

## Addendum #1

Directorate of Facilities Engineering

24 April 2023

This Addendum modifies, amends, and supplements designated parts of the Contract Documents, Specifications and Drawings for:

**Waterville Armory Roof Repair Project, 74 Drummond Road, Waterville, Maine, DFE Project Number 23SR23-406-D, BGS Project Number 3625, Bid Number 23-028.**

It shall be the responsibility of the Contractor to notify all Subcontractors and Suppliers for various portions of the work of any changes or modifications contained in this Addendum.

---

### **Clarification Items:**

1. **Project Concern:** The Contractors were asking for more time to bid the project.  
**Answer:** The Owner shall change the Bid Opening Date to **4 May 2023 at 2:00 p.m.**
2. **Project Concern:** The Contractors were asking for more time to construct the project.  
**Answer:** The Owner shall change the Final Completion Date to **30 August 2023.**
3. **Project Concern:** After discussion with the Contractors. The Owner will be removing the request for ABI #6 – Substitute Black for White .90mil. EPDM Roofing.”  
**Answer:** ABI #6 will be changed to a small Roof Area #12 that was missed on the drawings.

### **Specification Items:**

1. Replace Section 00 01 10 Table Of Content, page 2 of 2 with enclosed revised 00 01 10 Table Of Content, page 2 of 2. The missing Drawing Names have been added.
2. Replace Section 00 11 13 Notice to Contractors, page 1 of 2 with enclosed revised Section 00 11 13 Notice to Contractors, page 1 of 2. The Owner has changed the Bid Opening Date to **4 May 2023 at 2:00 p.m.** The Owner has changed the Final Completion Date to **30 August 2023.**
3. Replace Section 00 41 13 Contractor Bid Form, pages 1 through 2 with enclosed revised Section 00 41 13 Contractor Bid Form, pages 1 through 2. ABI #6 has been changed to a small Roof Area #12.
4. Replace Section 01 00 00 Administrative Provisions, pages 4 and 5 with enclosed revised Section 01 00 00 Administrative Provisions, pages 4 and 5. Substantial Completion has been changed to **15 August 2023.** Final Completion has been changed to **30 August 2023.**
5. Replace Section 07 53 23 Membrane Roofing, pages 1 through 5 with enclosed revised Section 07 53 23 Membrane Roofing, pages 1 through 5. Changes have been made throughout the entire specification.

6. Pre-bid sign-in sheet provided

**Drawing Items:**

1. Replace Drawing Sheet G-001 – Cover Sheet, with new revised Drawings Sheet G-001 – Cover Sheet. ABI #6 Roof Area #12 has been added.
2. Replace Drawing Sheet S-101 – Existing Roof Framing Reinforcement Plan, with new revised Drawings Sheet S-101 – Existing Roof Framing Reinforcement Plan. ABI #6 Roof Area #12 has been added.
3. Replace Drawing Sheet R-101 – Existing Roof Plan, with new revised Drawings Sheet R-101 – Existing Roof Plan. ABI #6 Roof Area #12 has been added.
4. Replace Drawing Sheet R-102 – Existing Tapered Insulation Plan, with new revised Drawings Sheet R-102 – Existing Tapered Insulation Plan. ABI #6 Roof Area #12 has been added.
5. Replace Drawing Sheet R-103 – Proposed New Roof Plan, with new revised Drawings Sheet R-103 – Proposed New Roof Plan. ABI #6 Roof Area #12 has been added.

**DRAWINGS:**

**GENERAL**

G-001 COVER SHEET

**STRUCTURAL**

S101 EXISTING ROOF FRAMING REINFORCEMENT PLAN  
S102 EXISTING ROOF FRAMING REINFORCEMENT PLAN  
(ABI #1 - #5 AT AREAS 6,7,8,9, &10) STRUCTURAL NOTES  
S501 STRUCTURAL NOTES, SECTIONS, AND DETAILS

**ARCHITECTURAL**

R101 EXISTING ROOF PLAN  
R102 EXISTING TAPERED INSULATION PLAN  
R103 PROPOSED NEW ROOF PLAN  
R501 ROOFING SECTIONS AND DETAILS  
R502 ROOFING SECTIONS AND DETAILS  
R503 ROOFING ELEVATIONS AND SECTIONS

END OF TABLE OF CONTENTS

**00 11 13**  
**Notice to Contractors**

**Waterville Armory Roof Repair Project, 74 Drummond Road, Waterville, Maine**  
DFE Project Number 23SR23-406-D, BGS Project Number 3625, Bid Number 23-028.

*This project consists of repairing certain sections of Waterville Armory roof. Remove the existing EPDM membrane and underlayment. The Contractor shall install some structural roof joists. The Contractor shall build up the existing roof curbs, install additional insulation, underlayment, fascia and new a EPDM roof membrane. The Contractor shall furnish and install all items in accordance with Plans and Specifications.*

The cost of the work is approximately \$ 500,000. The work to be performed under this contract shall be completed on or before the Final Completion date of 30 August 2023.

1. Bids shall be submitted in sealed envelopes plainly marked "**Bid for Waterville Armory Roof Repair Project, 74 Drummond Road, Waterville, Maine. DFE Project Number 23SR23-406-D, BGS Project Number 3625, Bid Number 23-028**" and addressed to the Bid Administrator:

*Directorate of Facilities Engineering  
194 Winthrop Street, Building #7, Camp Keyes  
Augusta, Maine 04333-0033  
Attn: Mrs. Sherrill Hallett  
Email: sherrill.l.hallett@maine.gov*

The envelope shall contain a completed Contractor Bid Form, plus bid security when required, to be received no later than **2:00 p.m. on 4 May 2023**. Bid submissions will be opened and read aloud at *194 Winthrop Street, Building #7, Camp Keyes, Augusta, Maine 04333-0033* at the time and date noted above.

Any bid submitted after the noted time will not be considered a valid bid and will remain unopened. Any bid submitted by any other means will not be considered a valid bid.

2. The bid shall be submitted on the Contractor Bid Form (section 00 41 13) provided in the Bid Documents. The Owner reserves the right to accept or reject any or all bids as may best serve the interest of the Owner.
3. Bid security *is required* on this project.  
If noted above as required, the Bidder shall include a satisfactory Bid Bond (section 00 43 13) or a certified or cashier's check for 5% of the bid amount with the completed bid form submitted to the Owner. The Bid Bond form is available on the BGS website.
4. Performance and Payment Bonds *are required* on this project.  
If noted above as required, or if any combination of Base Bid and Alternate Bids amounts selected in the award of the contract exceeds \$125,000.00, the selected Contractor shall furnish a 100% contract Performance Bond (section 00 61 13.13) and a 100% contract Payment Bond (section 00 61 13.16) in the contract amount to cover the execution of the Work. Bond forms are available on the BGS website.
5. Filed Sub-bids *are not required* on this project.

