
- PROVIDE CONDENSATE STANDPIPE IN CHASE, LOCATE BEHIND ACCESS PANEL, PROVIDE TRAP PRIMER AND 1/2" DCW AT CEILING, ROUTE OUTLET TO STANDPIPE, SEE C2 / P500.

SHOWER NOTES:

- EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
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- EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

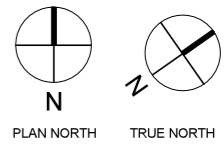


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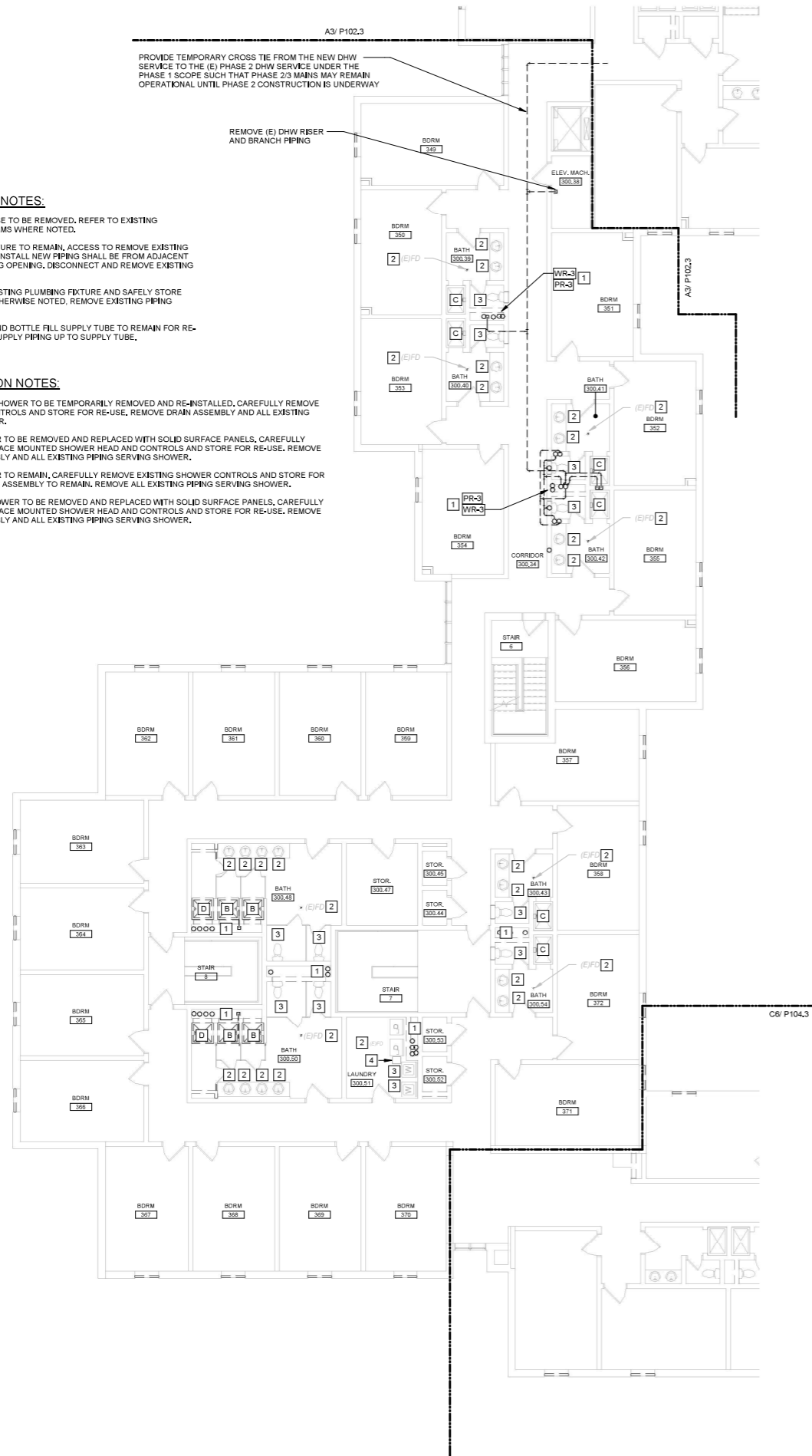
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DEMOLITION KEYED NOTES:

- 1 EXISTING PIPING IN CHASE TO BE REMOVED. REFER TO EXISTING PLUMBING RISER DIAGRAMS WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN. ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING. DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED. REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE, REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS. SEE DEMOLITION PART PLANS ON SHEET PD401.

A6 PHASE 1 THIRD FLOOR PLUMBING DEMOLITION PLAN

KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE. SEE RISER DIAGRAMS SHEET P501.
- 2 NEW DHW RISER FROM BOILER ROOM IN EXISTING CHASE. ELBOW AND RUN MAIN AT THIRD FLOOR CEILING.
- 3 NEW DHW MAIN ABOVE CEILING.
- 4 ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.

SHOWER NOTES:

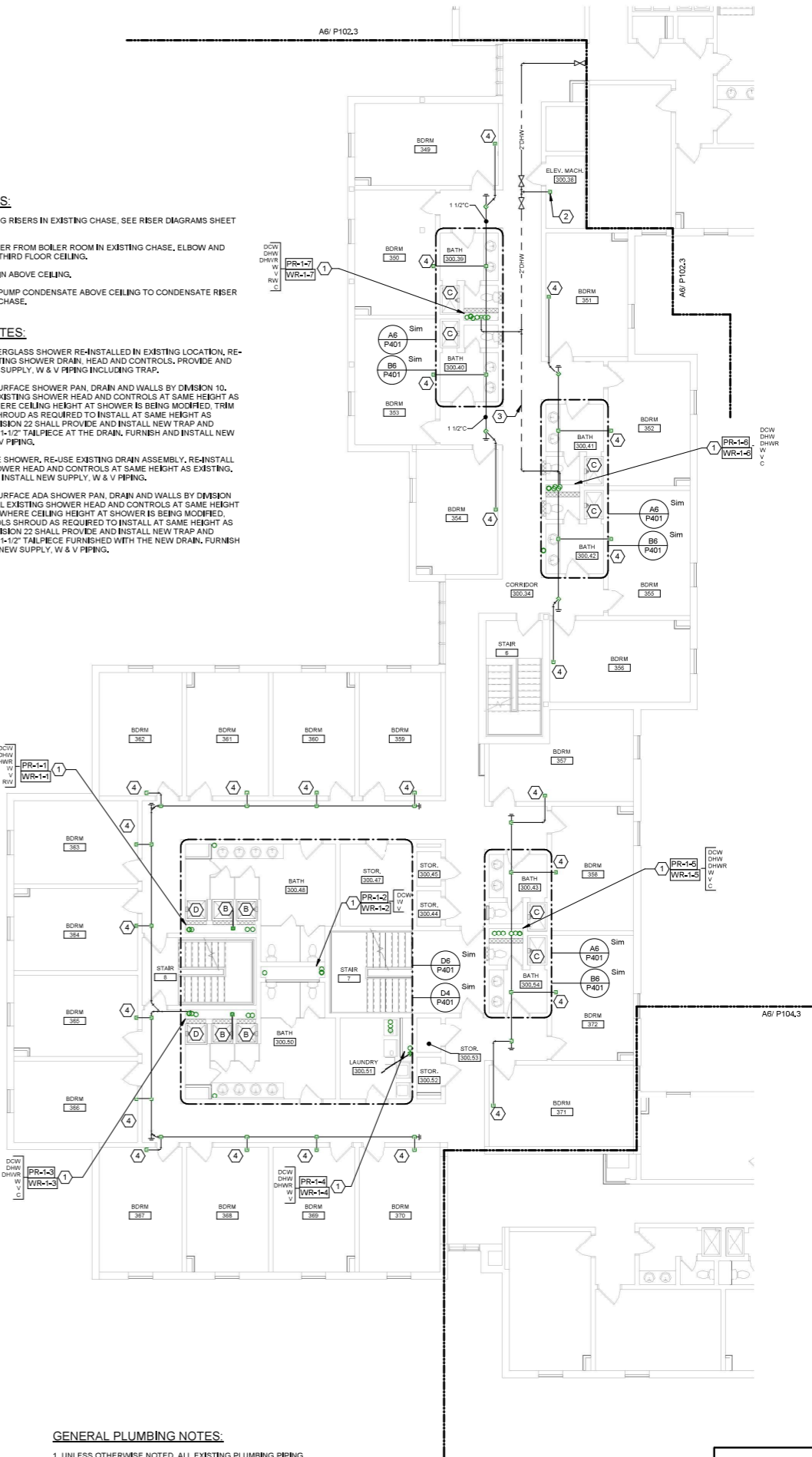
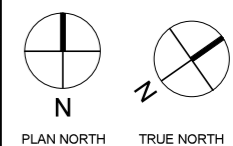
- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TALLPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TALLPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
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GENERAL PLUMBING NOTES:

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GENERAL PHASING NOTE:

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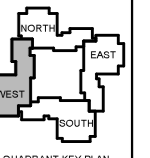
A3 PHASE 1 THIRD FLOOR PLUMBING PLAN



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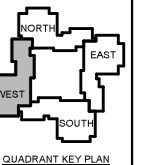
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TITLE PHASE 1 THIRD FLOOR PLUMBING DEMOLITION & NEW PLANS

SHEET P101.3



No.	Date	Description
Revision Schedule		

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ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 1 FOURTH FLOOR PLUMBING DEMOLITION & NEW PLANS

SHEET
P101.4

DEMOLITION KEYED NOTES:

- EXISTING PIPING IN CHASE TO BE REMOVED. REFER TO EXISTING PLUMBING RISER DIAGRAMS WHERE NOTED.
- EXISTING PLUMBING FIXTURE TO REMAIN. ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING. DISCONNECT AND REMOVE EXISTING PIPING.
- CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED. REMOVE EXISTING PIPING SERVING FIXTURE.
- EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE. REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.
- REMOVE (E) RW PIPING UP TO (E) ROOF DRAIN, UNLESS OTHERWISE NOTED. (E) ROOF DRAIN TO REMAIN.
- UNLESS OTHERWISE NOTED. REMOVE EXISTING VENT THROUGH ROOF AND PREP AREA FOR NEW VTR.
- REMOVE (E) DHW RECIRC PUMP ABOVE CEILING.

SHOWER DEMOLITION NOTES:

- EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

KEYED NOTES:

- NEW PLUMBING RISERS IN EXISTING CHASE. SEE RISER DIAGRAMS SHEET P501.
- CONNECT NEW RW PIPING TO EXISTING ROOF DRAIN.
- PROVIDE NEW 4"VTR IN PLACE OF EXISTING. RELOCATE VTR AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW ROOFTOP EQUIPMENT. IF RELOCATION IS REQUIRED, PROVIDE NECESSARY OFFSETS ABOVE 4TH FLOOR CEILING.
- ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.

SHOWER NOTES:

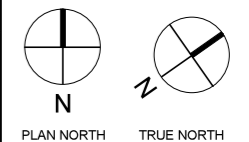
- EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

GENERAL PLUMBING NOTES:

- UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
- EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES. AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEPO00 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEPO00 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



GENERAL PLUMBING DEMOLITION NOTES:

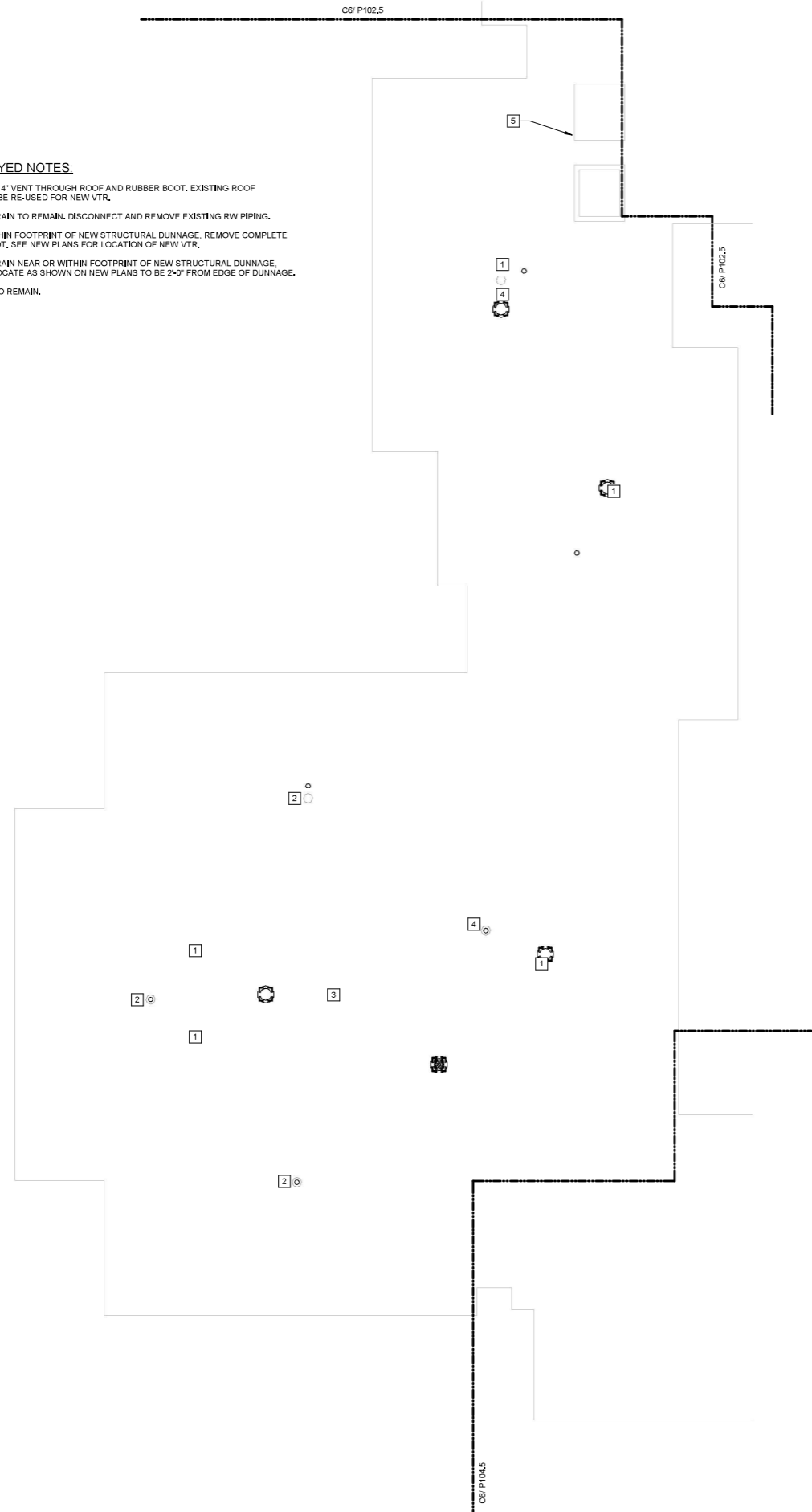
- FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS. SEE DEMOLITION PART PLANS ON SHEET PD401.

A6 PHASE 1 FOURTH FLOOR PLUMBING DEMOLITION PLAN

A3 PHASE 1 FOURTH FLOOR PLUMBING PLAN

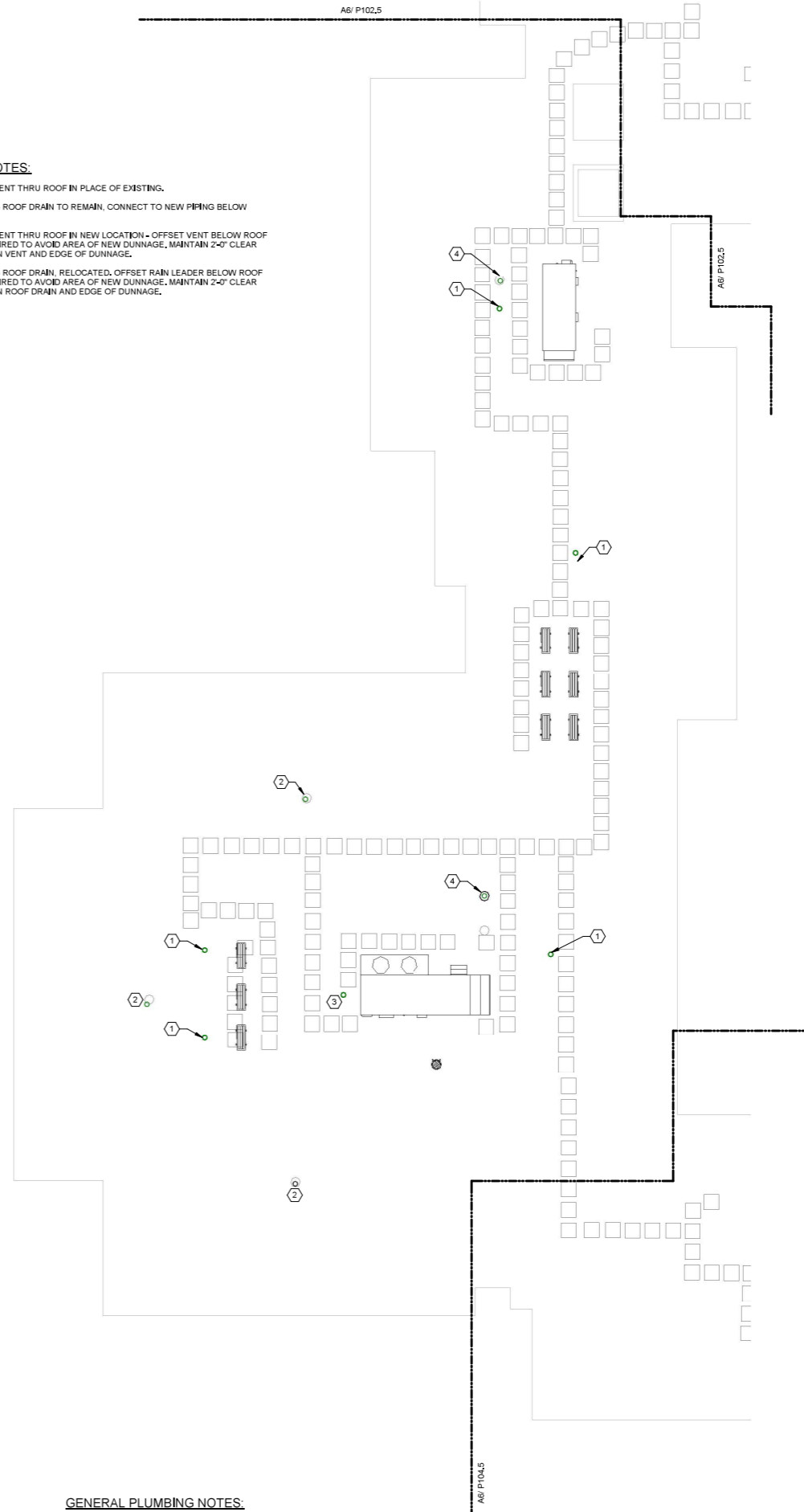
DEMOLITION KEYED NOTES:

- 1 REMOVE EXISTING 4" VENT THROUGH ROOF AND RUBBER BOOT. EXISTING ROOF PENETRATION TO BE RE-USED FOR NEW VTR.
- 2 EXISTING ROOF DRAIN TO REMAIN. DISCONNECT AND REMOVE EXISTING RW PIPING.
- 3 EXISTING VTR WITHIN FOOTPRINT OF NEW STRUCTURAL DUNNAGE, REMOVE COMPLETE WITH RUBBER BOOT, SEE NEW PLANS FOR LOCATION OF NEW VTR.
- 4 EXISTING ROOF DRAIN NEAR OR WITHIN FOOTPRINT OF NEW STRUCTURAL DUNNAGE, REMOVE AND RELOCATE AS SHOWN ON NEW PLANS TO BE 2'-0" FROM EDGE OF DUNNAGE.
- 5 (E) BOILER VENT TO REMAIN.