**00 11 13**  
**Notice to Contractors**

6. There *are no* Pre-qualified General Contractors on this project.  
If Pre-qualified General Contractors are identified for this project, the name of each company, with their city and state, are listed below.  
*None*
  
7. An on-site pre-bid conference *will* be conducted for this project.  
If a pre-bid conference is scheduled, it is *mandatory* for General Contractors and optional for Subcontractors and suppliers. Contractors who arrive late or leave early for a mandatory meeting may be prohibited from participating in this meeting and bidding. *A Pre-Bid Conference is scheduled for 10:00 a.m. on – 19 April 2023. The Contractor shall arrive at 74 Drummond Road, Waterville, Maine. The Contractors shall park in the parking area to the right of the Armory. The Project Manager will be waiting for the Contractors in this parking area.*
  
8. Bid Documents - full sets only - will be available on or about *14 April 2023 at 12:00 p.m.* and may be obtained *Plans and Specifications may be obtained from the following Print Shop listed below for a non-refundable fee of \$100.00. The Contractor shall be responsible to contact the Print Shop (Xpress Copy) for a paper copy of the Plans and Specifications. The Contractor shall be responsible for the cost of the paper copy and the cost for delivery method of the Plans and Specifications. The Contractor shall contact the Print Shop (Xpress Copy) to determine the method of payment required. A Digital Copy of the Plans and Specifications may be obtained from the Print Shop (Xpress Copy) for a non-refundable fee of \$60.00 from:*  
*Xpress Copy*  
*Portland, ME 04101*  
*Phone: (207) 775- 2444, Fax (207) 775- 2481*  
*If the Contractor has any issues obtaining a copy of the Plans and Specifications, email Todd Kent - todd@xcopy.com.*
  
9. Bid Documents may be examined at:  

<i>AGC Maine</i>	<i>Construction Summary</i>
<i>188 Whitten Road</i>	<i>734 Chestnut Street</i>
<i>Augusta, ME 04330</i>	<i>Manchester, NH 03104</i>
<i>Phone 207-622-4741 Fax 207-622-1625</i>	<i>Phone 603-627-8856 Fax 603-627-4524</i>

**00 41 13  
Contractor Bid Form**

**Waterville Armory Roof Repair Project, 74 Drummond Road, Waterville, Maine**  
DFE Project Number 23SR23-406-D, BGS Project Number 3625, Bid Number 23-028.

Bid Form submitted by: *paper documents only to address below*

Bid Administrator:

*Department of Defense, Veterans and Emergency Management*  
Military Bureau  
Joint Force Headquarters, Maine National Guard  
194 Winthrop Street, Building #7, Camp Keyes  
Augusta, Maine 04333-0033  
Attn: Mrs. Sherrill Hallett

Bidder:

Signature: \_\_\_\_\_

Printed name and title: \_\_\_\_\_

Company name: \_\_\_\_\_

Mailing address: \_\_\_\_\_

City, state, zip code: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email address: \_\_\_\_\_

State of incorporation, if a corporation: \_\_\_\_\_

List of all partners, if a partnership: \_\_\_\_\_

The Bidder agrees, if the Owner offers to award the contract, to provide any and all bonds and certificates of insurance, as well as Schedule of Values, Project Schedule, and List of Subcontractors and Suppliers if required by the Owner, and to sign the designated Construction Contract within twelve calendar days after the date of notification of such acceptance, except if the twelfth day falls on a State of Maine government holiday or other closure day, or a Saturday, or a Sunday, in which case the aforementioned documents must be received before 12:00 noon on the first available business day following the holiday, other closure day, Saturday, or Sunday.

As a guarantee thereof, the Bidder submits, together with this bid, a bid bond or other acceptable instrument as and if required by the Bid Documents.

**00 41 13  
Contractor Bid Form**

1. The Bidder, having carefully examined the *Waterville Armory Roof Repair Project, Waterville, Maine* Project Manual dated *1 April 2022*, prepared by *Lincoln/Haney Associates Inc.*, as well as Specifications, Drawings, and any Addenda, the form of contract, and the premises and conditions relating to the work, proposes to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this project for the Roof Areas of #1, #2, #3, #4, #5 and #11. The **Base Bid** amount of:

\$ \_\_\_\_\_ .00

2. Allowances *are not included* on this project.  
*Bid amount above includes the following Allowances*

\$ 0.00

3. Alternate Bids *are included* on this project.  
*Alternate Bids are as shown below*  
Any dollar amount line below that is left blank by the Bidder shall be read as a bid of **\$0.00**.

<i>1</i>	<i>ABI #1 – Repair Roof Area #6</i>	\$ _____	<u>.00</u>
<i>2</i>	<i>ABI #2 – Repair Roof Area #7</i>	\$ _____	<u>.00</u>
<i>3</i>	<i>ABI #3 – Repair Roof Area #8</i>	\$ _____	<u>.00</u>
<i>4</i>	<i>ABI #4 – Repair Roof Area #9</i>	\$ _____	<u>.00</u>
<i>5</i>	<i>ABI #5 – Repair Roof Area #10</i>	\$ _____	<u>.00</u>
<i>6</i>	<i>ABI #6 – Repair Roof Area #12</i>	\$ _____	<u>.00</u>

4. Bid security *is required* on this project.  
If noted above as required, or if the Base Bid amount exceeds \$125,000.00, the Bidder shall include with this bid form a satisfactory Bid Bond (section 00 43 13) or a certified or cashier's check for 5% of the bid amount with this completed bid form submitted to the Owner.
5. Filed Sub-bids *are not required* on this project.  
If noted above as required, the Bidder shall include with this bid form a list of each Filed Sub-bidder selected by the Bidder on the form provided (section 00 41 13F).

1. Contractor shall notify Owner in writing of any real or apparent conflicts in the Contract Documents and, except in cases of emergency, await Owner's determination before proceeding.
2. The **Owner's Project Manager - Robert W. Palmer III** shall resolve conflicts that arise during construction.
3. If two or more solutions are indicated in the Contract Documents, the Contractor shall assume the cost of the more expensive solution unless otherwise directed by the Owner.

M. Field Engineering:

1. The Contractor shall be responsible for all field engineering as required.
2. The Contractor shall be responsible for all special inspections required to obtain any Building Permits from the **City of Waterville**.

N. Field Testing and Inspections:

1. The Contractor shall carry all costs for testing and inspections required by the Contract Documents and the **City of Waterville**. The Contractor shall hire only Consultant approved and Owner approved independent testing agencies to perform all testing and inspections.

O. Reference Standards:

1. For products specified by association or trade standards, comply with requirements of the standard, except when more rigid requirements are specified or are required by applicable codes.
2. The date of the standard is that in effect as of the Bid date, or date of Owner-Contractor Agreement when there are no bids, except when a specific date is given.
3. Obtain copies of standards when required by Contract Documents. Maintain copy at job site during progress of the specific work.

1.02 SCHEDULING AND PHASING OF WORK

A. Substantial Completion: Work of the Contract must be Substantially Completed by **15 August 2023** so that the Owner can have full use of interior space.

1. Except as otherwise specified, Substantial Completion is hereby defined to mean a stage of completion sufficient for the Owner to have full beneficial use and occupancy of the structure involved, less only minor corrections and repairs that can be performed without undue annoyance to building occupants which shall be documented on the "punch list" as specified hereinafter. Beneficial use and



occupancy means removal of all debris, interior and exterior scaffolding, surplus equipment and material and cleaning as required under the Contract completed.

- B. Final Completion of all Work of this Contract shall be by 30 August 2023.
  - 1. Except as otherwise specified, Final Completion is when the Work of the Contract has been completed in accordance with the terms and conditions of the contract documents with no “punch list” items open and is ready for final payment.
- C. The expiration date of this Contract is 30 September 2023.
  - 1. Except as otherwise specified, Expiration Date is hereby defined to mean the date when all engagements of the parties has ended, except to those which arise from the non-fulfillment of obligations created during its existence, such as warranties.
- D. Normal building operations will continue throughout the length of the Project. The successful Contractor shall develop a schedule of work that is respectful of the Owner's needs but with a mutual understanding that temporary relocation of personnel within the building will be required.
- E. Fenced Compound and Outbuildings. Normal building operations will continue throughout the length of the Project. The successful Contractor shall develop a schedule of work that is respectful of the Owner's needs.
- F. Within ten (10) working days following receipt of the fully executed formal Contract Agreement by the Contractor, the Contractor shall prepare a proposed Phasing and Progress Schedule. The final Schedule shall be as mutually agreed to by the Owner and Contractor, and within the following guidelines:
  - 1. The Owner's business operations must continue throughout the entire construction period.
  - 2. Work within the building interior must comply with the Owner's requirements for continued use and occupancy.
  - 3. Applicable egress codes must be complied with during the construction period. In particular building entrances and exit ways must be kept open at all times.

### 1.03 REGULATORY REQUIREMENTS

- A. Conform to Local, State and Federal codes.

### 1.04 PROJECT MEETINGS

- A. Requirements:
  - 1. The Contractor shall, upon acceptance of a Contract and before commencing Work, contact the Owner and request a pre-construction conference as required in 00 72 13 Section 1.

**SECTION 07 53 23  
MEMBRANE ROOFING**

**PART 1 GENERAL**

1.01 DESCRIPTION OF WORK

A. Adhered EPDM sheet roofing, tapered and flat roof insulation, cover board, wood nailers, shop formed edge strips, roof drain, plumbing and walkway pad.

1.02 CODES, REGULATIONS AND STANDARDS

A. Contractor Responsibility: The Contractor shall assume full responsibility and liability for compliance with all applicable Federal, State and local codes, regulations and standards pertaining to work practices, hauling, disposal, protection of workers and visitors to the site, and persons occupying areas adjacent to the site. This includes modification of procedures to comply with changes to codes, regulations and standards which occur during the work of this contract. The Contractor is responsible for providing medical examinations and maintaining medical records of personnel as required by the applicable Federal, State and local regulations. The Contractor shall hold the Owner and Owner's Representatives harmless for failure to comply with any applicable work, hauling, disposal, safety, health or other regulations on the part of himself, his employees or his subcontractors.

1.03 QUALITY ASSURANCE

A. Roofing contractor to be approved in writing by the membrane manufacturer. Contractor shall be able to substantiate that he has been trained by the membrane manufacturer.

B. Roofing and flashing workmanship to comply with industry standards. The National Roofing Contractors Association's (NRCA) **ROOFING AND WATERPROOFING MANUAL** along with **ARCHITECTURAL SHEET METAL MANUAL** as published by Sheet Metal and Air Conditioning Contractors National Association, Inc. (SMACNA) will be used to establish industry standards.

1.04 SUBMITTALS

A. Sample thirty (30) year total system warranty for the EPDM membrane. **Warranty shall include wind speeds up to 72 miles per hour. The standard 55 MPH is not acceptable for this job.**

B. Current EPDM membrane manufacturer's application specifications.

1.05 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Deliver materials in their original, unopened containers, clearly labeled with manufacturer's name. All material to be stored in waterproof trailers or sheds, up on raised platforms and under lock and key until use. Do not use materials damaged in handling or storage. Replace damaged material with new material. Store adhesives between 60 and 80 degrees F. Should they be exposed to lower temperatures, restore to room temperature for three to five days prior to use.

1.06 WARRANTY

A. A thirty (30) year total system warranty shall be issued by the EPDM membrane manufacturer. **Warranty shall include wind speed up to 72 MPH.** Carlisle will issue the 30-

year, 72 mph warranty but will require a non-destructive roof moisture survey at the completion of the project. Contractors must verify with the other approved EPDM manufacturers and follow their requirements to meet the 30-year, 72 mph warranty. Contractor must use a vendor approved by the Owner and Engineer to perform the non-destructive roof moisture survey.

B. The roofing contractor shall furnish the Owner with his personal two (2) year watertight warranty.

## **PART 2 PRODUCTS**

### **2.01 ROOF INSULATION**

A. Roof insulation to be polyisocyanurate closed-cell foam core with manufacturer's standard facing laminated to both sides, complying with ASTM C1289 Type II, Class 1, Grade 3 (25 psi). Replace any wet or damaged roof insulation on a time and material basis.

B. Over all foam insulation, install one layer of 1/2" DensDeck Prime or Securock cement roof board secured with screws and plates.

### **2.02 MEMBRANE ROOF SYSTEM**

A. Membrane roofing to be adhered 0.090" EPDM sheet roofing furnished by Elevate, Johns Manville, Carlisle or Versico. Roof membrane to be adhered to the 1/2" cover board.

B. Use the roof membrane for flashing of curbs and walls per the manufacturer's standard details. Use reinforced EPDM anchor strips to avoid splice joints at walls and edges.

C. Adhesives, sealants, thinner, cleaner and accessories to be furnished by the membrane manufacturer.

**D. Six inch (6") wide seam tape will be required for all field seams.**

### **2.03 ROOF DRAIN AND PLUMBING**

A. New roof drain shall be three-inch diameter Zurn ZC-100-DP furnished with cast iron domes and "Top-Set" deck plates.

B. New drain lines to be Schedule 40 PVC. Insulate new drain lines and body with one inch (1") fiberglass with vapor barrier.

### **2.04 METAL FLASHING**

A. Edge strips to be shop formed using 24-gauge factory painted Galvalume coated steel. Color to match existing fascia extender. Concealed clips to be formed using 24-gauge galvanized steel.

### **2.05 WOOD NAILERS AND BLOCKING**

A. All wood nailers and blocking shall be #2 or better kiln dried spruce, fir or pine. Plywood to be exterior type.

### **2.06 FASTENERS**

A. Use annular-ring hot dipped galvanized nails by the W.H. Maze Co. on the edge strip.

B. Use fasteners recommended by the membrane manufacturer to secure anchor bars and termination bars.

C. Wood nailers to be secured using hot dipped galvanized nails.

D. Fasteners used to secure roof insulation to the steel deck to be #14-10 Heavy Duty Roofing Fasteners with CR-10 coating, a minimum shank diameter of 0.170" and a thread diameter of 0.125". Pressure plates to be 3" diameter Galvalume plates. Screws and plates to be manufactured by Olympic Fasteners or approved equal. Length, size and accessories to be as required by the EPDM membrane manufacturer selected.

E. Use low-rise foam supplied by or approved by the EPDM manufacture to secure the DensDeck Prime to the roof insulation.

#### 2.07 WALKWAY PAD

A. Walkway pad to be 30" x 30" x 0.30" thick rubber walkway pad supplied or approved by the EPDM roof membrane manufacturer.

### PART 3 EXECUTION

#### 3.01 PREPARATION OF SURFACES

A. Remove existing 0.060" EPDM roof membrane, ½" fiber board, vent flashings, curb flashings, edge strips and waterdam. Promptly remove from site and dispose of properly.

B. Surfaces on which the roofing system is to be applied shall be clean, smooth, dry, free of fins, rot, sharp edges, loose and foreign materials, oil and grease.

C. Remove the roof insulation in the areas where the existing decking must be removed to install new steel joists and reinstall the insulation after the structural work is complete.

#### 3.02 ROOF INSULATION

A. Insulation shall be tightly butted with joints not more than 1/8" in width. Stagger joints with those in layer below.

B. Fasten insulation to the roof deck with the appropriate screws and plates. Fastener quantity and layout must meet the requirements of the EPDM manufacturer to obtain their 72 MPH wind speed warranty.

C. Stagger joints in one direction for each course. For multiple layers, stagger joints in both directions between courses, leaving no gaps and allowing a complete thermal envelope to be formed.

D. Provide tapered units to suit drainage pattern indicated.

E. Do not install more insulation in a day than can be covered with membrane before end of day or before start of inclement weather.

#### 3.03 ROOF MEMBRANE

A. Adhere the 0.090" EPDM membrane to the 1/2" cover board in strict accordance with the manufacturer's specifications.

B. **Six inch (6") wide seam tape will be required for all field seams.**

#### 3.04 FLASHING - - WALLS, PARAPETS, CURBS AND VENTS

A. Remove all existing flashing.

B. Use the longest pieces of material which are practical. All flashing and terminations shall be done in accordance with the applicable manufacturer's details.

C. Care must be taken to set the elastomeric flashing so it does not bridge where there is a change of direction (i.e. where a parapet meets the roof deck). This can be accomplished by creasing the membrane into the angle change prior to adhering up the wall. Excess bridging will be cause for rejection and will be re-done at the contractor's expense.