KEYED NOTES:

- 1 NEW 4" VENT THRU ROOF IN PLACE OF EXISTING.
- 2 EXISTING ROOF DRAIN TO REMAIN, CONNECT TO NEW PIPING BELOW ROOF.
- 3 NEW 4" VENT THRU ROOF IN NEW LOCATION - OFFSET VENT BELOW ROOF AS REQUIRED TO AVOID AREA OF NEW DUNNAGE, MAINTAIN 2'-0" CLEAR BETWEEN VENT AND EDGE OF DUNNAGE.
- 4 EXISTING ROOF DRAIN, RELOCATED, OFFSET RAIN LEADER BELOW ROOF AS REQUIRED TO AVOID AREA OF NEW DUNNAGE, MAINTAIN 2'-0" CLEAR BETWEEN ROOF DRAIN AND EDGE OF DUNNAGE.

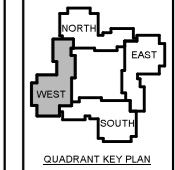
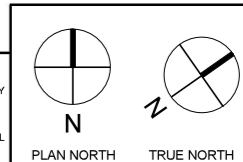


GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



No.	Date	Description
Revision Schedule		

NOT FOR
CONSTRUCTION

JOB NO.
075982

ISSUE
100% CONSTRUCTION
DOCUMENTS - ISSUED
FOR BIDDING
11/22/2023

TITLE
PHASE 1 ROOF
PLUMBING DEMOLITION
& NEW PLANS

SHEET
P101.5

E

D

C6

B

A

DEMOLITION KEYED NOTES:

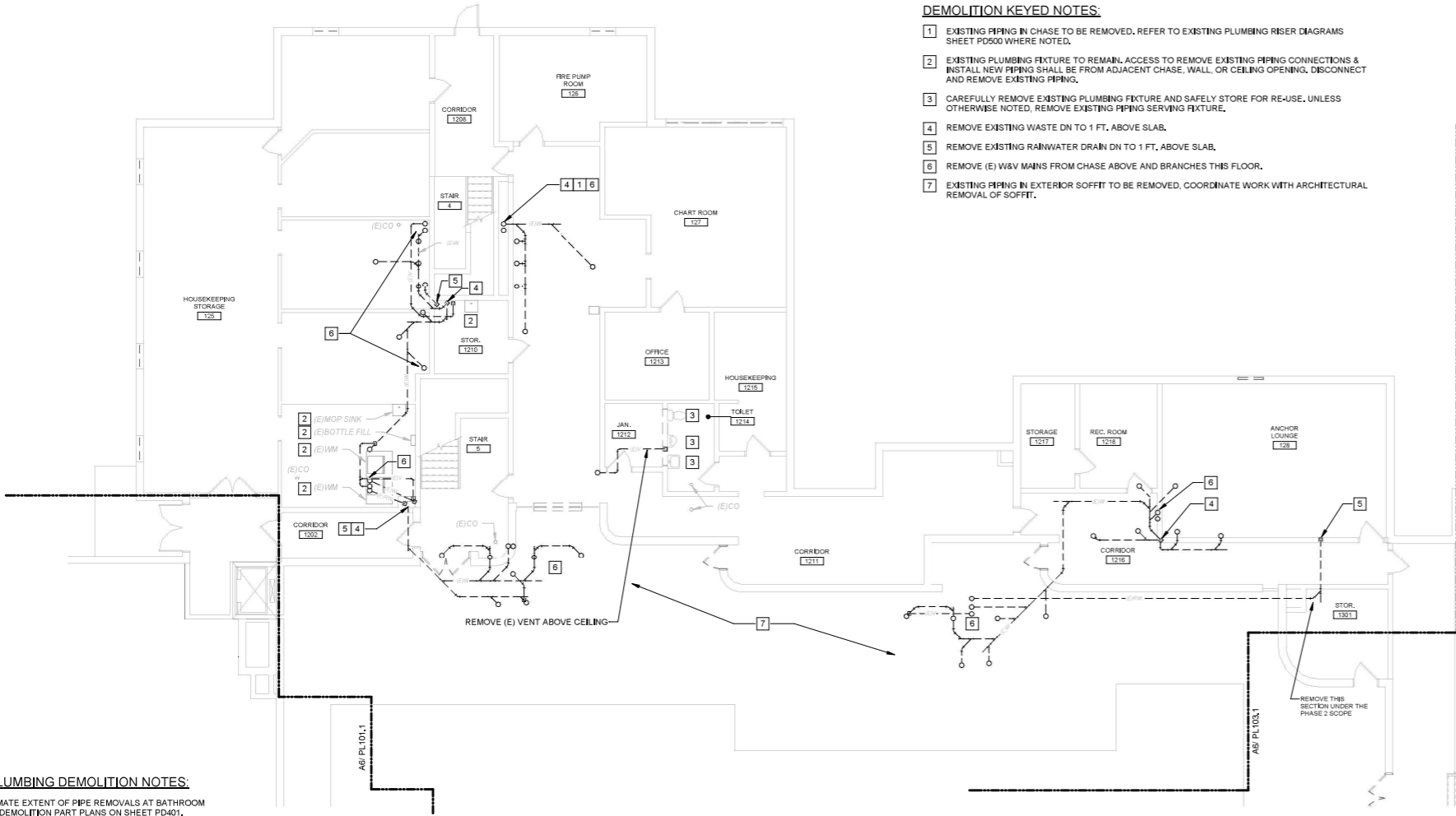
- 1 EXISTING PIPING IN CHASE TO BE REMOVED, REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET PD500 WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN, ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING, DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 REMOVE EXISTING WASTE DN TO 1 FT. ABOVE SLAB.
- 5 REMOVE EXISTING RAINWATER DRAIN DN TO 1 FT. ABOVE SLAB.
- 6 REMOVE (E) W&V MAINS FROM CHASE ABOVE AND BRANCHES THIS FLOOR.
- 7 EXISTING PIPING IN EXTERIOR SOFFIT TO BE REMOVED, COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

GENERAL PLUMBING DEMOLITION NOTES:

1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.



PHASE 2 FIRST FLOOR PLUMBING W&V DEMOLITION PLAN

KEYED NOTES:

- 1 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P502.
- 2 RE-INSTALL EXISTING PLUMBING FIXTURES AND CONNECT TO NEW W & V PIPING
- 3 PIPING IN HEATED EXTERIOR SOFFIT - ROUTE IN A DIRECT MANNER TO REDUCE PIPING IN SOFFIT TO THE EXTENT POSSIBLE, COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.
- 4 NEW RW RISER DOWN, CONNECT TO (E) PIPING ABOVE SLAB, PROVIDE CLEANOUT IN DROP.
- 5 NEW W RISER DOWN, CONNECT TO (E) PIPING ABOVE SLAB, PROVIDE CLEANOUT IN DROP.
- 6 NEW WASTE & VENT BRANCHES SERVING FIXTURES ABOVE, SEE P402 FOR FIXTURE LAYOUTS, COMBINE VENTS IN CHASE ABOVE FLOOD RIM AS REQUIRED BY CODE.

SHOWER NOTES:

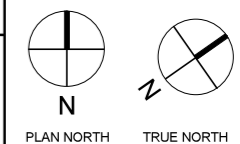
- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

GENERAL PLUMBING NOTES:

1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DRW, DHRW, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

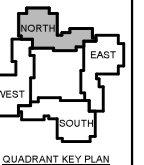
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No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO. 075982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
PHASE 2 FIRST FLOOR PLUMBING W&V DEMOLITION & NEW PLANS

SHEET
PL102.1

E

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DEMOLITION KEYED NOTES:

- 1 REMOVE EXISTING SUPPLY PLUMBING TO RISERS, REFER TO EXISTING RISER DIAGRAMS SHEET PD500 WHERE NOTED.
- 2 REMOVE EXISTING SUPPLY PLUMBING IN CHASE.
- 3 REMOVE EXISTING PIPING LOCATED IN EXTERIOR SOFFIT, COORDINATE WORK WITH ARCHITECTURAL DIVISIONS AND REMOVAL OF SOFFIT.
- 4 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED. REMOVE EXISTING PIPING SERVING FIXTURE.
- 5 EXISTING PLUMBING FIXTURE TO REMAIN. DISCONNECT AND REMOVE EXISTING PIPING.
- 6 REMOVE EXISTING SURFACE MOUNTED SUPPLY PIPING FOR WASHING MACHINES, CHEM FILL AND UTILITY SINK.
- 7 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE. REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.
- 8 REMOVE (E) DOMESTIC WATER TO STEAM DRYER.

UNDER PHASE 2 PROVIDE TEMPORARY VALVED CROSS CONNECTION FROM NEW PHASE 2 MAINS TO (E) PHASE 3 MAINS SUCH THAT THE PHASE 3 MAINS REMAIN OPERATIONAL UNTIL THE PHASE 3 CONSTRUCTION STARTS.

GENERAL PLUMBING DEMOLITION NOTES:

1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

PHASE 2 FIRST FLOOR PLUMBING SUPPLY DEMOLITION PLAN

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

KEYED NOTES:

- 1 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P502.
- 2 1/2" DHWR BALANCING VALVE - SET TO 0.2gpm.
- 3 CONNECT NEW SUPPLY PIPING TO EXISTING FIXTURE.
- 4 NEW 3/4" DCW & DHW PIPING THROUGH FLOOR INTO ENCLOSURE BELOW LAVATORIES ABOVE.
- 5 NEW DCW TO (E) BOTTLE FILL - PROVIDE NECESSARY FITTINGS FOR CONNECTION TO EXISTING SUPPLY TUBE. SEE D1 / P500.
- 6 PIPING IN HEATED EXTERIOR SOFFIT - ROUTE IN A DIRECT MANNER TO REDUCE PIPING IN SOFFIT TO THE EXTENT POSSIBLE, COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.
- 7 NEW 1-1/2" DCW & 1-1/2" DHW TO (E) WASHING MACHINES AND CHEM FILL STATIONS.
- 8 RE-INSTALL EXISTING PLUMBING FIXTURES AND CONNECT TO NEW PIPING.
- 9 PROVIDE NEW DOMESTIC WATER TO STEAM DRYER. PROVIDE RPZ BACKFLOW PREVENTER.

NEW DHWR AND DCW MAINS AT FIRST FLOOR CEILING TO / FROM BOILER ROOM

SHOWER NOTES:

- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

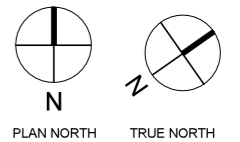
GENERAL PLUMBING NOTES:

1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RAV, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.

2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND RISERS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

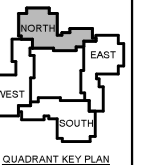
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No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO. 075982

ISSUE

100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING

11/22/2023

TITLE PHASE 2 FIRST FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS

SHEET

PP102.1

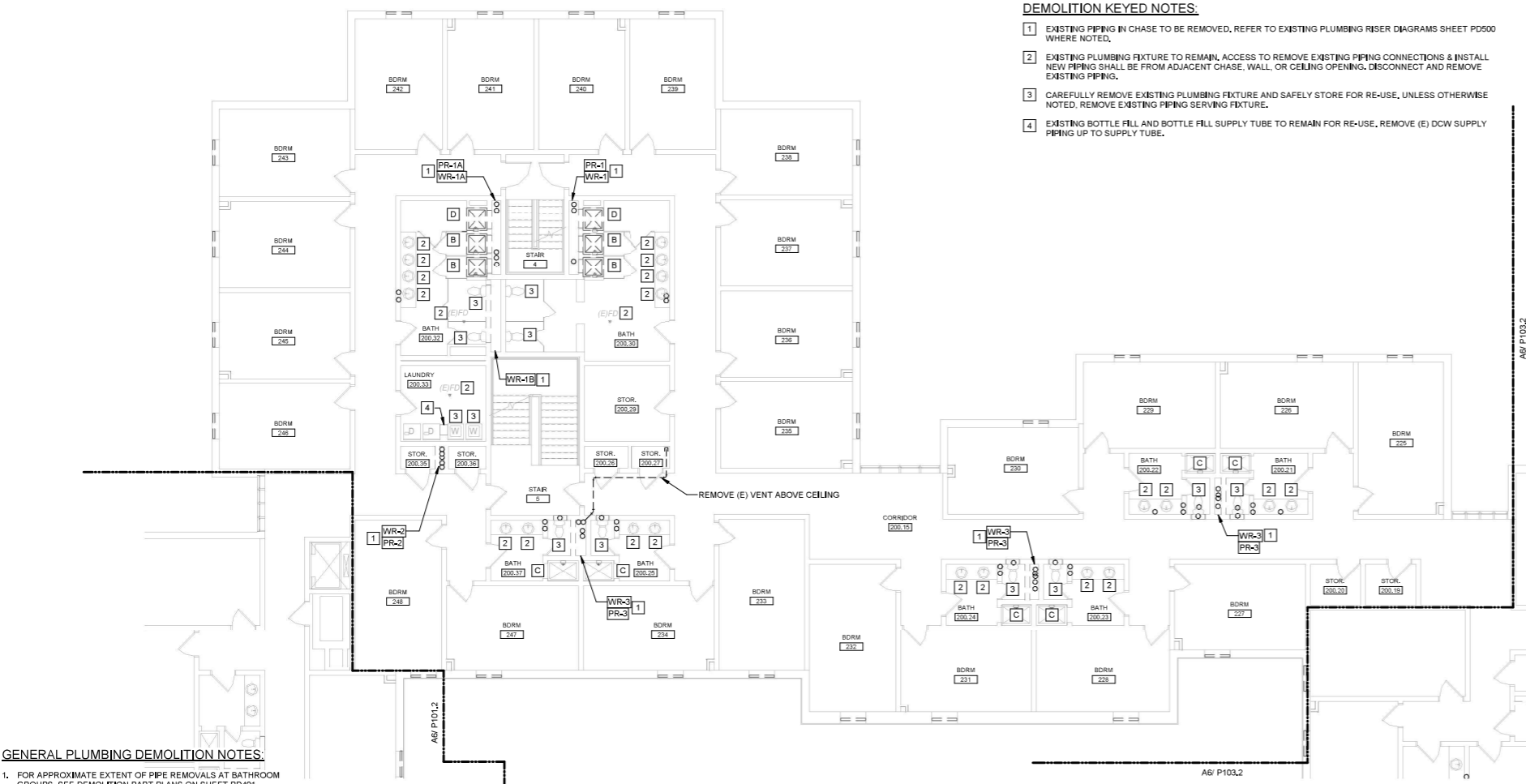
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GENERAL PLUMBING DEMOLITION NOTES:

1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

A3 PHASE 2 SECOND FLOOR PLUMBING DEMOLITION PLAN

DEMOLITION KEYED NOTES:

- 1 EXISTING PIPING IN CHASE TO BE REMOVED, REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET PD500 WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN, ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING. DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE, REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.

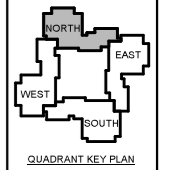
SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.



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No.	Date	Description
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JOB NO. 076982

ISSUE
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11/22/2023

TITLE
PHASE 2 SECOND FLOOR PLUMBING DEMOLITION & NEW PLANS

SHEET
P102.2

KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P502.
- 2 ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 3 PROVIDE CONDENSATE STANDPIPE IN CHASE, LOCATE BEHIND ACCESS PANEL, PROVIDE TRAP PRIMER AND 1/2" DCW AT CEILING, ROUTE OUTLET TO STANDPIPE, SEE C2 / P500.

SHOWER NOTES:

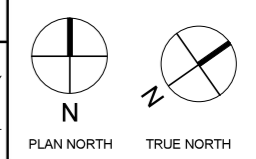
- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES, THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.



A6 PHASE 2 SECOND FLOOR PLUMBING PLAN

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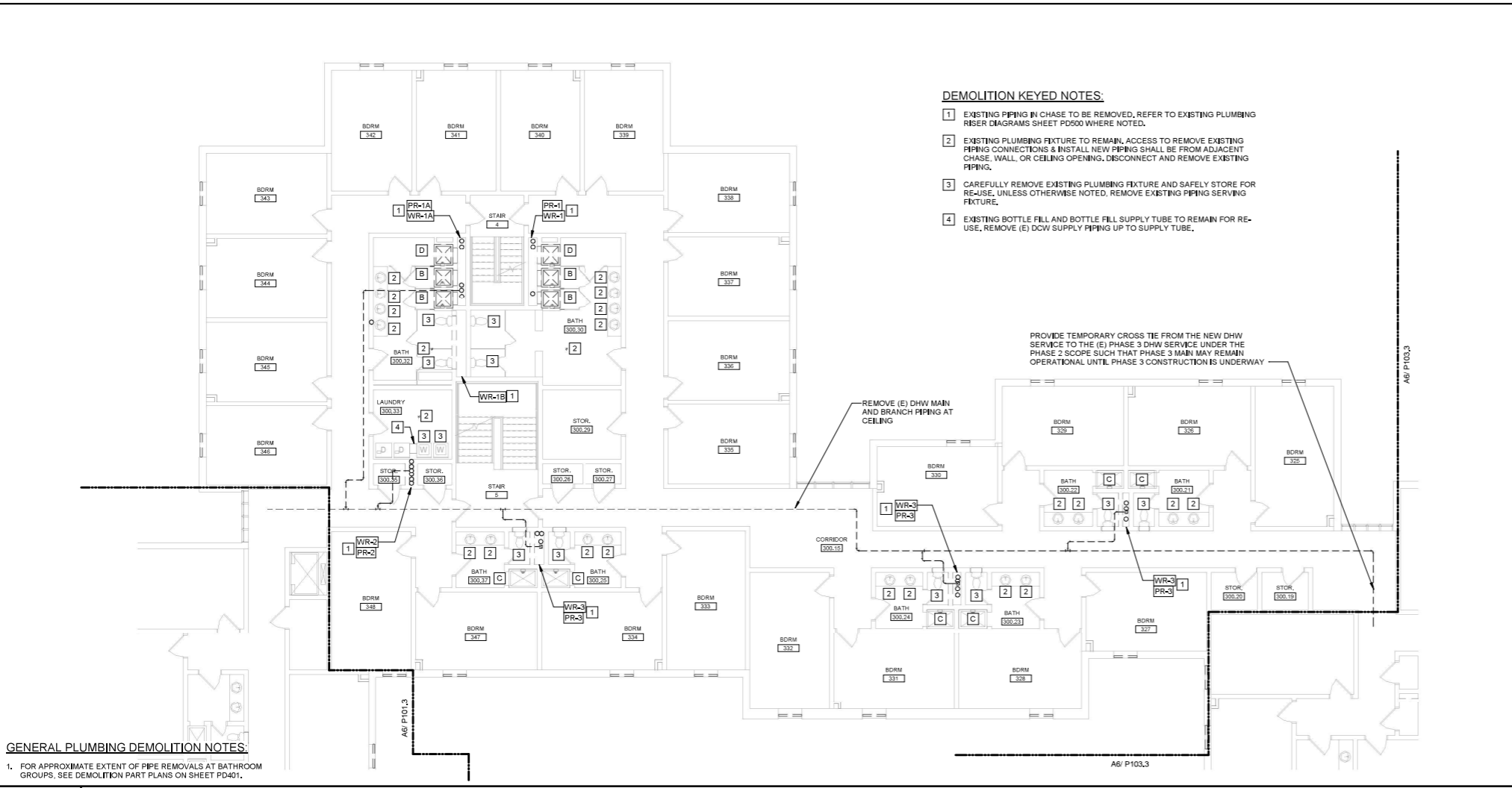
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DEMOLITION KEYED NOTES:

- EXISTING PIPING IN CHASE TO BE REMOVED, REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET P500 WHERE NOTED.
- EXISTING PLUMBING FIXTURE TO REMAIN, ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING, DISCONNECT AND REMOVE EXISTING PIPING.
- CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE, REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.