D. Install termination bars at the top of all base flashing, fastening a minimum of 6" on center.

E. Raise existing curb height as necessary to obtain a minimum of 8" high flashing.

### 3.05 EDGE STRIPS

A. Bottom edge of shop fabricated edge strips to be secured with continuous cleats. Nail top flange with annular-ring nails, three inches (3") on center. Strip top flange with 6" pressure sensitive flashing.

### 3.06 CAP FLASHING

A. Reuse existing cap flashing.

### 3.07 ROOF DRAIN AND PLUMBING

A. Install roof drain in accordance with the manufacturer's instructions. Review installation procedure with job-site inspector prior to installing drain.

B. Connection to existing lines is the responsibility of the roofing contractor. Actual work may be sub-contracted to a plumbing contractor. All plumbing work to be performed in strict accordance with the State of Maine Plumbing Code. Insulate new PVC lines and drain bodies.

C. Cutting and patching of masonry walls, steel beams and drywall are part of this contract. Please note all obstructions prior to bidding.

D. Avoid target patches at the roof drains by installing new wood blocking, drains and tapered sumps prior to adhering the EPDM roof membrane. Should a target patch be required, it must be at least sixteen feet by sixteen feet in size. Omit the cover board below the target patch. Use six-inch-wide seam tape at the perimeter of the target patch and strip in the perimeter using six-inch pressure sensitive flashing. Apply lap sealant on the high side of the pressure sensitive flashing.

### 3.08 WOOD NAILERS AND BLOCKING

A. Securely fasten new wood nailers to existing nailers with two staggered rows of hot dipped galvanized 16d nails at 16" on center.

### 3.09 WALKWAY PAD

A. Adhere walkway pad to roof membrane in accordance with the manufacturer's instructions.

### 3.10 TEMPORARY WATER CUT-OFF

A. Temporary water cut-offs are to be constructed at the end of each working day to protect the insulation, roofing, building and building interior from damage due to wind, snow and rain.

B. Temporary water cut-offs are to be detailed by the contractor and approved by the manufacturer and Owner.

### 3.11 CLEAN UP

A. Site clean-up shall be complete and to the satisfaction of the Owner.

B. All roofs, building, landscape and parking areas shall be cleaned of all trash, debris and dirt

caused by or associated with this work.

C. Any areas stained, dirtied, discolored or otherwise damaged due to this work shall be cleaned, restored and replaced as required.

D. All debris shall be removed from the premises promptly and the construction area left clean daily.

### 3.12 INSPECTION AND TESTING

THE OWNER RESERVES THE RIGHT TO INSPECT AND TEST ALL CONSTRUCTION OPERATIONS AND MATERIALS.

A. Any defect or noncompliance discovered by inspection shall be reported to the contractor who shall promptly remove any defective material from the site.

B. The Owner reserves the right to inspect the work or parts of it as he chooses. His failure to inspect the work in progress shall not relieve the contractor of the responsibility for properly executing the contracted work nor shall it impair the Owner's right to reject deficiencies he may subsequently discover.

### 3.13 DIMENSIONS AND QUANTITIES

A. The roof plan was compiled from various sources and may not reflect the conditions at the time of construction.

B. It is the contractor's responsibility to verify all dimensions prior to bidding.

## **PART 4 JOB CONDITIONS**

A. Roofing to be applied in dry weather.

B. Completed roof areas shall not be trafficked. The work shall be coordinated to prevent this situation by working toward the roof edges.

C. This project is subject to compliance with all requirements of the Occupational Safety and Health Administration (OSHA). All work on this project must meet the requirements of all applicable state and local codes, laws and ordinances.

END OF SECTION

Pre Bid Attendance sheet

Waterville Armory Roof Repair Project, 74 Drummond Road, Waterville, Maine

Fill out Completely and Please Print Clearly

Project #23SR23-406-D

Bid #23-028

4/19/2023 at 1000hrs

*Incomplete or illegible information may exclude you from bidding*

Company name, Street Address & Mailing address	Attendee Name	Phone #	Facsimile #	e-mail
Roof Systems of MAINE 332 Target Industrial Circle Bangor, ME 04401	Raphe St. John	(207) 944-6599		RSTJOHN@Tectaamerica.com
Beacon Sales Co 80 Kittyhawk Ave. Auburn ME 04240	Greg Nazarov	(207) 653.2384		greg.nazarov@beacon.com
KMK Construction 384 Harold L. Dow Highway Suite 28 Eliot ME.	Andy Evans	603-234-4330		AEVANS@KMKConstruction.com
GR Roofing LLC 14 Coffin Ave Brewer, ME 04412	ERIC R DAY	(207) 478-1582		ericday@awi.net
GLADU ROOFING 18 OXFORD ST LEWISTON ME,	Andy CARBONNELLO	207 7827081		GLADUroofing@gmail.com



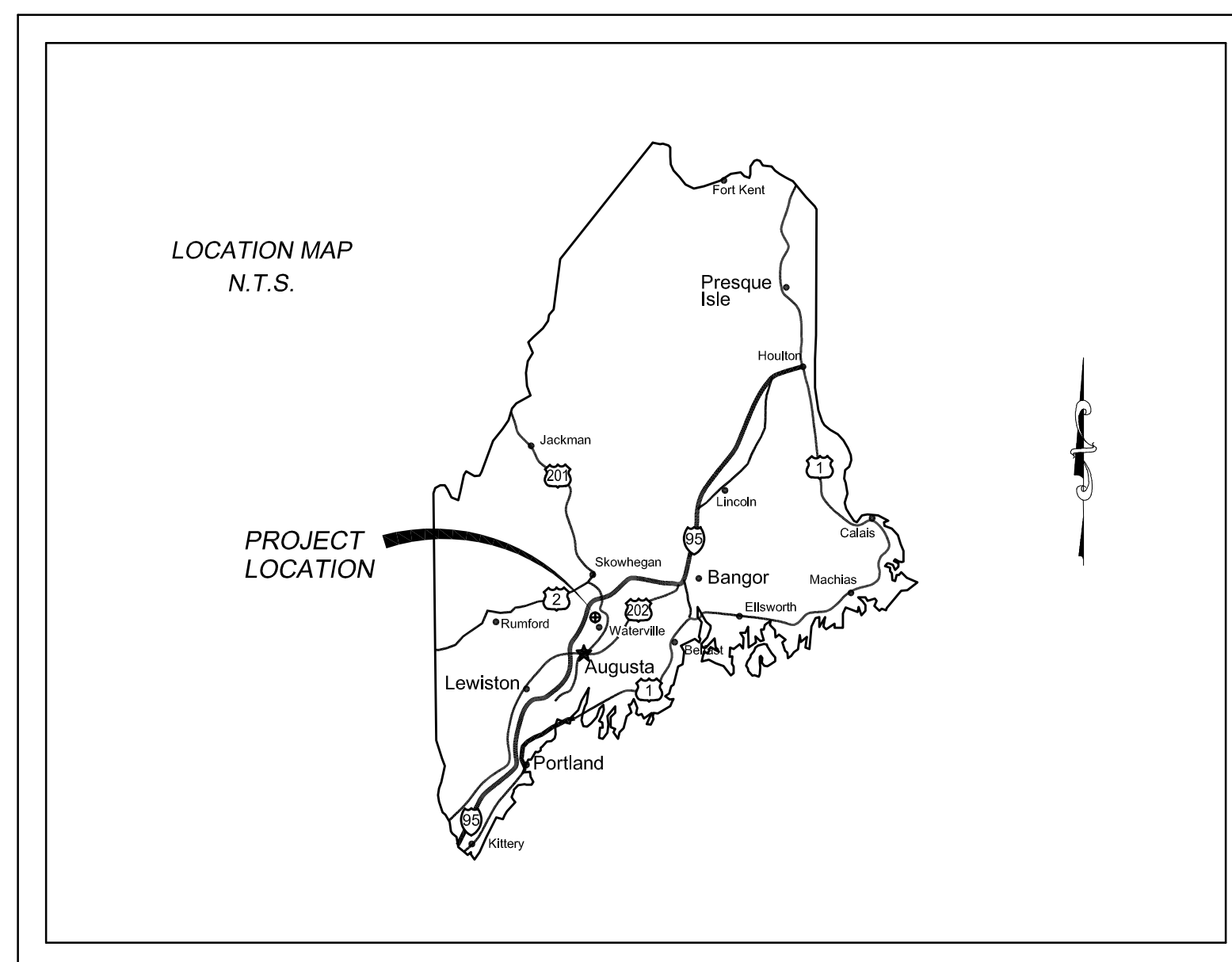
# MAINE ARMY NATIONAL GUARD ROOF REPAIR PROJECT AT WATERVILLE ARMORY WATERVILLE, MAINE

PREPARED BY:

LINCOLN/HANEY ENGINEERING ASSOCIATES, INC.

For Director of Facilities Engineering

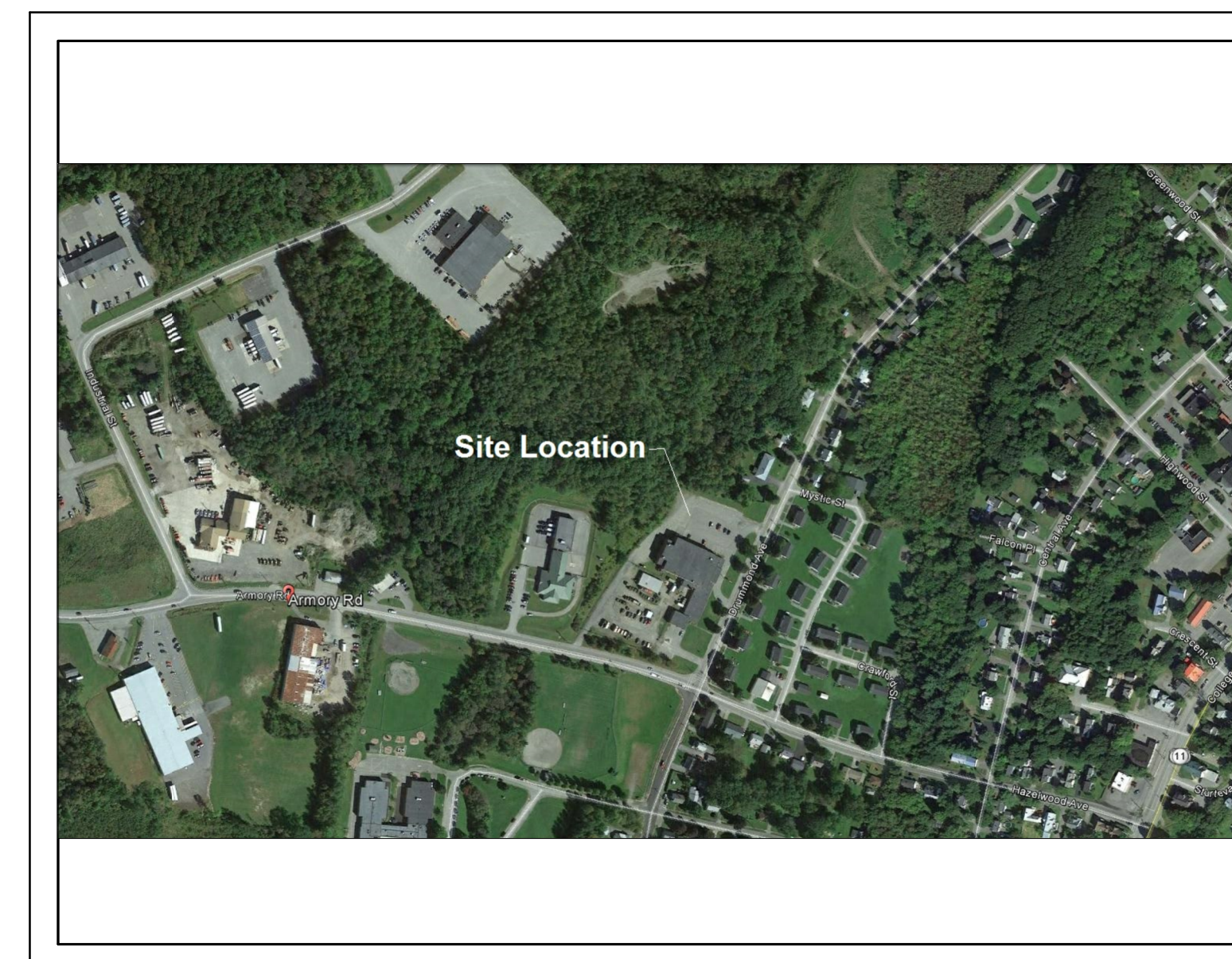
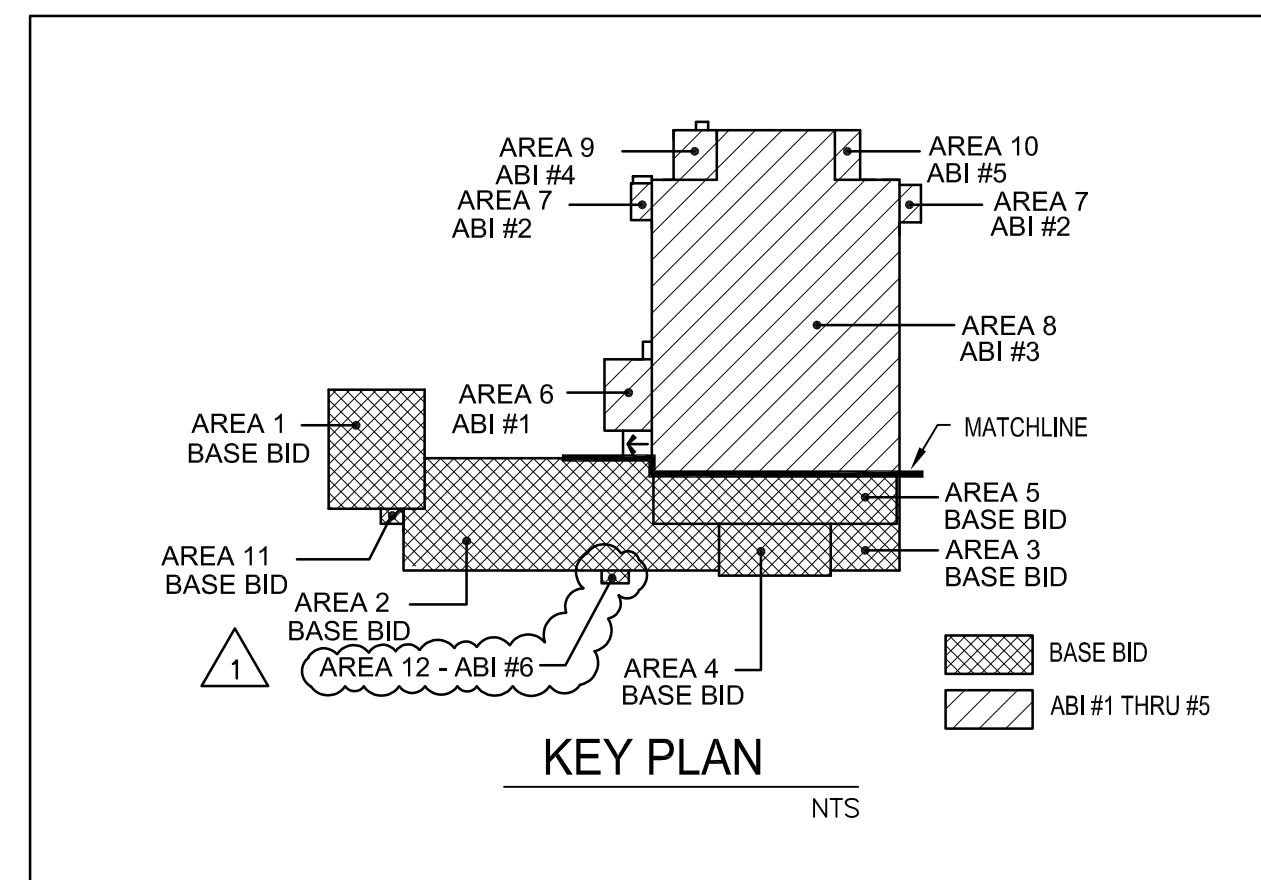
Project No. 23SR23-406D