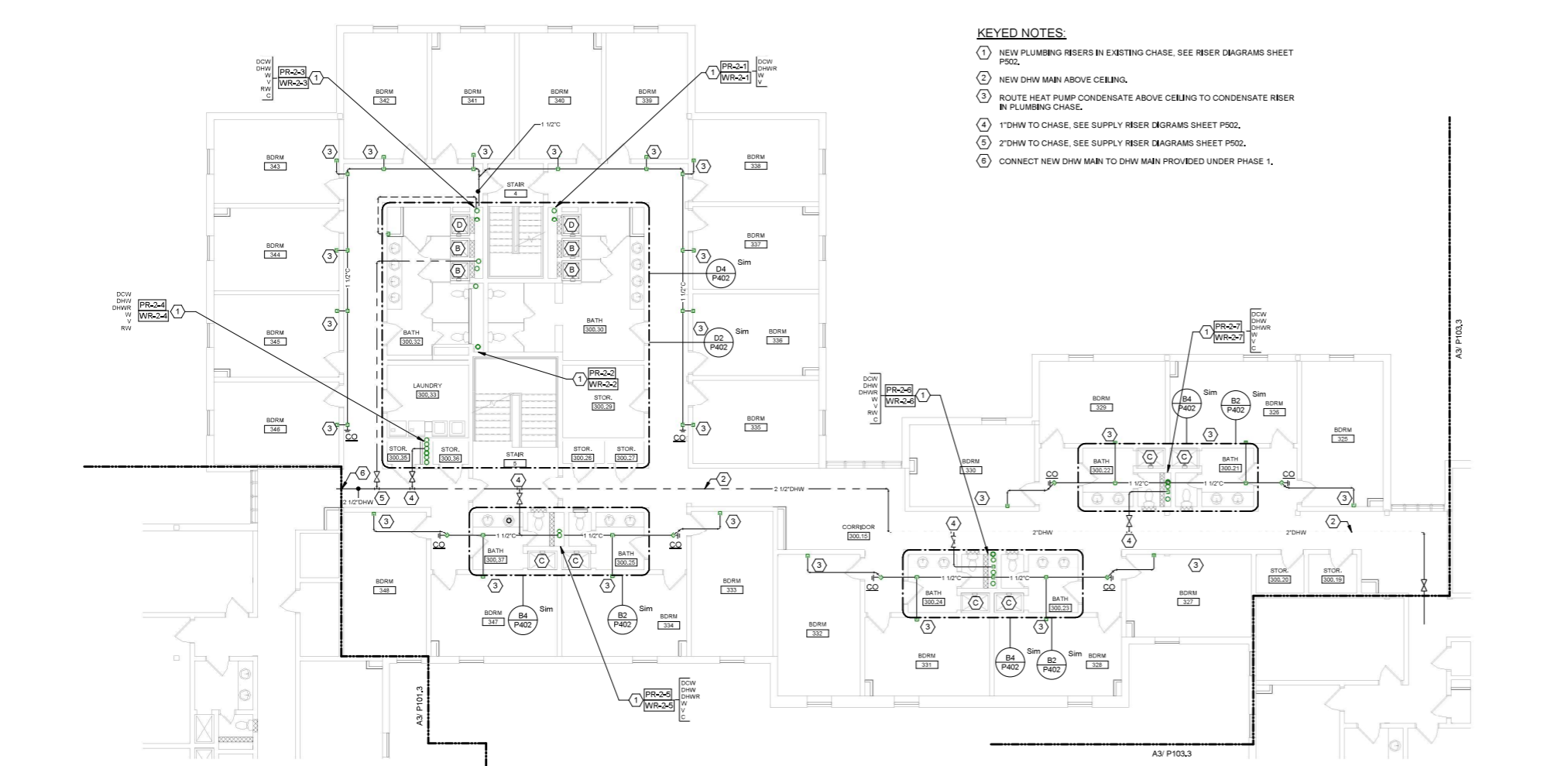
SHOWER DEMOLITION NOTES:

- EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

GENERAL PLUMBING DEMOLITION NOTES:

- FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

A3 PHASE 2 THIRD FLOOR PLUMBING DEMOLITION PLAN



KEYED NOTES:

- NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P502.
- NEW DHW MAIN ABOVE CEILING.
- ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 1\"/>

SHOWER NOTES:

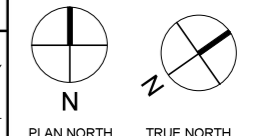
- EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2\"/>

GENERAL PLUMBING NOTES:

- UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
- EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES, THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION, SEE A2/MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS, INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY, SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

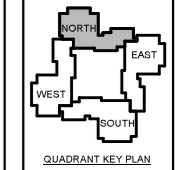


A6 PHASE 2 THIRD FLOOR PLUMBING PLAN



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PHASE 2 THIRD FLOOR PLUMBING DEMOLITION & NEW PLANS

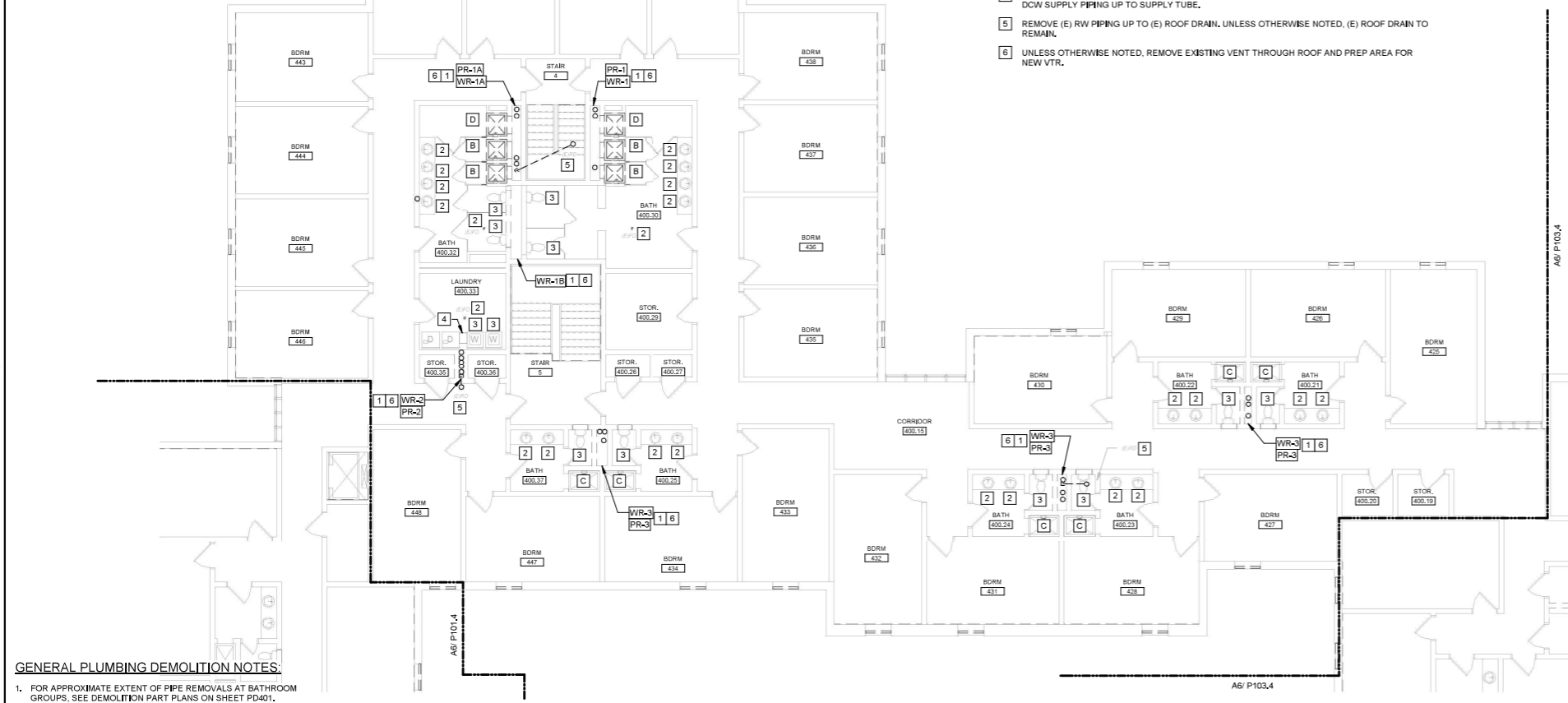
SHEET
P102.3

DEMOLITION KEYED NOTES:

- 1 EXISTING PIPING IN CHASE TO BE REMOVED. REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET PD500 WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN. ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING. DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED. REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE. REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.
- 5 REMOVE (E) RW PIPING UP TO (E) ROOF DRAIN, UNLESS OTHERWISE NOTED, (E) ROOF DRAIN TO REMAIN.
- 6 UNLESS OTHERWISE NOTED, REMOVE EXISTING VENT THROUGH ROOF AND PREP AREA FOR NEW VTR.

SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.



GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS. SEE DEMOLITION PART PLANS ON SHEET PD401.

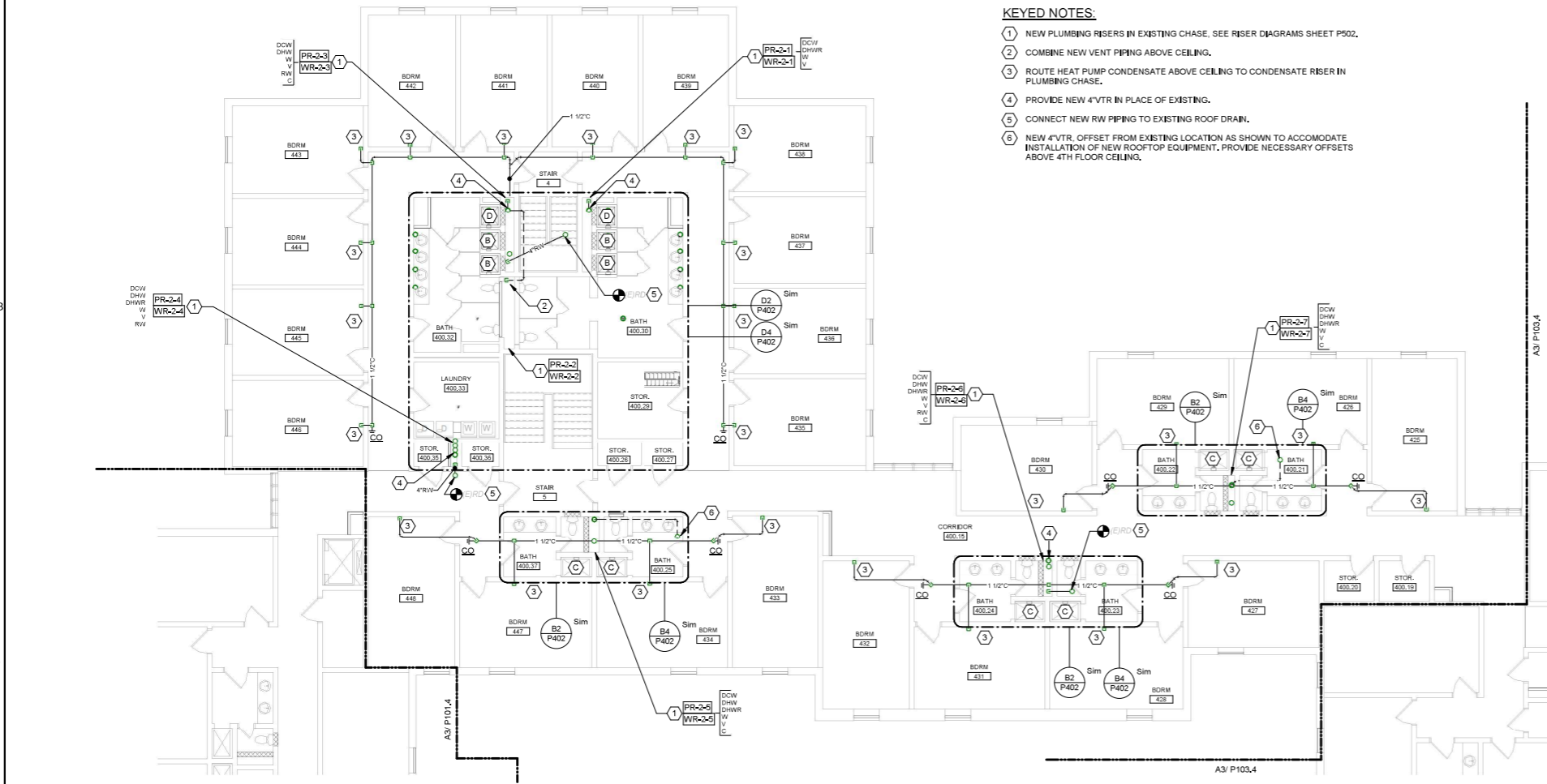
C6 PHASE 2 FOURTH FLOOR PLUMBING DEMOLITION PLAN

KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE. SEE RISER DIAGRAMS SHEET P502.
- 2 COMBINE NEW VENT PIPING ABOVE CEILING.
- 3 ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 4 PROVIDE NEW 4"VTR IN PLACE OF EXISTING.
- 5 CONNECT NEW RW PIPING TO EXISTING ROOF DRAIN.
- 6 NEW 4"VTR, OFFSET FROM EXISTING LOCATION AS SHOWN TO ACCOMMODATE INSTALLATION OF NEW ROOFTOP EQUIPMENT. PROVIDE NECESSARY OFFSETS ABOVE 4TH FLOOR CEILING.

SHOWER NOTES:

- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAPPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAPPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

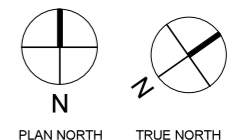


GENERAL PLUMBING NOTES:

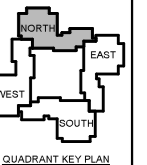
- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DRW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

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A6 PHASE 2 FOURTH FLOOR PLUMBING PLAN