VICINITY MAP  
NOT TO SCALE

## DRAWING SCHEDULE

- G-001 - COVER SHEET
- S101 - EXISTING ROOF FRAMING REINFORCEMENT PLAN
- S102 - EXISTING ROOF FRAMING REINFORCEMENT PLAN (ABI #1 - #5 AT AREAS 6,7,8,9, &10) STRUCTURAL NOTES
- S501 - STRUCTURAL SECTIONS, AND DETAILS
- R101 - EXISTING ROOF PLAN
- R102 - EXISTING TAPERED INSULATION PLAN
- R103 - PROPOSED NEW ROOF PLAN
- R501 - ROOFING SECTIONS AND DETAILS
- R502 - ROOFING SECTIONS AND DETAILS
- R503 - ROOFING ELEVATIONS AND SECTIONS



SITE LOCATION  
NOT TO SCALE

FDSFDFDFD



PLAN REVISIONS		Rev#	Description	Date	MC	Appr.
1	ADDENDUM			4-24-23		

DESIGNED BY: CUNNINGHAM	DATE: 4/11/2023	SCALE: NTS	DFE PROJECT NO: 23SR23-406D
DRAWN BY: STEPHEN WEYMOUTH	CHECKED BY:		

STATE OF MAINE  
DEPARTMENT OF DEFENSE, VETERANS  
AND EMERGENCY MANAGEMENT

Lincoln / Haney  
Engineering Associates, Inc.  
Maine, Inc. No. 7-10001  
Phone: 207-278-1001 Fax: 207-278-2141

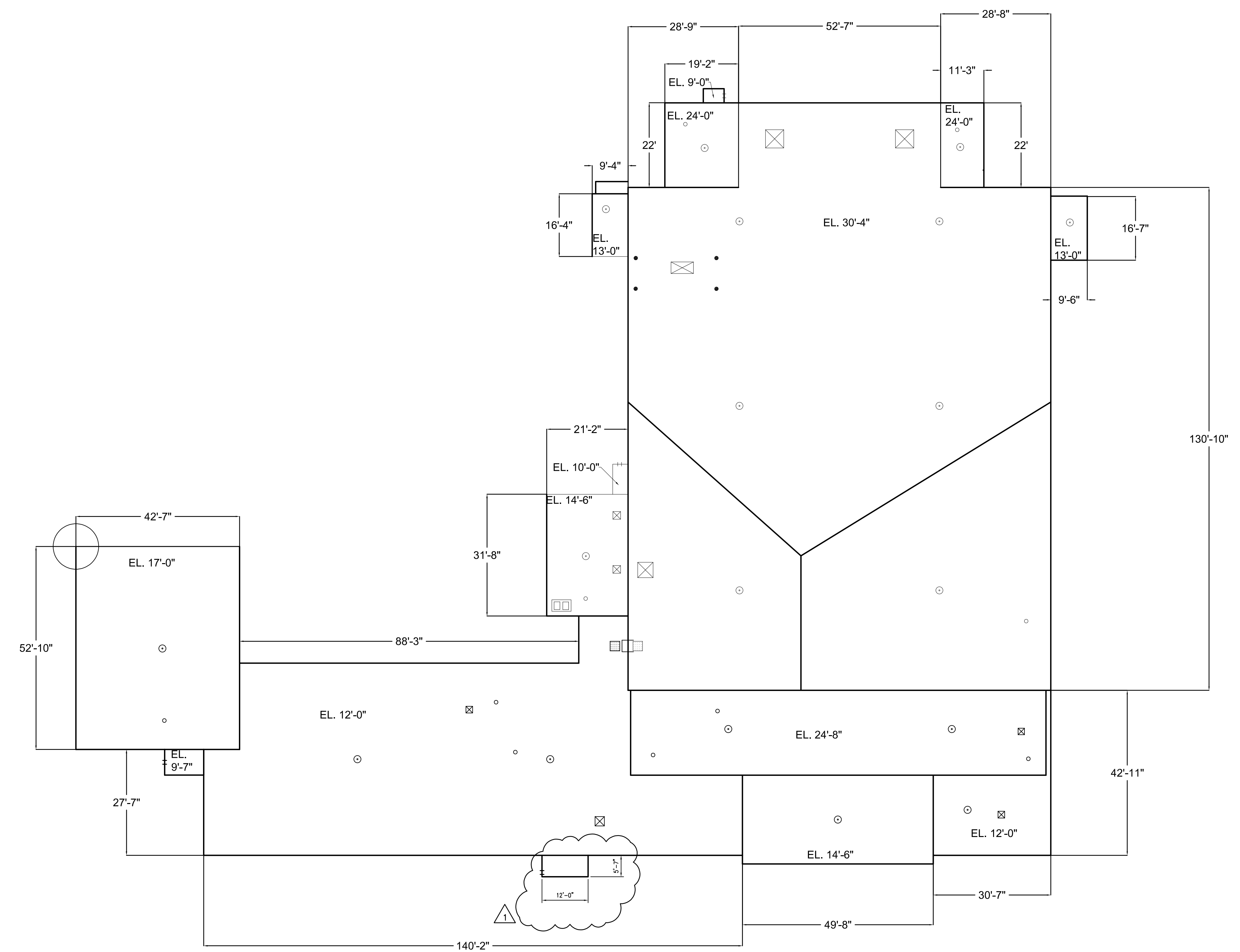
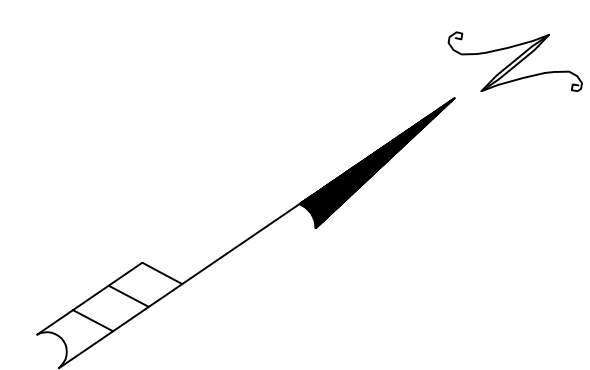
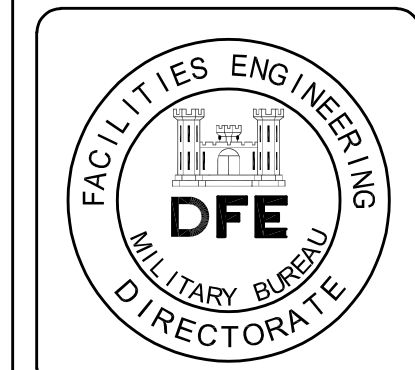
MAINE ARMY NATIONAL GUARD ROOF  
WATERVILLE, MAINE  
ROOF STRUCTURAL REINFORCEMENT  
COVER SHEET

PLAN PROGRESS	
<input type="checkbox"/>	DRAFT
<input type="checkbox"/>	35% REVIEW
<input type="checkbox"/>	50% REVIEW
<input type="checkbox"/>	95% REVIEW
<input type="checkbox"/>	FINAL REVIEW
<input type="checkbox"/>	FOR BIDDING
<input checked="" type="checkbox"/>	ISSUED FOR CONSTRUCTION
<input type="checkbox"/>	RECORD DRAWINGS