No.	Date	Description

Revision	Schedule

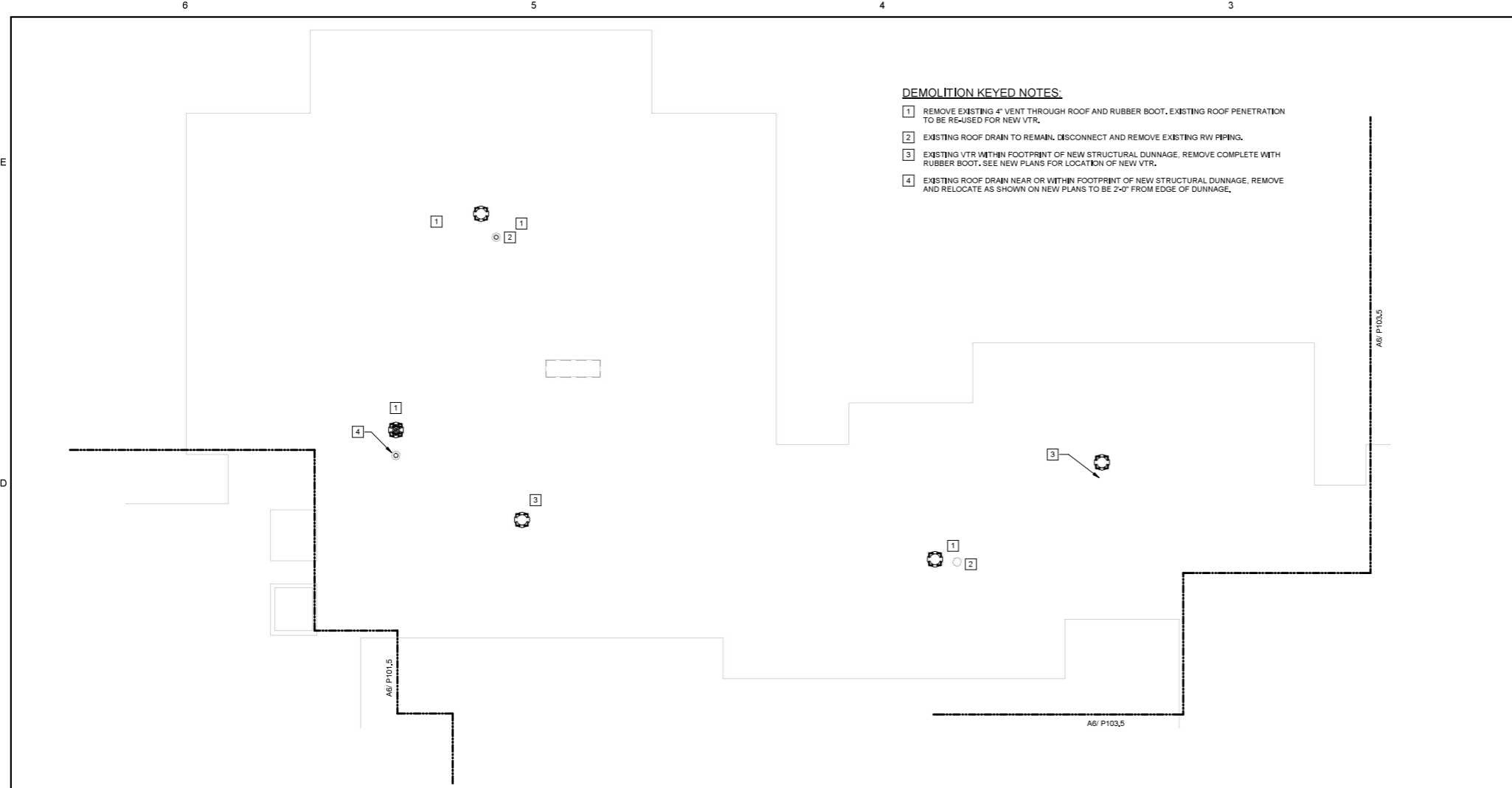
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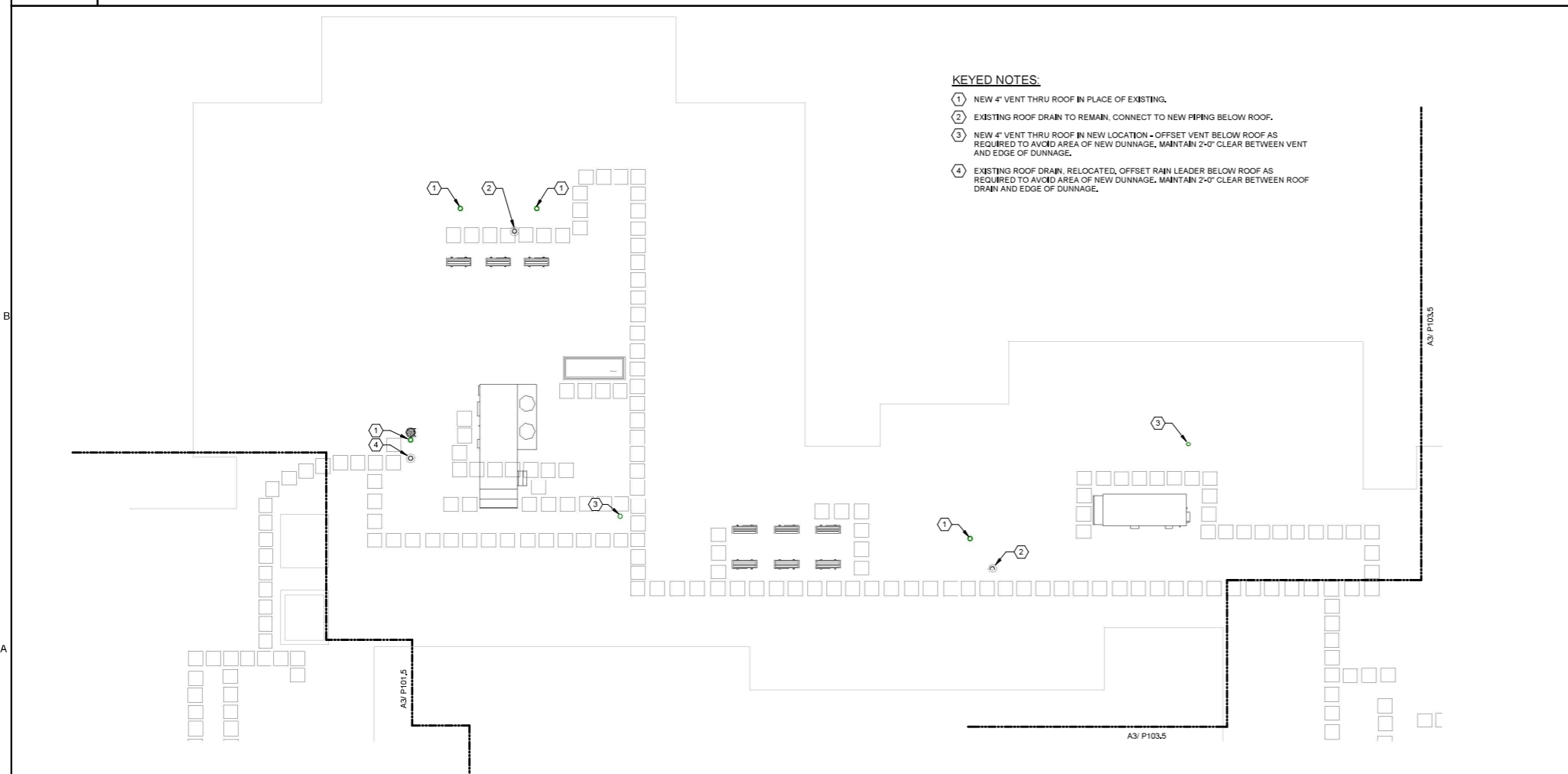
TITLE
PHASE 2 FOURTH FLOOR PLUMBING DEMOLITION & NEW PLANS

SHEET
P102.4



- DEMOLITION KEYED NOTES:**
- 1 REMOVE EXISTING 4" VENT THROUGH ROOF AND RUBBER BOOT, EXISTING ROOF PENETRATION TO BE RE-USED FOR NEW VTR.
 - 2 EXISTING ROOF DRAIN TO REMAIN, DISCONNECT AND REMOVE EXISTING RW PIPING.
 - 3 EXISTING VTR WITHIN FOOTPRINT OF NEW STRUCTURAL DUNNAGE, REMOVE COMPLETE WITH RUBBER BOOT, SEE NEW PLANS FOR LOCATION OF NEW VTR.
 - 4 EXISTING ROOF DRAIN NEAR OR WITHIN FOOTPRINT OF NEW STRUCTURAL DUNNAGE, REMOVE AND RELOCATE AS SHOWN ON NEW PLANS TO BE 2'-0" FROM EDGE OF DUNNAGE.

C6 PHASE 2 - ROOF PLUMBING DEMOLITION PLAN



- KEYED NOTES:**
- 1 NEW 4" VENT THRU ROOF IN PLACE OF EXISTING.
 - 2 EXISTING ROOF DRAIN TO REMAIN, CONNECT TO NEW PIPING BELOW ROOF.
 - 3 NEW 4" VENT THRU ROOF IN NEW LOCATION - OFFSET VENT BELOW ROOF AS REQUIRED TO AVOID AREA OF NEW DUNNAGE, MAINTAIN 2'-0" CLEAR BETWEEN VENT AND EDGE OF DUNNAGE.
 - 4 EXISTING ROOF DRAIN, RELOCATED, OFFSET RAIN LEADER BELOW ROOF AS REQUIRED TO AVOID AREA OF NEW DUNNAGE, MAINTAIN 2'-0" CLEAR BETWEEN ROOF DRAIN AND EDGE OF DUNNAGE.

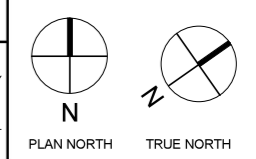
A6 PHASE 2 - ROOF PLUMBING PLAN

GENERAL PLUMBING NOTES:

1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DRW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

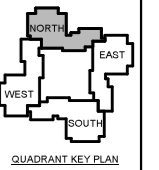
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TITLE
PHASE 2 ROOF
PLUMBING DEMOLITION
& NEW PLANS

SHEET
P102.5

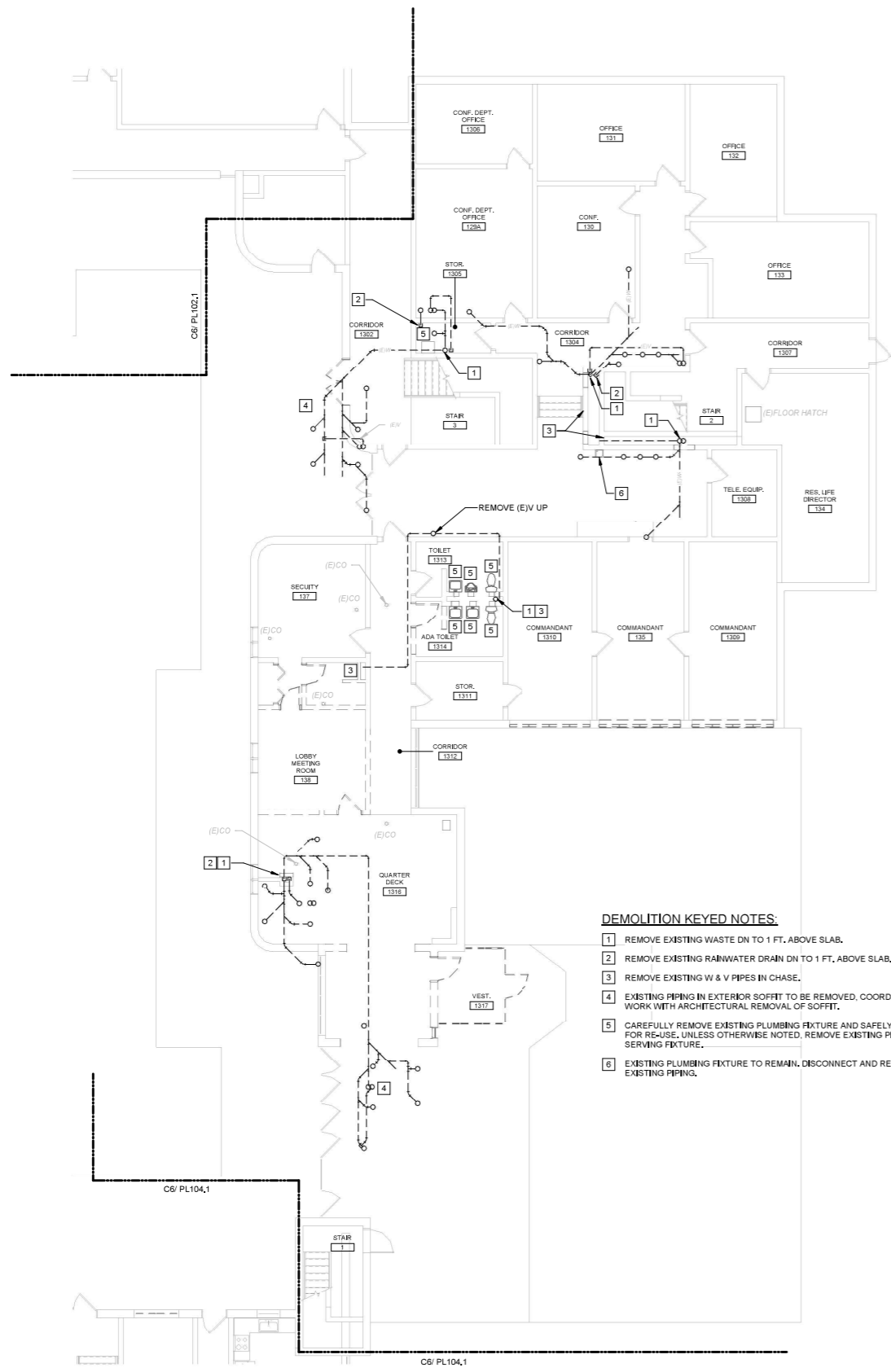
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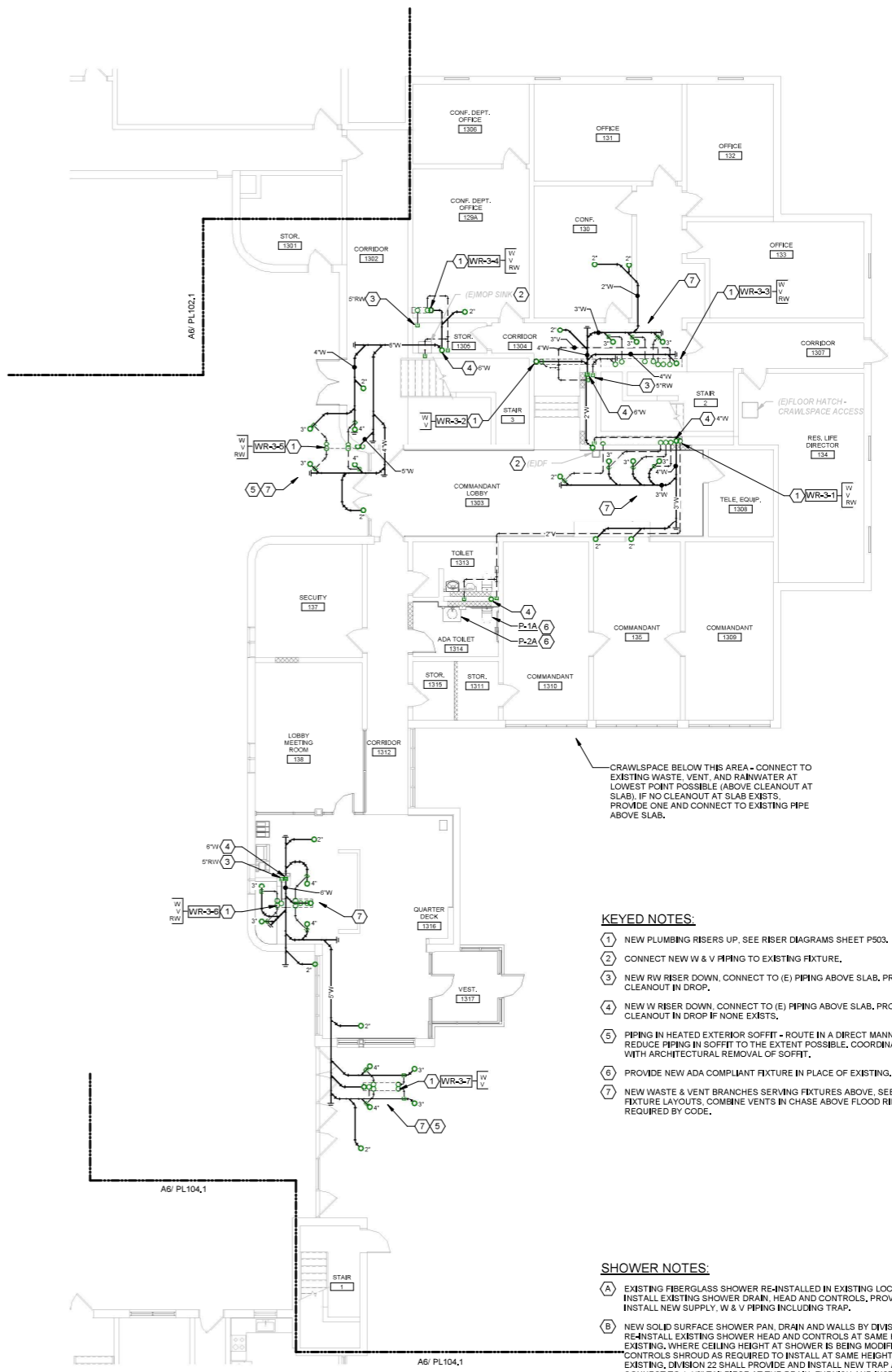
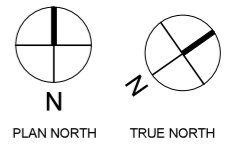


- DEMOLITION KEYED NOTES:**
- 1 REMOVE EXISTING WASTE DN TO 1 FT. ABOVE SLAB.
 - 2 REMOVE EXISTING RAINWATER DRAIN DN TO 1 FT. ABOVE SLAB.
 - 3 REMOVE EXISTING W & V PIPES IN CHASE.
 - 4 EXISTING PIPING IN EXTERIOR SOFFIT TO BE REMOVED. COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.
 - 5 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
 - 6 EXISTING PLUMBING FIXTURE TO REMAIN, DISCONNECT AND REMOVE EXISTING PIPING.

- SHOWER DEMOLITION NOTES:**
- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
 - B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
 - C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
 - D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

- GENERAL PLUMBING NOTES:**
1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING, REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:
 THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2/MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS, INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.

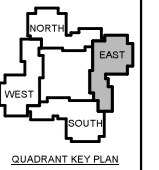


- KEYED NOTES:**
- 1 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P503.
 - 2 CONNECT NEW W & V PIPING TO EXISTING FIXTURE.
 - 3 NEW RW RISER DOWN, CONNECT TO (E) PIPING ABOVE SLAB, PROVIDE CLEANOUT IN DROP.
 - 4 NEW W RISER DOWN, CONNECT TO (E) PIPING ABOVE SLAB, PROVIDE CLEANOUT IN DROP IF NONE EXISTS.
 - 5 PIPING IN HEATED EXTERIOR SOFFIT - ROUTE IN A DIRECT MANNER TO REDUCE PIPING IN SOFFIT TO THE EXTENT POSSIBLE, COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.
 - 6 PROVIDE NEW ADA COMPLIANT FIXTURE IN PLACE OF EXISTING.
 - 7 NEW WASTE & VENT BRANCHES SERVING FIXTURES ABOVE, SEE P402 FOR FIXTURE LAYOUTS, COMBINE VENTS IN CHASE ABOVE FLOOD RIM AS REQUIRED BY CODE.

- SHOWER NOTES:**
- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
 - B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
 - C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
 - D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

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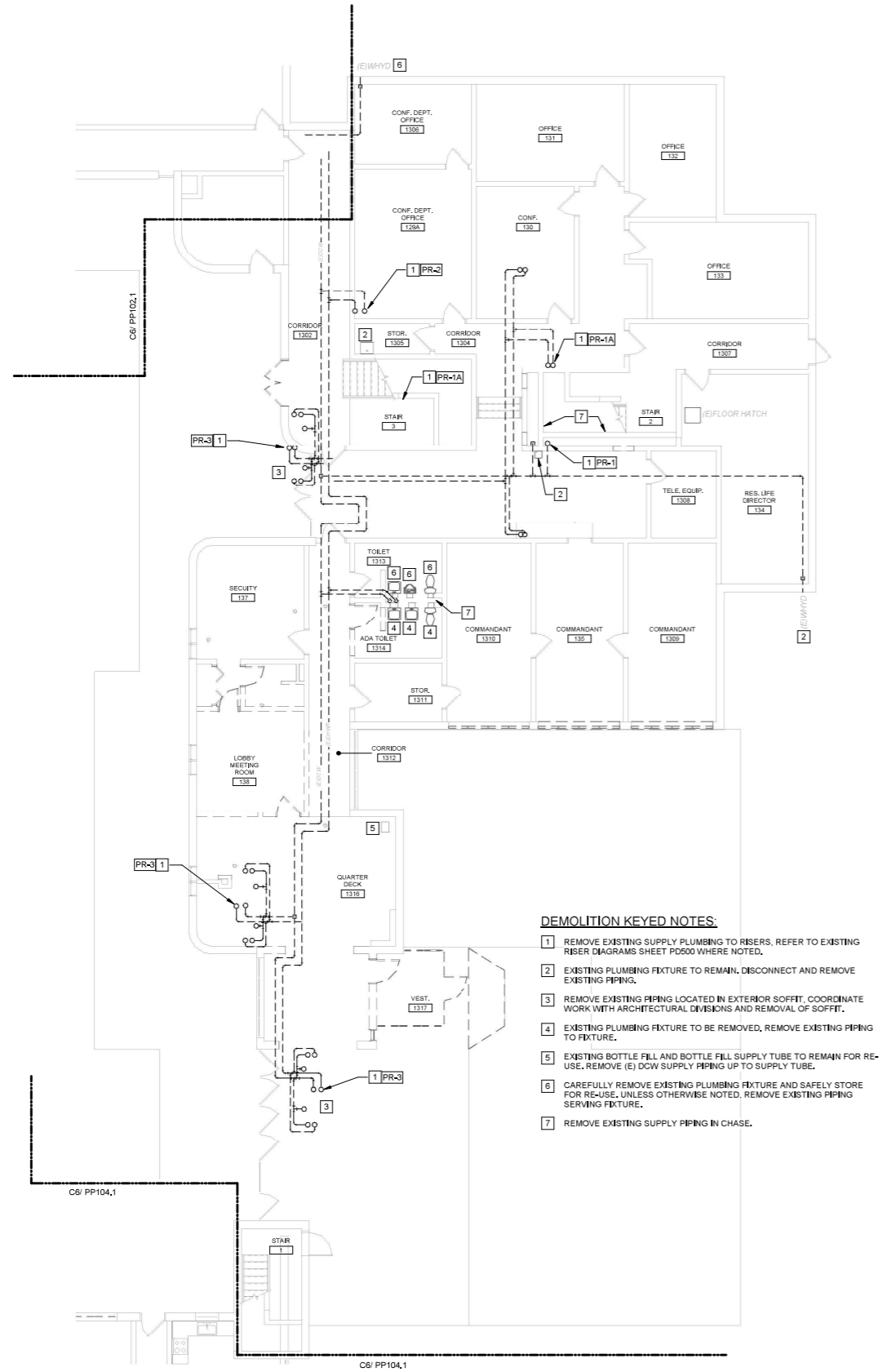
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JOB NO. 075982

ISSUE
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 11/22/2023

TITLE
 PHASE 3 FIRST FLOOR PLUMBING W&V DEMOLITION & NEW PLANS

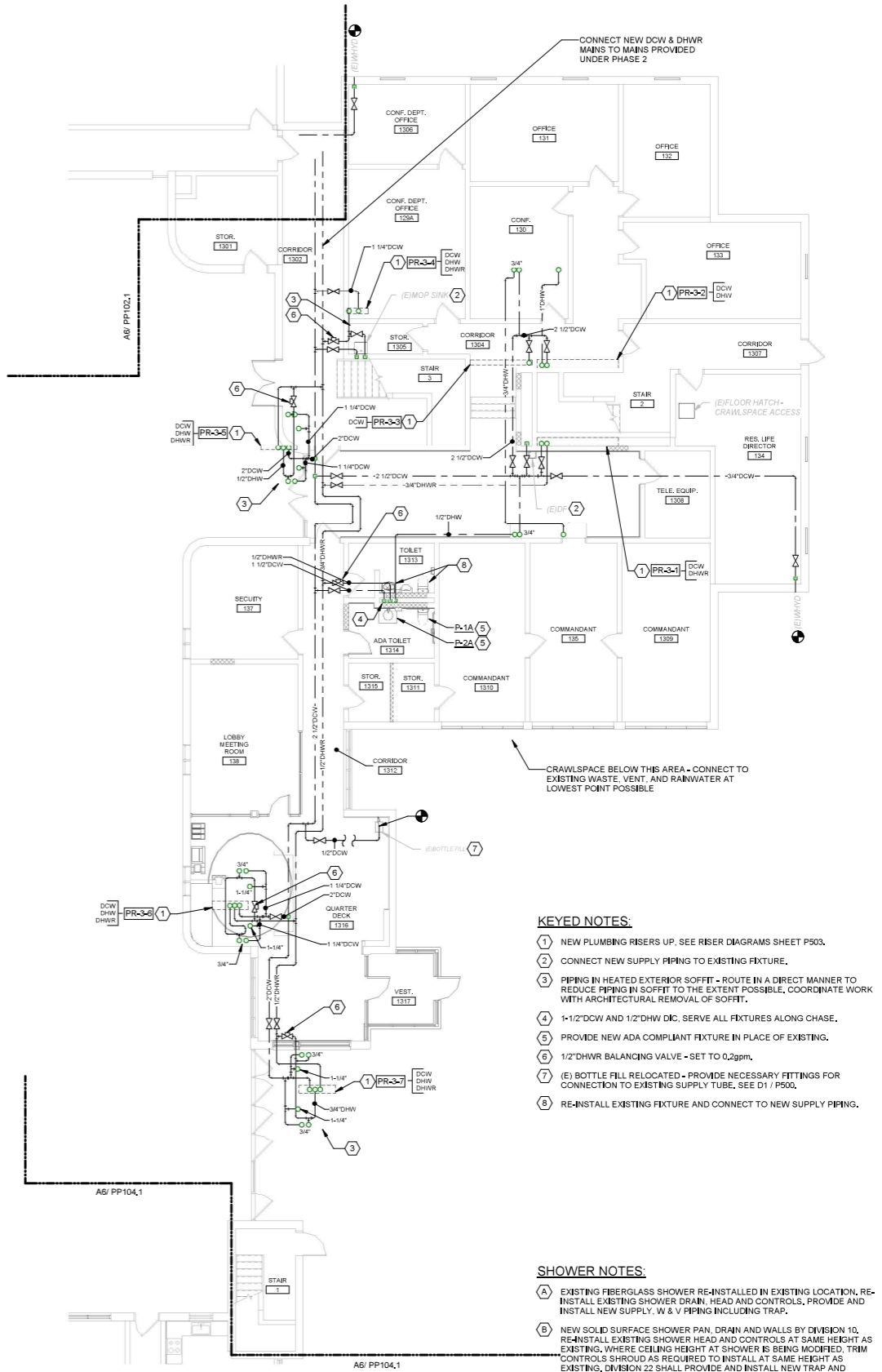
SHEET
PL103.1



- DEMOLITION KEYED NOTES:**
- 1 REMOVE EXISTING SUPPLY PLUMBING TO RISERS, REFER TO EXISTING RISER DIAGRAMS SHEET P0500 WHERE NOTED.
 - 2 EXISTING PLUMBING FIXTURE TO REMAIN, DISCONNECT AND REMOVE EXISTING PIPING.
 - 3 REMOVE EXISTING PIPING LOCATED IN EXTERIOR SOFFIT, COORDINATE WORK WITH ARCHITECTURAL DIVISIONS AND REMOVAL OF SOFFIT.
 - 4 EXISTING PLUMBING FIXTURE TO BE REMOVED, REMOVE EXISTING PIPING TO FIXTURE.
 - 5 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE, REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.
 - 6 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
 - 7 REMOVE EXISTING SUPPLY PIPING IN CHASE.

- SHOWER DEMOLITION NOTES:**
- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
 - B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
 - C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
 - D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

A6 PHASE 3 FIRST FLOOR PLUMBING SUPPLY DEMOLITION PLAN

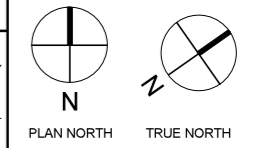


- KEYED NOTES:**
- 1 NEW PLUMBING RISERS UP, SEE RISER DIAGRAMS SHEET P503.
 - 2 CONNECT NEW SUPPLY PIPING TO EXISTING FIXTURE.
 - 3 PIPING IN HEATED EXTERIOR SOFFIT - ROUTE IN A DIRECT MANNER TO REDUCE PIPING IN SOFFIT TO THE EXTENT POSSIBLE, COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.
 - 4 1-1/2"DCW AND 1/2"DHW DIC, SERVE ALL FIXTURES ALONG CHASE.
 - 5 PROVIDE NEW ADA COMPLIANT FIXTURE IN PLACE OF EXISTING.
 - 6 1/2"DHW BALANCING VALVE - SET TO 0.2gpm.
 - 7 (E) BOTTLE FILL RELOCATED - PROVIDE NECESSARY FITTINGS FOR CONNECTION TO EXISTING SUPPLY TUBE, SEE D1 / P500.
 - 8 RE-INSTALL EXISTING FIXTURE AND CONNECT TO NEW SUPPLY PIPING.

- SHOWER NOTES:**
- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
 - B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
 - C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
 - D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

- GENERAL PLUMBING NOTES:**
- 1, UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING, REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
 - 2, EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

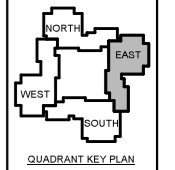
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A3 PHASE 3 FIRST FLOOR PLUMBING SUPPLY PLAN

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JOB NO. 075982

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 11/22/2023

TITLE
 PHASE 3 FIRST FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS

SHEET
PP103.1

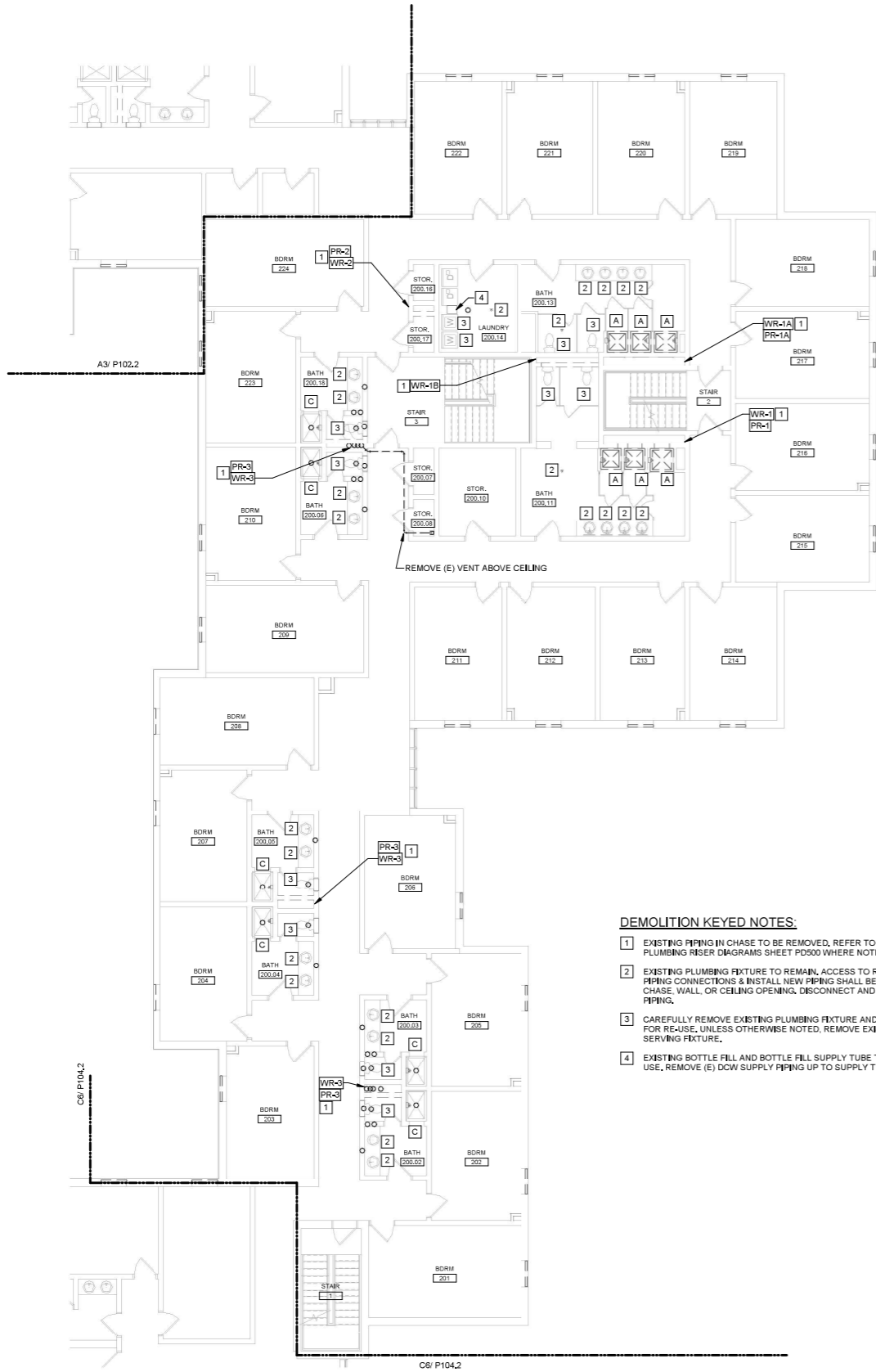
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DEMOLITION KEYED NOTES:

- 1 EXISTING PIPING IN CHASE TO BE REMOVED, REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET PD500 WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN, ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING, DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE, REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.

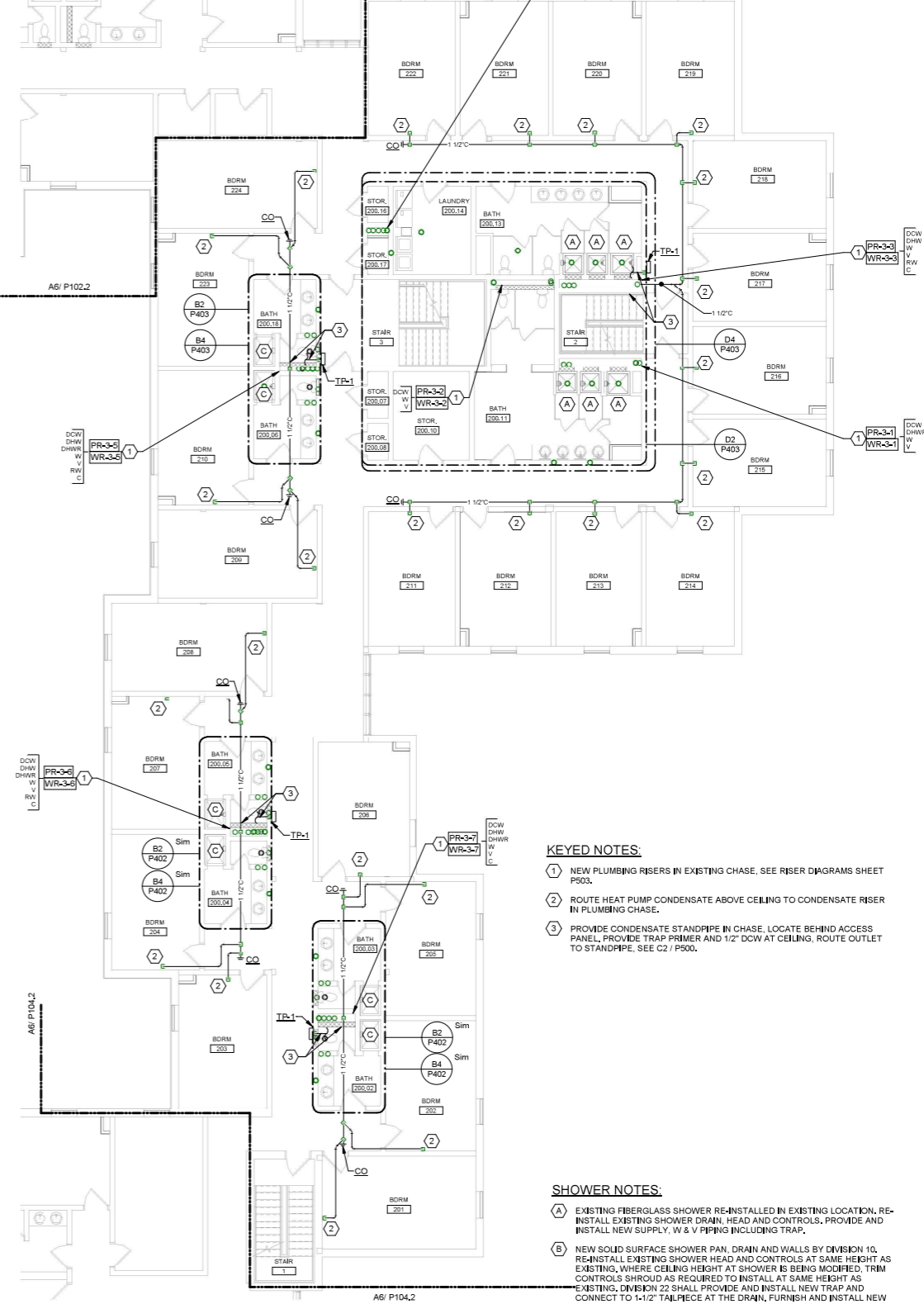
SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

A6 PHASE 3 SECOND FLOOR PLUMBING DEMOLITION PLAN



KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET P503.
- 2 ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 3 PROVIDE CONDENSATE STANDPIPE IN CHASE, LOCATE BEHIND ACCESS PANEL, PROVIDE TRAP PRIMER AND 1/2" DCW AT CEILING, ROUTE OUTLET TO STANDPIPE, SEE C2 / P500.