SHEET ID:  
**G-001**  
SHEET: 1 OF 10







EXISTING ROOF SYSTEM:  
 0.060" ADHERED EPDM  
 1/2" H.D. FIBERBOARD  
 1/8" PER FOOT TAPERED ISO  
 STEEL DECK

- LEGEND:**
- DRAIN
  - ⊠ CURB
  - PLUMBING VENT
  - CHIMNEY
  - PIPE STUB
  - ▨ WALKWAY PAD
  - Y ANTENNA
  - LADDER

EXISTING ROOF PLAN  
 1/16"=1'-0"

PLAN REVISIONS

Rev#	Description	Date	WB	Appr.
1	ADDENDUM	4-24-23		

DESIGNED BY: CUNNINGHAM  
 DRAWN BY: STEPHEN WEYMOUTH  
 CHECKED BY:  
 DATE: 4/1/2023  
 SCALE: 1/16" = 1'-0"  
 DFE PROJECT NO.: 23SR23-406D

STATE OF MAINE  
 DEPARTMENT OF DEFENSE, VETERANS  
 AND EMERGENCY MANAGEMENT

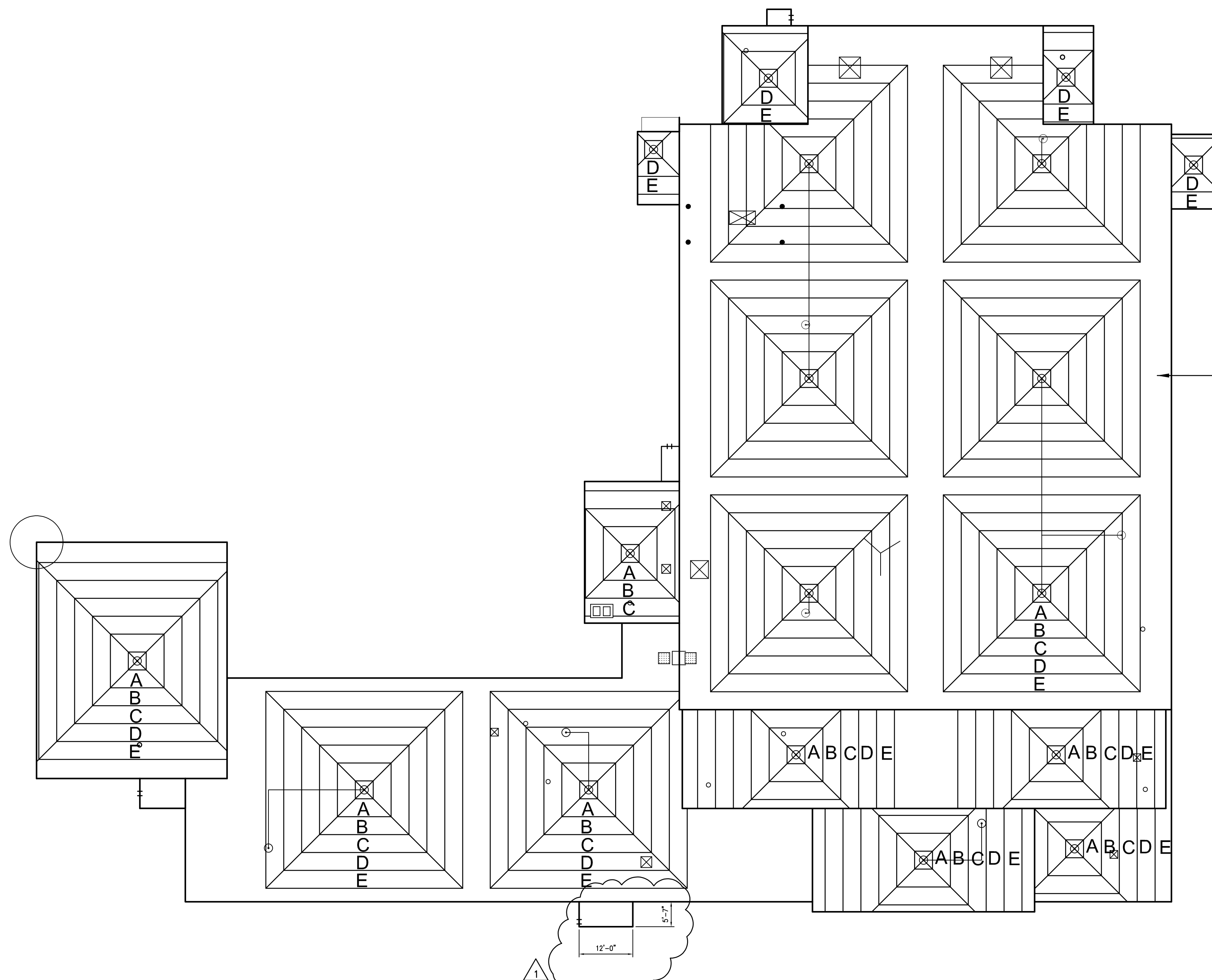
**Lincoln / Haney**  
 Engineering Associates, Inc.  
 1000 Main Street, Suite 200  
 Waterville, ME 05671  
 Phone: 207/272-1101 Fax: 207/272-2111

MAINE ARMY NATIONAL GUARD ROOF  
 WATERVILLE, MAINE  
 ROOF STRUCTURAL REINFORCEMENT  
 EXISTING ROOF  
 PLAN

PLAN PROGRESS

<input type="checkbox"/>	DRAFT
<input type="checkbox"/>	35% REVIEW
<input type="checkbox"/>	50% REVIEW
<input type="checkbox"/>	95% REVIEW
<input type="checkbox"/>	FINAL REVIEW
<input type="checkbox"/>	FOR BIDDING
<input checked="" type="checkbox"/>	ISSUED FOR CONSTRUCTION
<input type="checkbox"/>	RECORD DRAWINGS

SHEET ID:  
**R-101**  
 SHEET: 5 OF 10

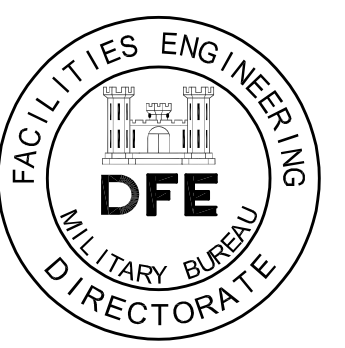


5.5" OF ISO. (ONE LAYER OF 2.0" ISO.  
PLUS ONE LAYER OF 3.5" ISO.)

1/8" FT. TAPERED ISO.  
CODE LETTER THICKNESS (IN.)

A	1-1.5
B	1.5-2
C	2-2.5
D	2.5-3
E	3.0-3.5

EXISTING TAPERED INSULATION PLAN  
1/16"=1'-0"



PLAN REVISIONS

Rev#	Description	Date	WB	Appr.
1	ADDENDUM	4-24-23		

DESIGNED BY: CUNNINGHAM  
DRAWN BY: STEPHEN WEYMOUTH  
CHECKED BY:  
DATE: 4/1/2023  
SCALE: 1/16" = 1'-0"  
DFE PROJECT NO.: 23SR23-406D