SHOWER NOTES:

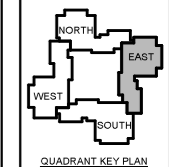
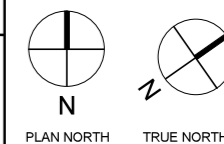
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- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING, REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

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TITLE
PHASE 3 SECOND FLOOR PLUMBING DEMOLITION & NEW PLANS

SHEET
P103.2

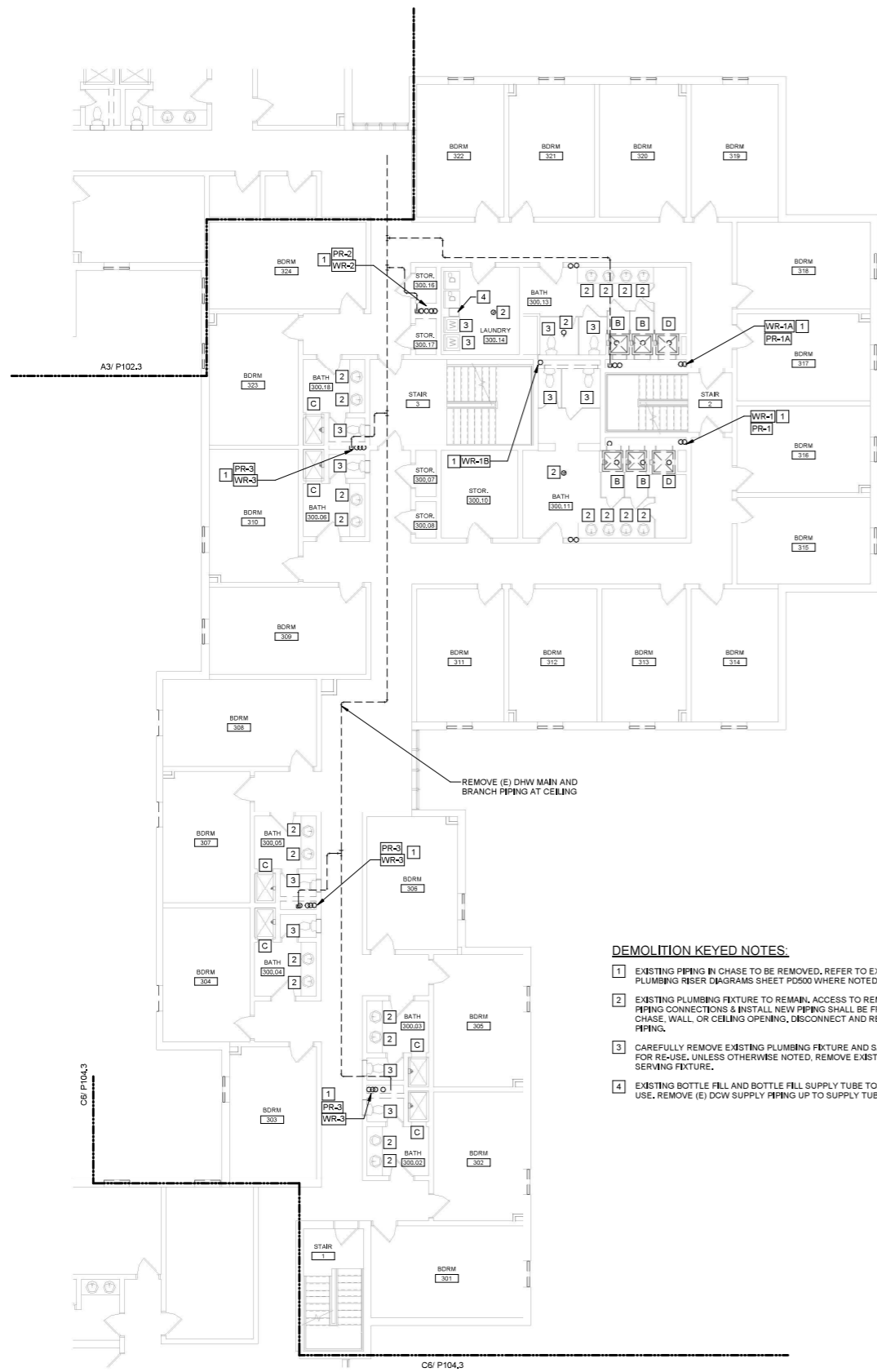
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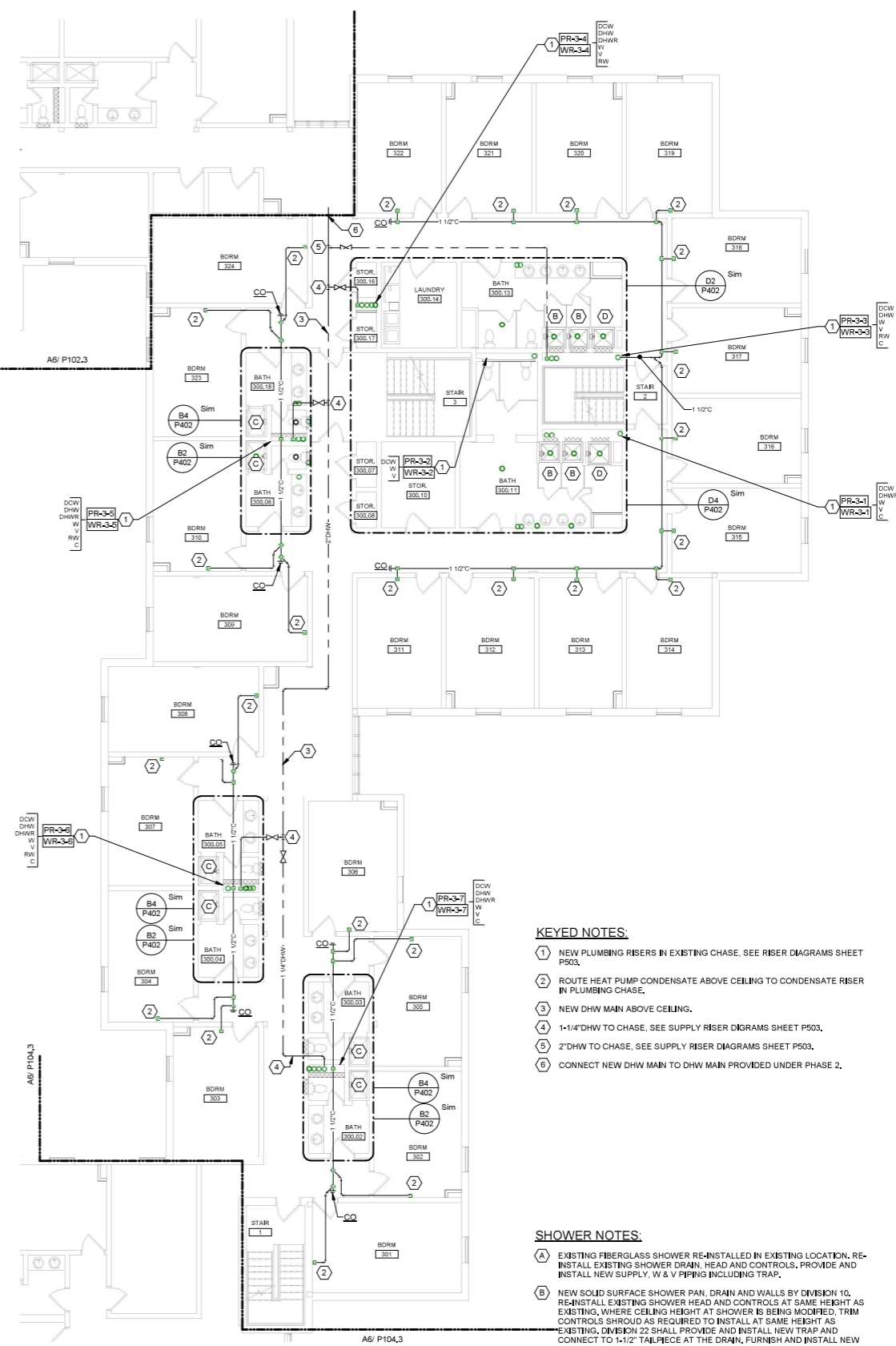
- DEMOLITION KEYED NOTES:**
- EXISTING PIPING IN CHASE TO BE REMOVED. REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET PD000 WHERE NOTED.
 - EXISTING PLUMBING FIXTURE TO REMAIN. ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING, DISCONNECT AND REMOVE EXISTING PIPING.
 - CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE. UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
 - EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE. REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.

- SHOWER DEMOLITION NOTES:**
- EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
 - EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
 - EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
 - EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

GENERAL PLUMBING DEMOLITION NOTES:

- FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS. SEE DEMOLITION PART PLANS ON SHEET PD401.

A6 PHASE 3 THIRD FLOOR PLUMBING DEMOLITION PLAN



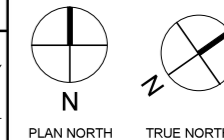
- KEYED NOTES:**
- NEW PLUMBING RISERS IN EXISTING CHASE. SEE RISER DIAGRAMS SHEET P503.
 - ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
 - NEW DHW MAIN ABOVE CEILING.
 - 1-1/4" DHW TO CHASE. SEE SUPPLY RISER DIAGRAMS SHEET P503.
 - 2" DHW TO CHASE. SEE SUPPLY RISER DIAGRAMS SHEET P503.
 - CONNECT NEW DHW MAIN TO DHW MAIN PROVIDED UNDER PHASE 2.

- SHOWER NOTES:**
- EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
 - NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
 - EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
 - NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

- GENERAL PLUMBING NOTES:**
- UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
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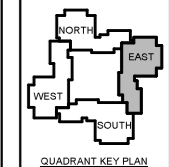
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TITLE
PHASE 3 THIRD FLOOR PLUMBING DEMOLITION & NEW PLANS

SHEET
P103.3

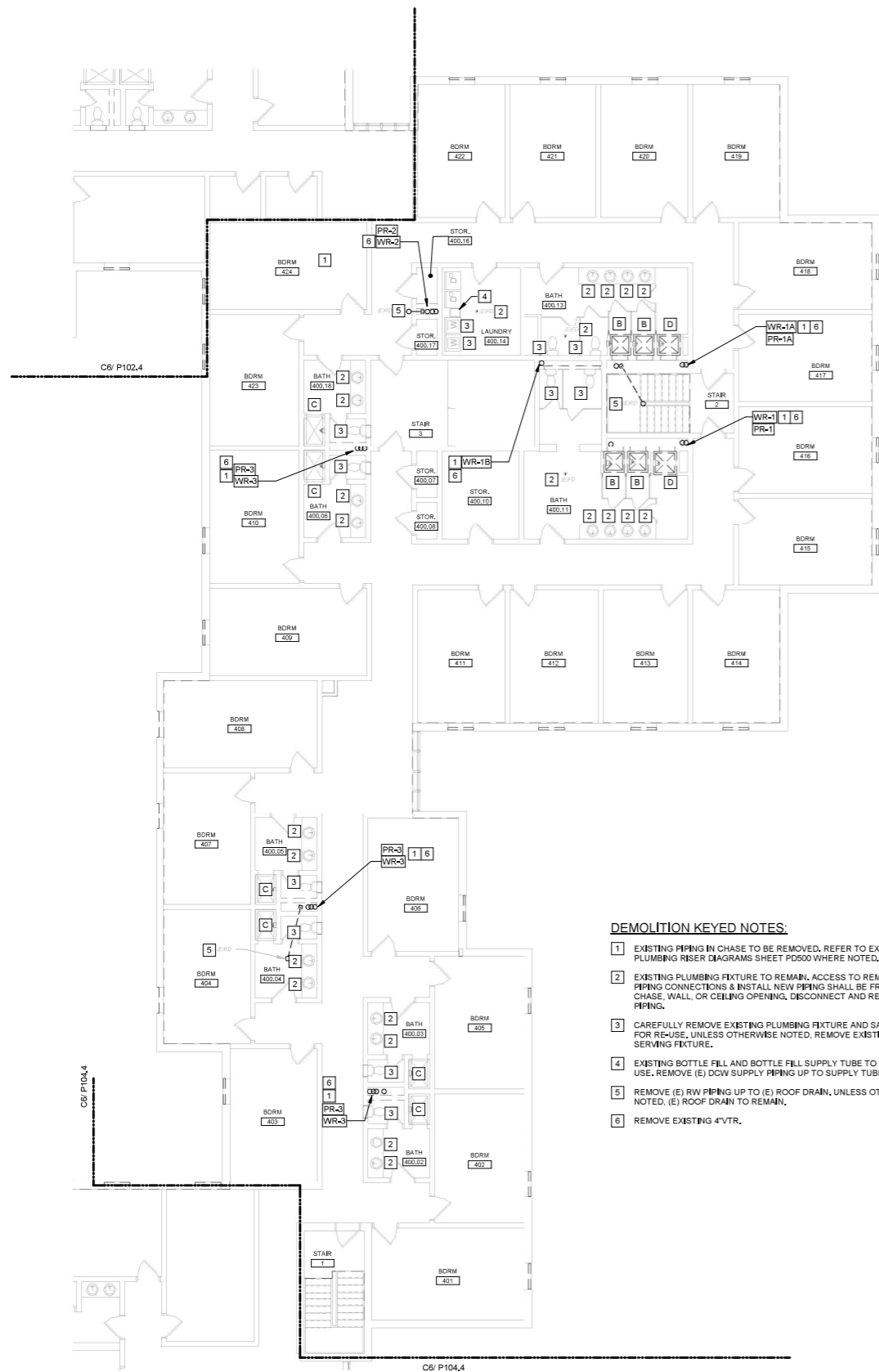
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DEMOLITION KEYED NOTES:

- 1 EXISTING PIPING IN CHASE TO BE REMOVED, REFER TO EXISTING PLUMBING RISER DIAGRAMS SHEET PD500 WHERE NOTED.
- 2 EXISTING PLUMBING FIXTURE TO REMAIN, ACCESS TO REMOVE EXISTING PIPING CONNECTIONS & INSTALL NEW PIPING SHALL BE FROM ADJACENT CHASE, WALL, OR CEILING OPENING, DISCONNECT AND REMOVE EXISTING PIPING.
- 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED, REMOVE EXISTING PIPING SERVING FIXTURE.
- 4 EXISTING BOTTLE FILL AND BOTTLE FILL SUPPLY TUBE TO REMAIN FOR RE-USE, REMOVE (E) DCW SUPPLY PIPING UP TO SUPPLY TUBE.
- 5 REMOVE (E) RW PIPING UP TO (E) ROOF DRAIN, UNLESS OTHERWISE NOTED, (E) ROOF DRAIN TO REMAIN.
- 6 REMOVE EXISTING 4"VTR.

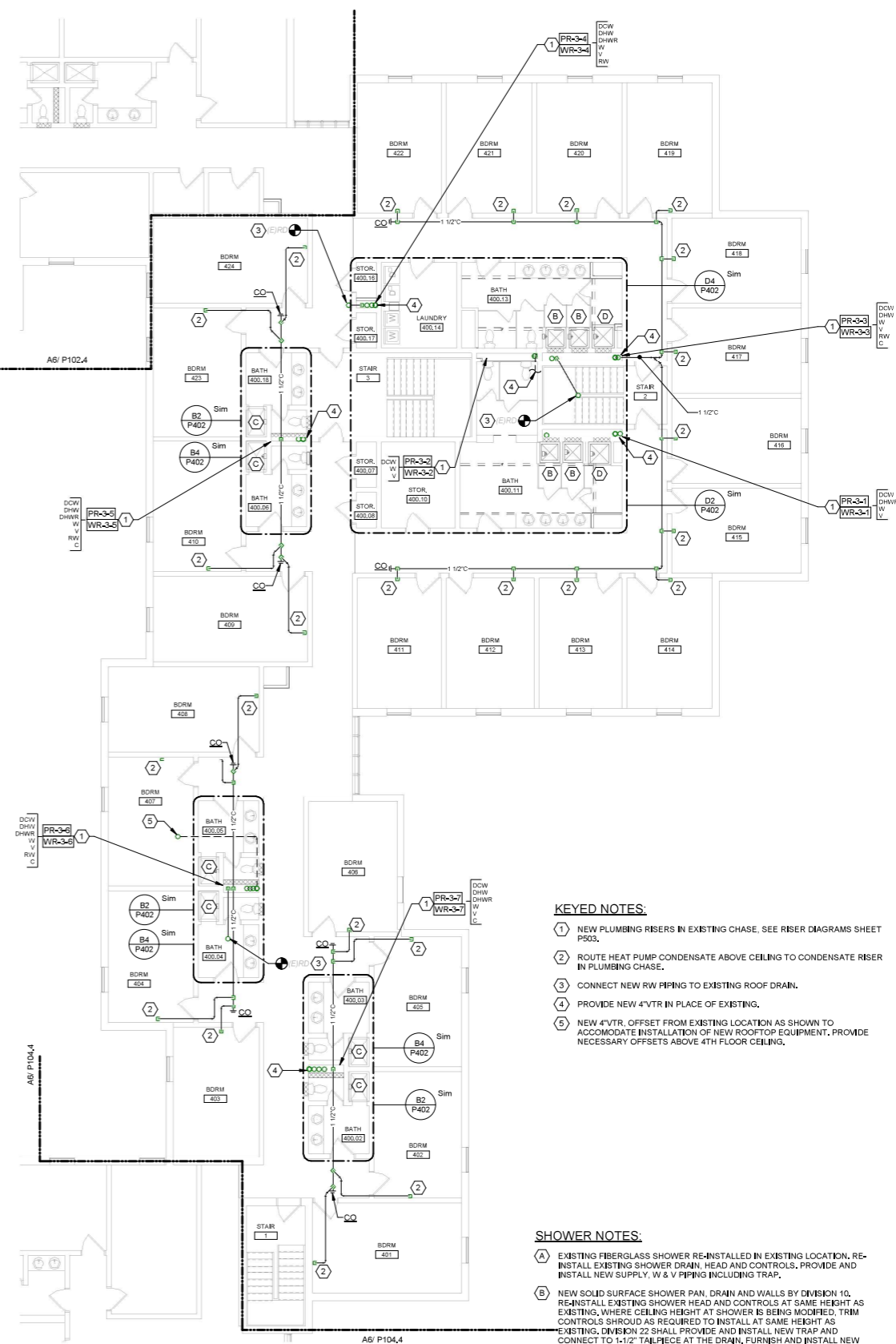
SHOWER DEMOLITION NOTES:

- A EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED, CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- B EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- C EXISTING TILED SHOWER TO REMAIN, CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE, EXISTING DRAIN ASSEMBLY TO REMAIN, REMOVE ALL EXISTING PIPING SERVING SHOWER.
- D EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS, CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE, REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

GENERAL PLUMBING DEMOLITION NOTES:

- 1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS, SEE DEMOLITION PART PLANS ON SHEET PD401.

A6 PHASE 3 FOURTH FLOOR PLUMBING DEMOLITION PLAN



KEYED NOTES:

- 1 NEW PLUMBING RISERS IN EXISTING CHASE, SEE RISER DIAGRAMS SHEET PD503.
- 2 ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO CONDENSATE RISER IN PLUMBING CHASE.
- 3 CONNECT NEW RW PIPING TO EXISTING ROOF DRAIN.
- 4 PROVIDE NEW 4"VTR IN PLACE OF EXISTING.
- 5 NEW 4"VTR, OFFSET FROM EXISTING LOCATION AS SHOWN TO ACCOMMODATE INSTALLATION OF NEW ROOFTOP EQUIPMENT, PROVIDE NECESSARY OFFSETS ABOVE 4TH FLOOR CEILING.

SHOWER NOTES:

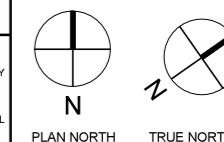
- A EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION, RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- B NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- C EXISTING TILE SHOWER, RE-USE EXISTING DRAIN ASSEMBLY, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- D NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10, RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING, WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING, DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN, FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

GENERAL PLUMBING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING, REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK, RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK, CONNECT NEW PIPING TO EXISTING FIXTURES.
- 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

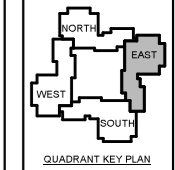
GENERAL PHASING NOTE:

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TITLE
PHASE 3 FOURTH FLOOR PLUMBING DEMOLITION & NEW PLANS

SHEET
P103.4

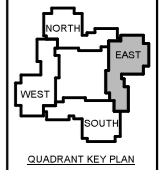
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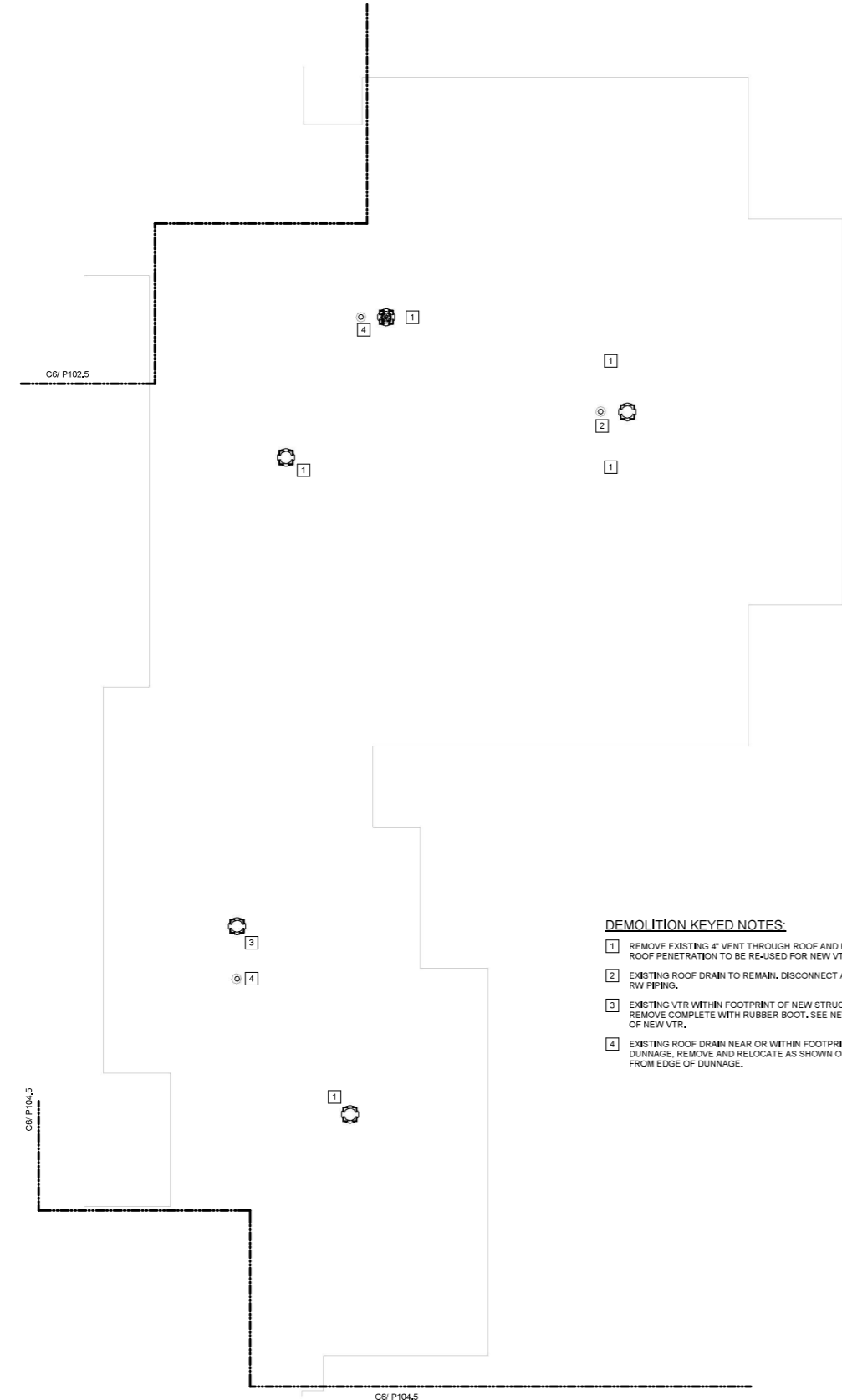
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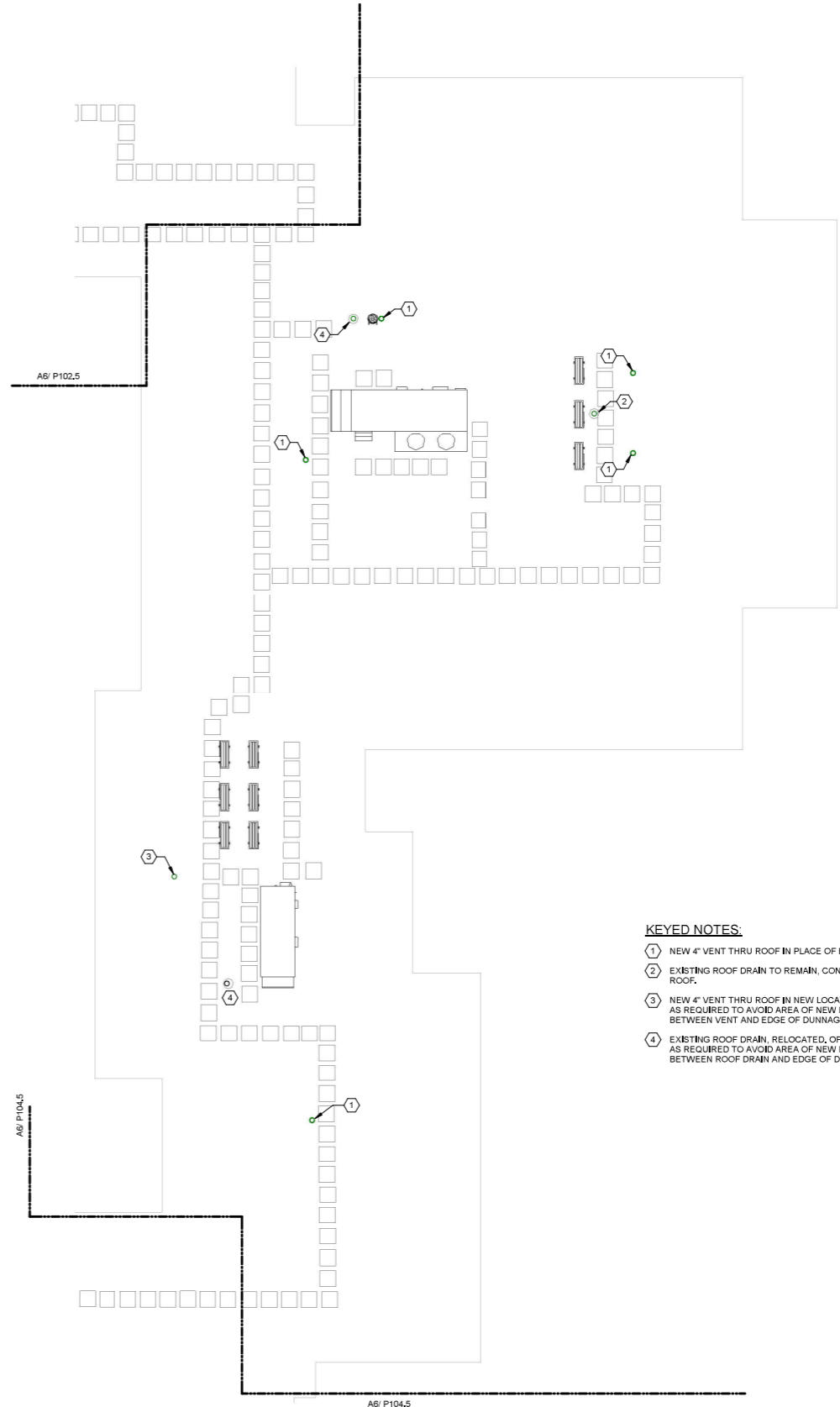
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TITLE
PHASE 3 ROOF PLUMBING DEMOLITION & NEW PLANS

SHEET
P103.5



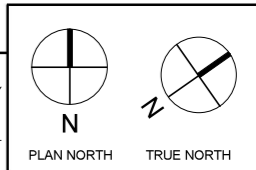
- DEMOLITION KEYED NOTES:**
- 1 REMOVE EXISTING 4" VENT THROUGH ROOF AND RUBBER BOOT. EXISTING ROOF PENETRATION TO BE RE-USED FOR NEW VTR.
 - 2 EXISTING ROOF DRAIN TO REMAIN. DISCONNECT AND REMOVE EXISTING RW PIPING.
 - 3 EXISTING VTR WITHIN FOOTPRINT OF NEW STRUCTURAL DUNNAGE. REMOVE COMPLETE WITH RUBBER BOOT. SEE NEW PLANS FOR LOCATION OF NEW VTR.
 - 4 EXISTING ROOF DRAIN NEAR OR WITHIN FOOTPRINT OF NEW STRUCTURAL DUNNAGE. REMOVE AND RELOCATE AS SHOWN ON NEW PLANS TO BE 2'-0" FROM EDGE OF DUNNAGE.

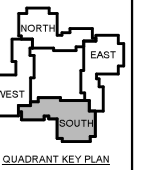


- KEYED NOTES:**
- 1 NEW 4" VENT THRU ROOF IN PLACE OF EXISTING.
 - 2 EXISTING ROOF DRAIN TO REMAIN. CONNECT TO NEW PIPING BELOW ROOF.
 - 3 NEW 4" VENT THRU ROOF IN NEW LOCATION - OFFSET VENT BELOW ROOF AS REQUIRED TO AVOID AREA OF NEW DUNNAGE. MAINTAIN 2'-0" CLEAR BETWEEN VENT AND EDGE OF DUNNAGE.
 - 4 EXISTING ROOF DRAIN, RELOCATED, OFFSET RAIN LEADER BELOW ROOF AS REQUIRED TO AVOID AREA OF NEW DUNNAGE. MAINTAIN 2'-0" CLEAR BETWEEN ROOF DRAIN AND EDGE OF DUNNAGE.

- GENERAL PLUMBING NOTES:**
1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DHW, DHWR, RW, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.
 2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES, AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:
THIS PROJECT IS SCHEDULED TO BE COMPLETED IN MULTIPLE PHASES. THE OWNER WILL OCCUPY ALL PORTIONS OF THE BUILDING THAT ARE NOT ACTIVELY UNDER CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SERVICES TO ALL PARTS OF THE BUILDING NOT ACTIVELY UNDER CONSTRUCTION. SEE A2 / MEP000 FOR AN EXAMPLE STRATEGY TO MAINTAIN SERVICE TO OCCUPIED AREAS. INTERRUPTIONS IN SERVICE TO OCCUPIED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL BE STRICTLY COORDINATED WITH MAINE MARITIME ACADEMY. SEE SHEET MEP000 FOR ADDITIONAL INFORMATION AND PHASING NOTES.





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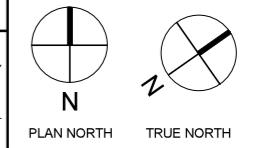
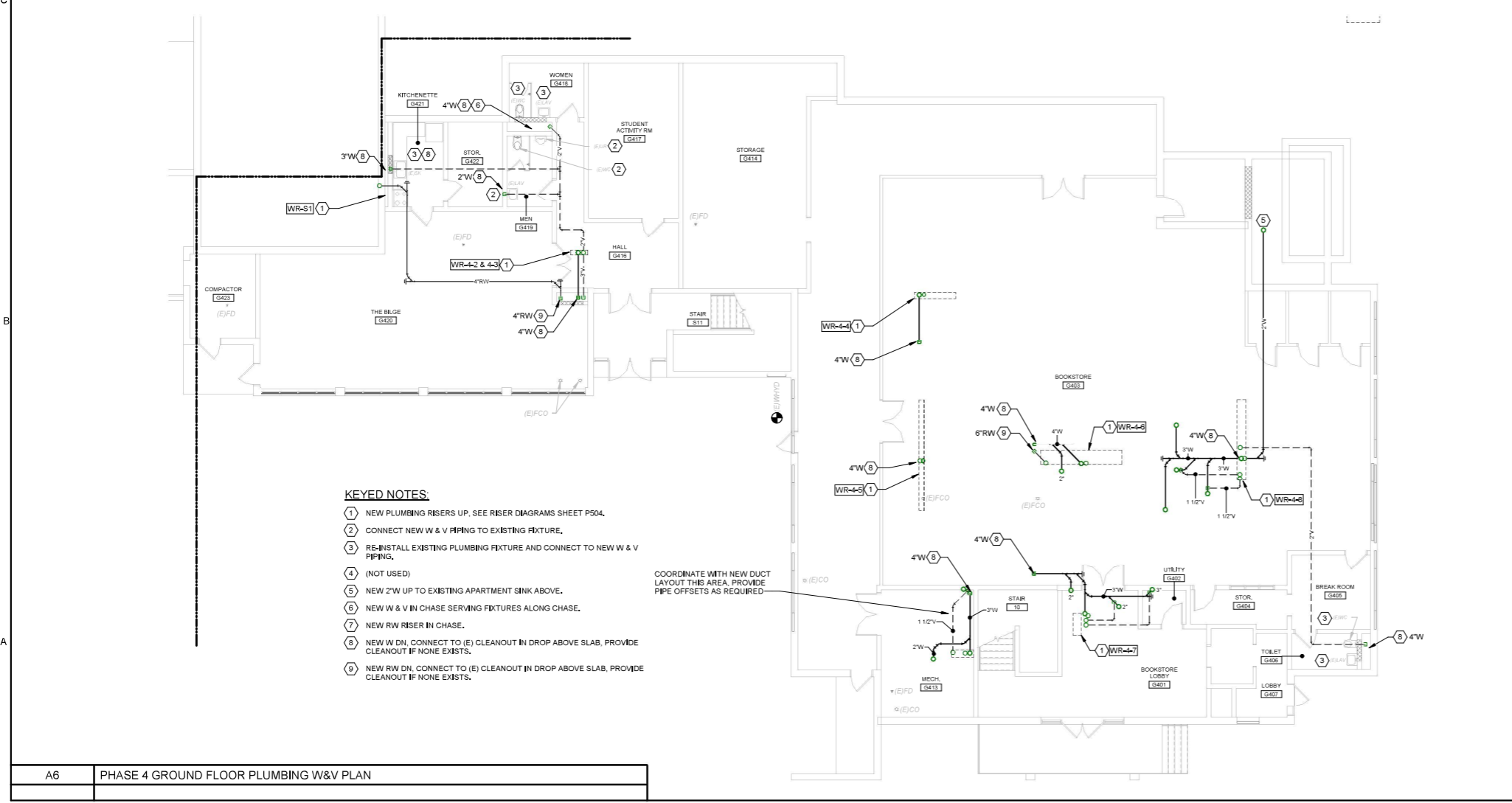
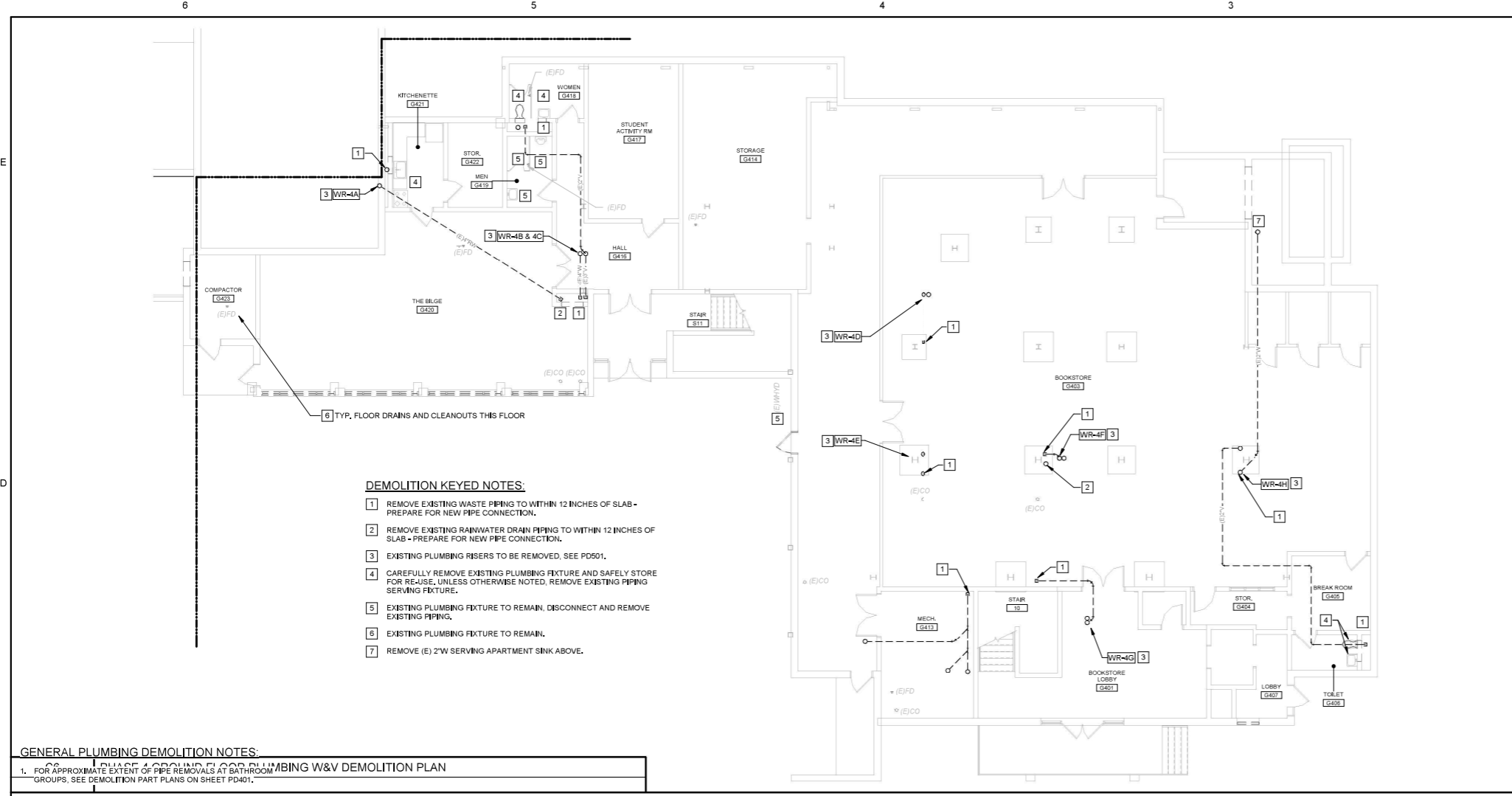
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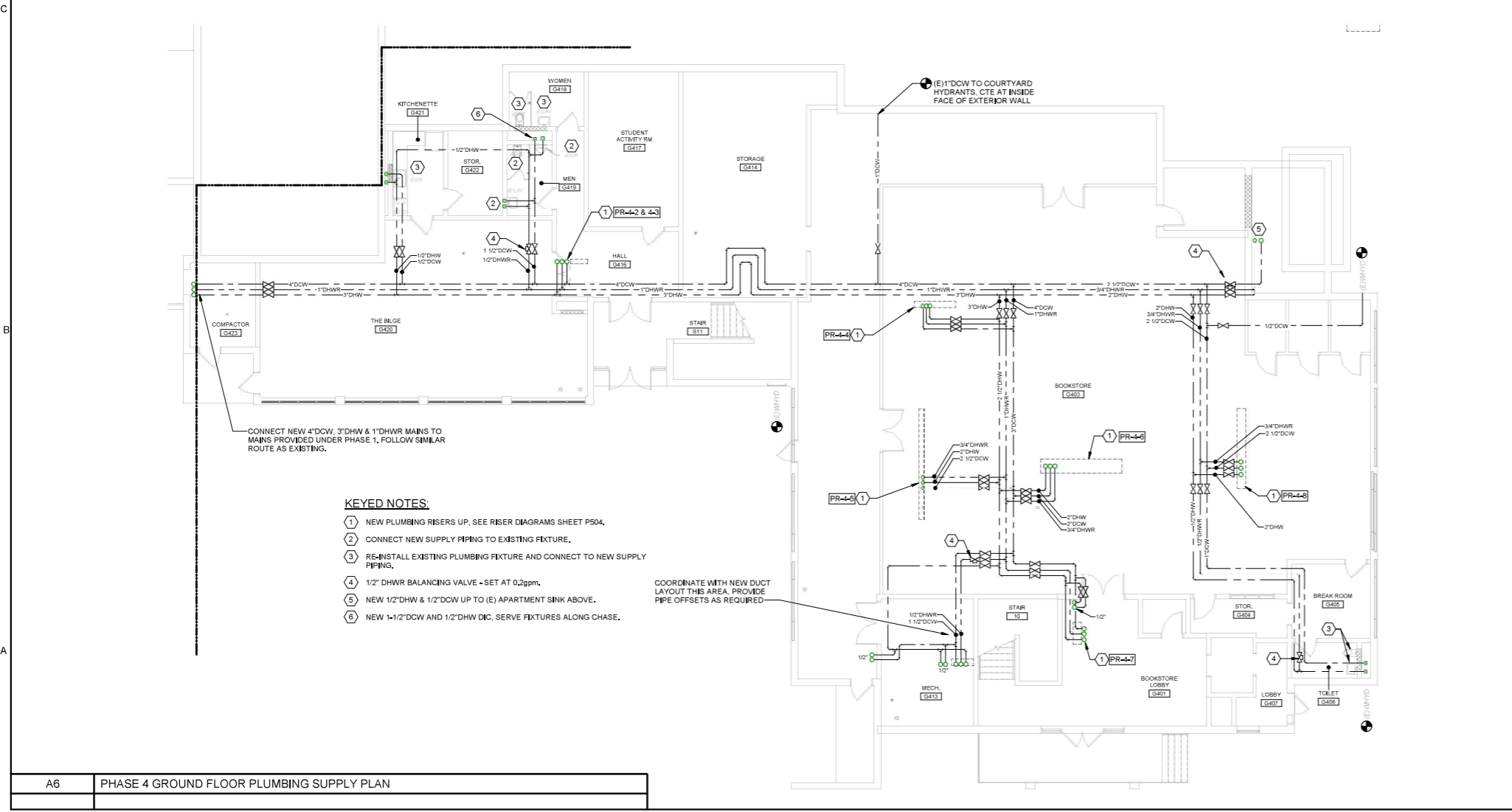
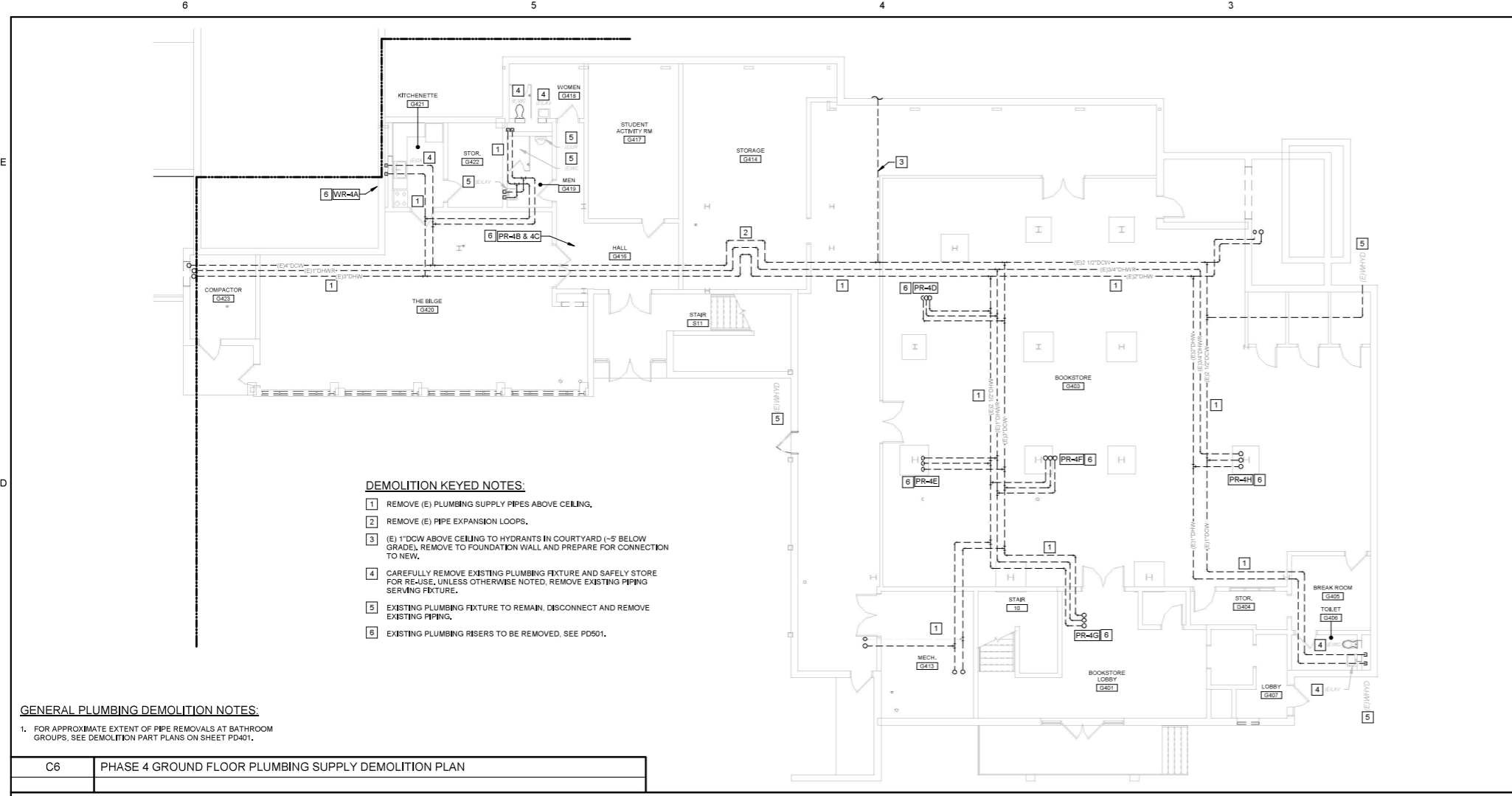
TITLE
PHASE 4 GROUND FLOOR W&V DEMOLITION & NEW PLANS