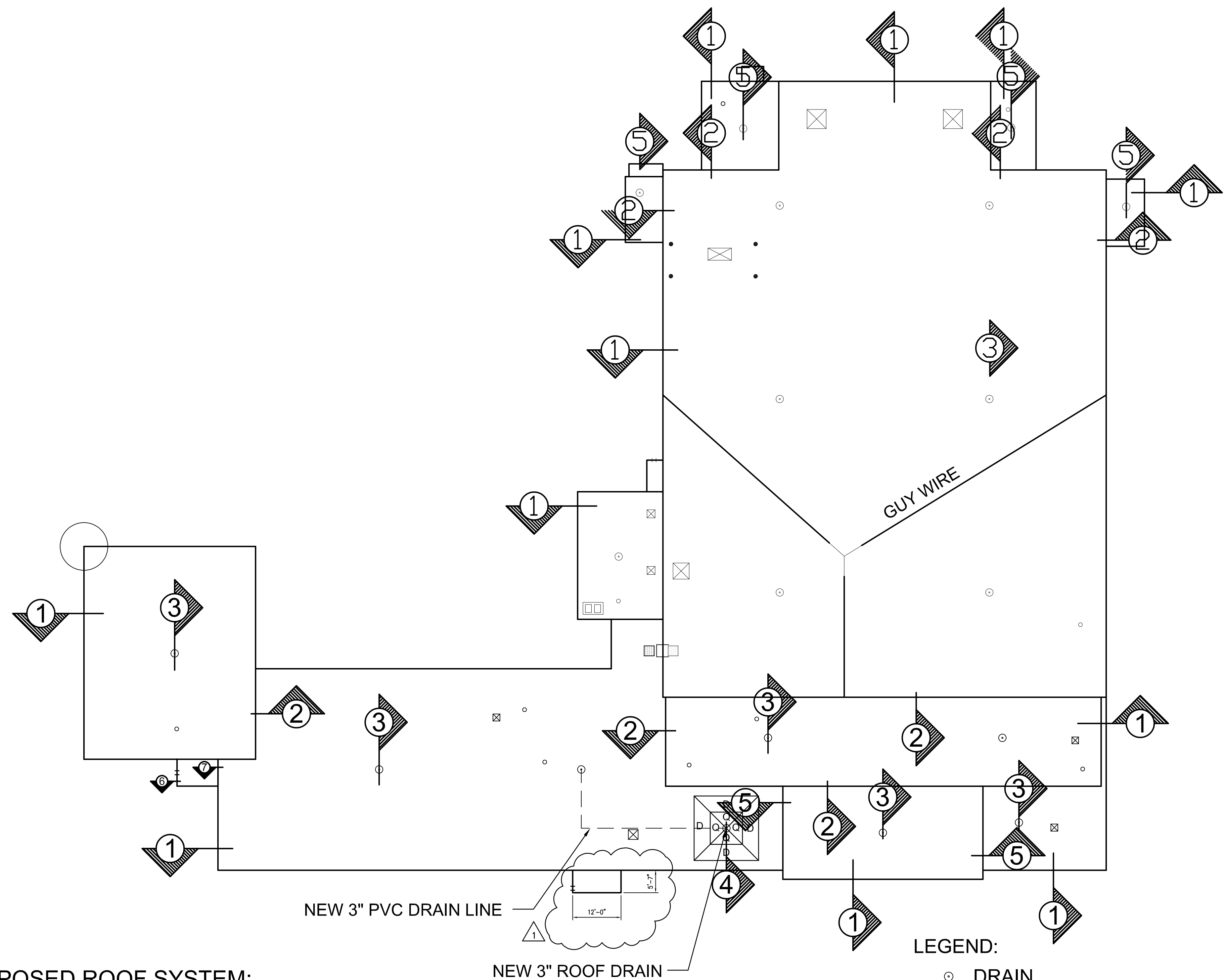
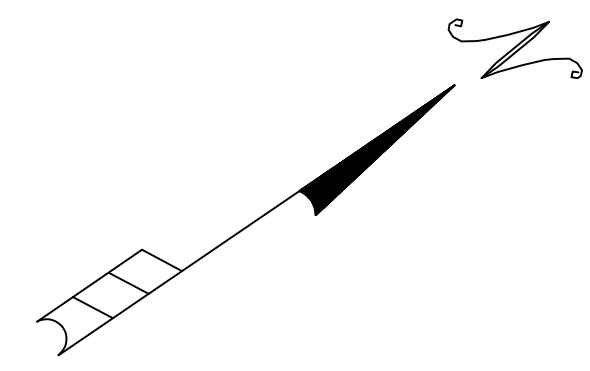
STATE OF MAINE  
DEPARTMENT OF DEFENSE, VETERANS  
AND EMERGENCY MANAGEMENT  
Lincoln / Hancy  
Engineering Associates, Inc.  
Maine, Inc. 1000  
Maine, Inc. 1000  
Phone: 207-228-1801 Fax: 207-228-2541

MAINE ARMY NATIONAL GUARD ROOF  
WATERVILLE, MAINE  
ROOF STRUCTURAL REINFORCEMENT  
EXISTING ROOF  
PLAN

PLAN PROGRESS

<input type="checkbox"/>	DRAFT
<input type="checkbox"/>	35% REVIEW
<input type="checkbox"/>	50% REVIEW
<input type="checkbox"/>	95% REVIEW
<input type="checkbox"/>	FINAL REVIEW
<input type="checkbox"/>	FOR BIDDING
<input checked="" type="checkbox"/>	ISSUED FOR CONSTRUCTION
<input type="checkbox"/>	RECORD DRAWINGS

SHEET ID:  
**R-102**  
SHEET: 6 OF 10



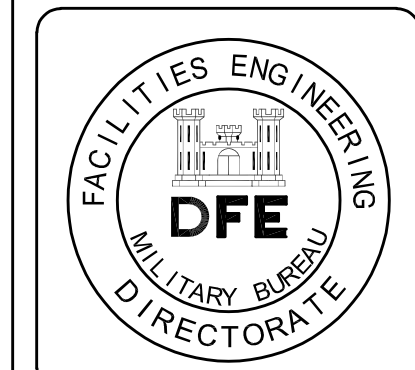
PROPOSED ROOF SYSTEM:  
 NEW 0.090" ADHERED EPDM  
 NEW 1/2" DENSDECK PRIME  
 EXISTING 1/8" PER FOOT TAPERED ISO  
 EXISTING STEEL DECK

NEW 3" PVC DRAIN LINE  
 NEW 3" ROOF DRAIN

1/2"/FT. TAPERED ISO.  
 Q = 1/2" - 2 1/2"  
 1/8"/FT. TAPERED ISO.  
 D = 2 1/2" - 3"

- LEGEND:
- DRAIN
  - ⊠ CURB
  - PLUMBING VENT
  - CHIMNEY
  - PIPE STUB
  - WALKWAY PAD
  - Y ANTENNA
  - LADDER

PROPOSED NEW ROOF PLAN  
 1/16"=1'-0"



PLAN REVISIONS			
Rev#	Description	Date	Appr.
1	ADDENDUM	4-24-23	WB

DESIGNED BY: CUNNINGHAM  
 DRAWN BY: STEPHEN WEYMOUTH  
 CHECKED BY:  
 DATE: 4/11/2023  
 SCALE: 1/16" = 1'-0"  
 DFE PROJECT NO.: 23SR23-406D

STATE OF MAINE  
 DEPARTMENT OF DEFENSE, VETERANS  
 AND EMERGENCY MANAGEMENT  
 Lincoln / Hancy  
 Engineering Associates, Inc.  
 1000 Main Street, Suite 100  
 Waterville, ME 05671  
 Phone: 207/272-1801 Fax: 207/272-2441

MAINE ARMY NATIONAL GUARD ROOF  
 WATERVILLE, MAINE  
 ROOF STRUCTURAL REINFORCEMENT  
 PROPOSED  
 NEW ROOF PLAN

PLAN PROGRESS
<input type="checkbox"/> DRAFT
<input type="checkbox"/> 35% REVIEW
<input type="checkbox"/> 50% REVIEW
<input type="checkbox"/> 95% REVIEW
<input type="checkbox"/> FINAL REVIEW
<input type="checkbox"/> FOR BIDDING
<input checked="" type="checkbox"/> ISSUED FOR CONSTRUCTION
<input type="checkbox"/> RECORD DRAWINGS

SHEET ID:  
**R-103**  
 SHEET: 7 OF 10