SHEET

PL104.G



A6 PHASE 4 GROUND FLOOR PLUMBING W&V PLAN



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QUADRANT KEY PLAN

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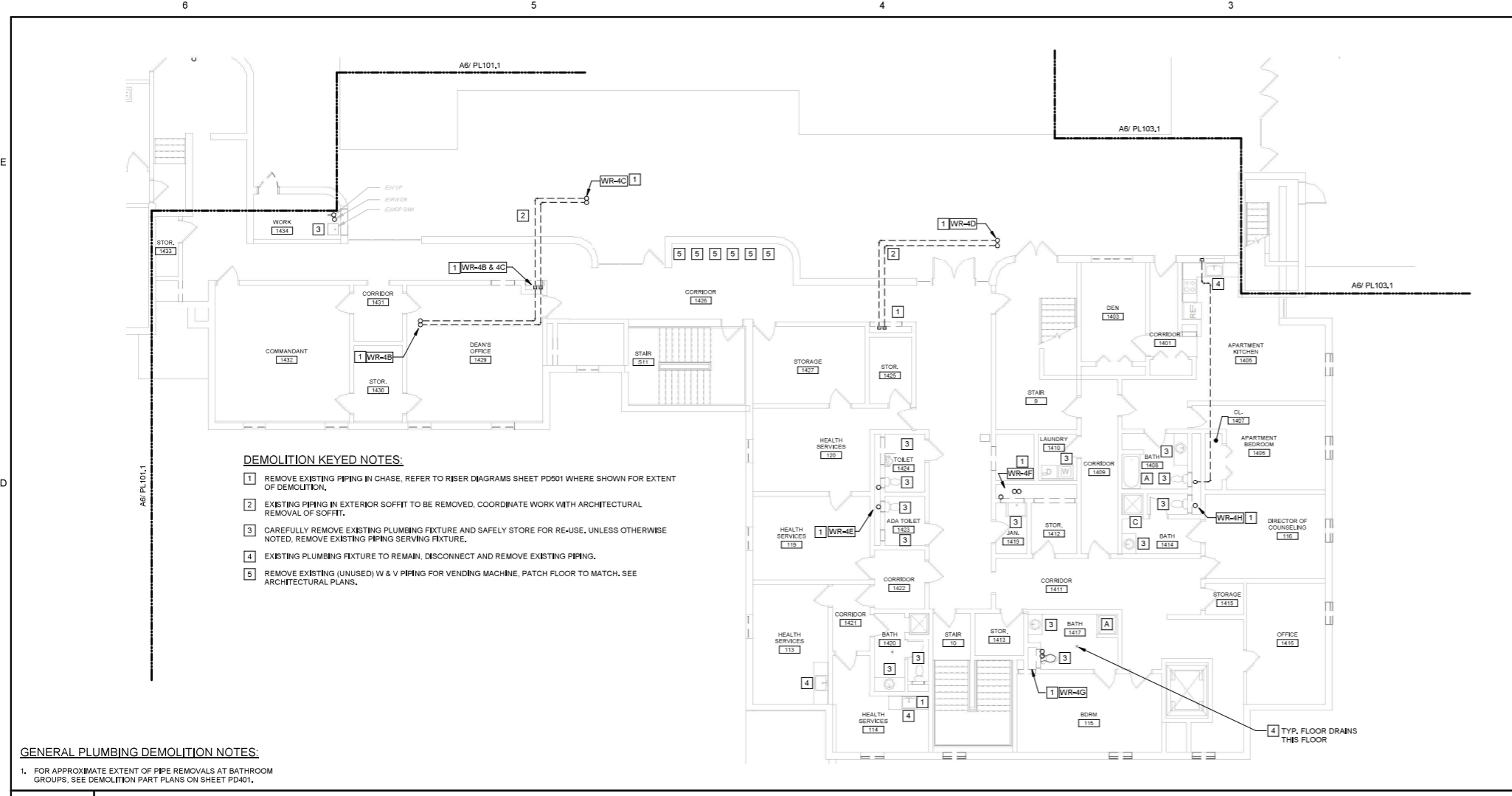
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TITLE
PHASE 4 GROUND FLOOR PLUMBING SUPPLY DEMOLITION & NEW PLANS

SHEET
PP104.G

PLAN NORTH TRUE NORTH



- DEMOLITION KEYED NOTES:**
- 1 REMOVE EXISTING PIPING IN CHASE. REFER TO RISER DIAGRAMS SHEET PD501 WHERE SHOWN FOR EXTENT OF DEMOLITION.
 - 2 EXISTING PIPING IN EXTERIOR SOFFIT TO BE REMOVED. COORDINATE WORK WITH ARCHITECTURAL REMOVAL OF SOFFIT.
 - 3 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND SAFELY STORE FOR RE-USE, UNLESS OTHERWISE NOTED. REMOVE EXISTING PIPING SERVING FIXTURE.
 - 4 EXISTING PLUMBING FIXTURE TO REMAIN. DISCONNECT AND REMOVE EXISTING PIPING.
 - 5 REMOVE EXISTING (UNUSED) W & V PIPING FOR VENDING MACHINE. PATCH FLOOR TO MATCH. SEE ARCHITECTURAL PLANS.

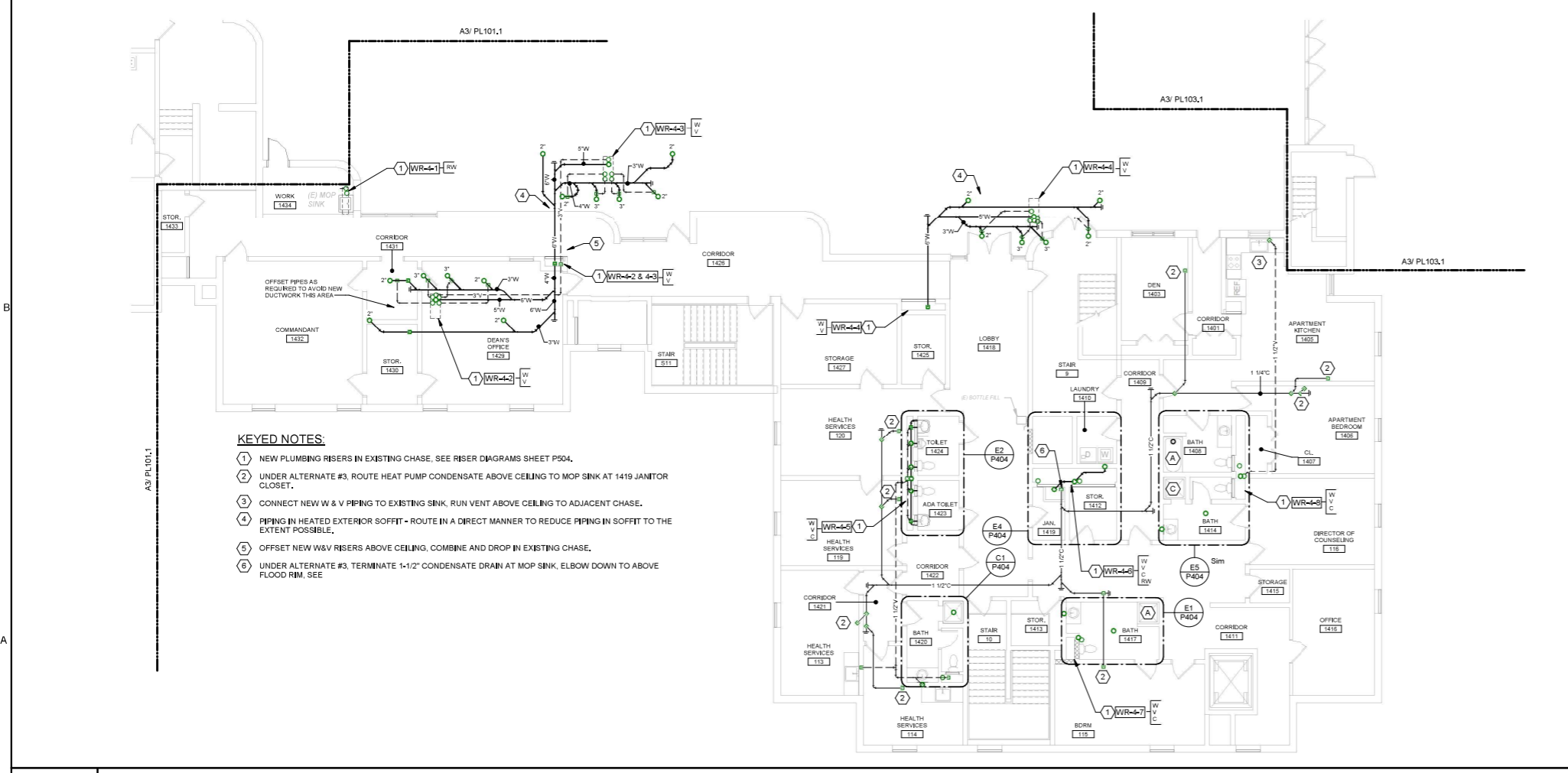
GENERAL PLUMBING DEMOLITION NOTES:

1. FOR APPROXIMATE EXTENT OF PIPE REMOVALS AT BATHROOM GROUPS. SEE DEMOLITION PART PLANS ON SHEET PD401.

SHOWER DEMOLITION NOTES:

- EXISTING FIBERGLASS SHOWER TO BE TEMPORARILY REMOVED AND RE-INSTALLED. CAREFULLY REMOVE SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED SHOWER TO REMAIN. CAREFULLY REMOVE EXISTING SHOWER CONTROLS AND STORE FOR RE-USE. EXISTING DRAIN ASSEMBLY TO REMAIN. REMOVE ALL EXISTING PIPING SERVING SHOWER.
- EXISTING TILED ADA SHOWER TO BE REMOVED AND REPLACED WITH SOLID SURFACE PANELS. CAREFULLY REMOVE EXISTING SURFACE MOUNTED SHOWER HEAD AND CONTROLS AND STORE FOR RE-USE. REMOVE EXISTING DRAIN ASSEMBLY AND ALL EXISTING PIPING SERVING SHOWER.

C6 PHASE 4 FIRST FLOOR PLUMBING W&V DEMOLITION PLAN



- KEYED NOTES:**
- 1 NEW PLUMBING RISERS IN EXISTING CHASE. SEE RISER DIAGRAMS SHEET P504.
 - 2 UNDER ALTERNATE #3, ROUTE HEAT PUMP CONDENSATE ABOVE CEILING TO MOP SINK AT 1419 JANITOR CLOSET.
 - 3 CONNECT NEW W & V PIPING TO EXISTING SINK. RUN VENT ABOVE CEILING TO ADJACENT CHASE.
 - 4 PIPING IN HEATED EXTERIOR SOFFIT - ROUTE IN A DIRECT MANNER TO REDUCE PIPING IN SOFFIT TO THE EXTENT POSSIBLE.
 - 5 OFFSET NEW W&V RISERS ABOVE CEILING. COMBINE AND DROP IN EXISTING CHASE.
 - 6 UNDER ALTERNATE #3, TERMINATE 1-1/2" CONDENSATE DRAIN AT MOP SINK. ELBOW DOWN TO ABOVE FLOOR RIM. SEE

SHOWER NOTES:

- EXISTING FIBERGLASS SHOWER RE-INSTALLED IN EXISTING LOCATION. RE-INSTALL EXISTING SHOWER DRAIN, HEAD AND CONTROLS. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING INCLUDING TRAP.
- NEW SOLID SURFACE SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE AT THE DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.
- EXISTING TILE SHOWER. RE-USE EXISTING DRAIN ASSEMBLY. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. PROVIDE AND INSTALL NEW SUPPLY, W & V PIPING.
- NEW SOLID SURFACE ADA SHOWER PAN, DRAIN AND WALLS BY DIVISION 10. RE-INSTALL EXISTING SHOWER HEAD AND CONTROLS AT SAME HEIGHT AS EXISTING. WHERE CEILING HEIGHT AT SHOWER IS BEING MODIFIED, TRIM CONTROLS SHROUD AS REQUIRED TO INSTALL AT SAME HEIGHT AS EXISTING. DIVISION 22 SHALL PROVIDE AND INSTALL NEW TRAP AND CONNECT TO 1-1/2" TAILPIECE FURNISHED WITH THE NEW DRAIN. FURNISH AND INSTALL NEW SUPPLY, W & V PIPING.

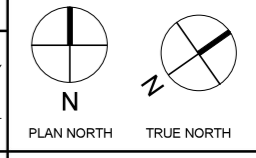
GENERAL PLUMBING NOTES:

1. UNLESS OTHERWISE NOTED, ALL EXISTING PLUMBING PIPING WITHIN THE BUILDING INCLUDING DCW, DRW, DHWR, RAV, W, AND V IS TO BE REMOVED AND REPLACED WITH NEW PIPING. REMOVE AND SAFELY STORE EXISTING PLUMBING FIXTURES TO PERFORM NEW WORK. RE-INSTALL EXISTING FIXTURES UPON COMPLETION OF NEW WORK. CONNECT NEW PIPING TO EXISTING FIXTURES.

2. EXISTING ROOF DRAINS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT ALL PROJECT PHASES. AS SUCH, EXISTING LEADERS AND RISERS IN EACH PHASE SHALL NOT BE REMOVED UNTIL NEW LEADERS AND MAINS ARE READY FOR CONNECTION TO (E) ROOF DRAINS.

GENERAL PHASING NOTE:

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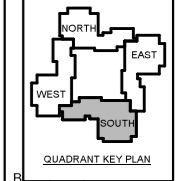
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