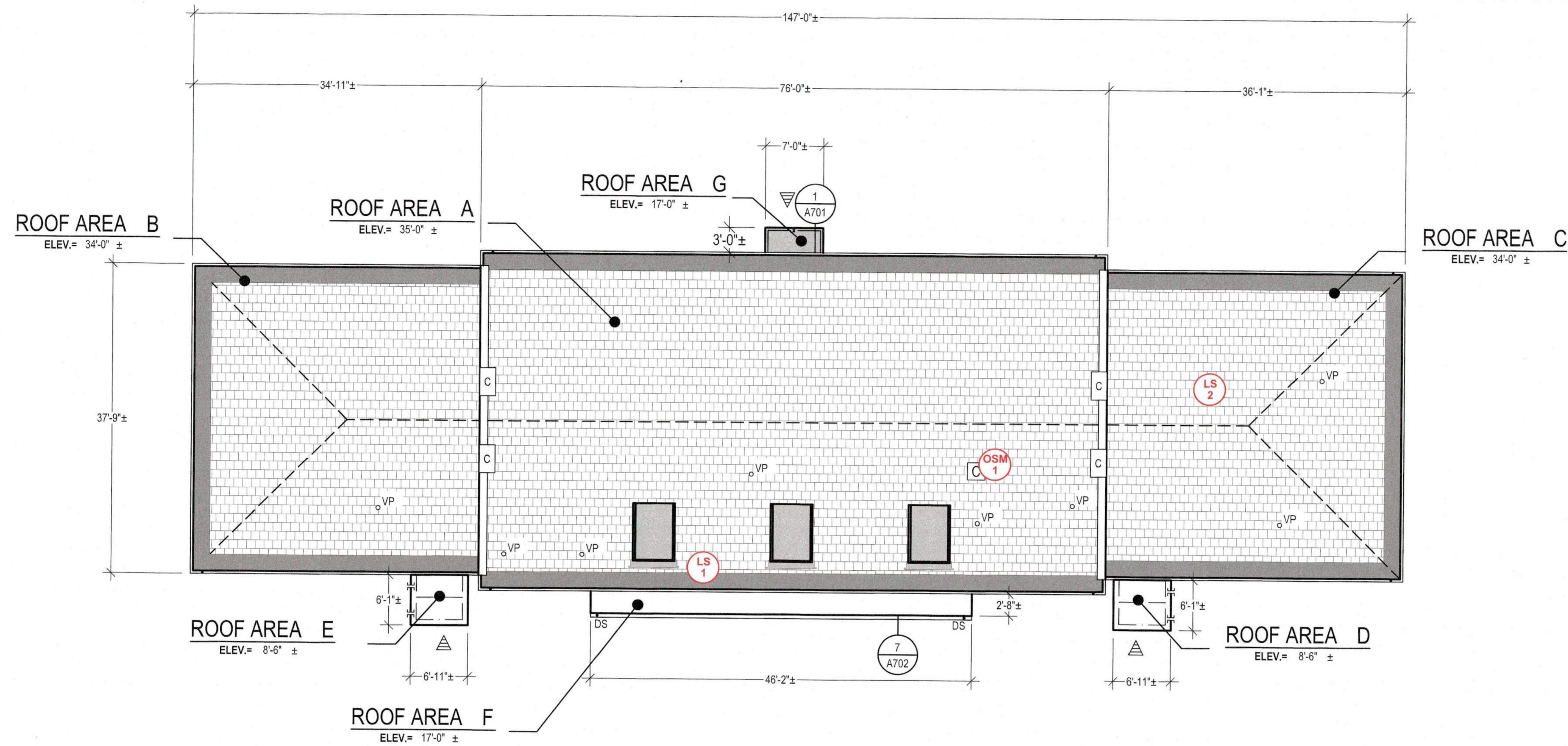


E  
D  
C  
B  
A



1 A101 IF&W BUILDING ROOF AREA PLAN  
SCALE: 1/8"=1'-0"

**GENERAL NOTES**

1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
3. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
4. ALL ITEMS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
5. THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE STRUCTURAL DECK OR SUBSTRATES TO THE OWNER PRIOR TO PERFORMING ROOFING REPAIR WORK.
6. THE CONTRACTOR IS CAUTIONED THAT THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET-UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNER REQUIREMENTS.
7. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS. REMOVE ONLY AS MUCH EXISTING MATERIAL AS CAN BE REPLACED ON THE SAME DAY. PHASED CONSTRUCTION IS NOT PERMITTED.
8. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS LISTED AND/OR INDICATED ON THE DRAWINGS OR NOTED IN THE WRITTEN SPECIFICATIONS - TYPICAL.
10. THE BUILDING SHALL BE MAINTAINED IN A DUST FREE CONDITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE INTERIOR OF THE BUILDING REMAINS DUST FREE. NO DEMOLITION CAN PROCEED UNTIL AN APPROVED TEMPORARY PROTECTION SYSTEM IS IN PLACE.
11. THE CONTRACTOR MUST PROVIDE DETAILED TRAFFIC AND SCAFFOLDING PLANS TO THE OWNER FOR REVIEW. THE CONTRACTOR WILL ONLY BE ALLOWED THE AREAS SHOWN FOR SETUP AND STORAGE OF MATERIALS.
12. JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. GALE REPRESENTATIVES, INCLUDING SUBCONSULTANTS RETAINED BY GALE, MAY VISIT THE JOB SITE PERIODICALLY. THESE VISITS ARE FOR CLARIFICATIONS OF SPECIFIC DESIGN RELATED ISSUES ONLY AND ARE NOT FOR THE PURPOSE OF JOB SITE SAFETY. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLY WITH ALL SITE SAFETY APPLICABLE REQUIREMENTS.

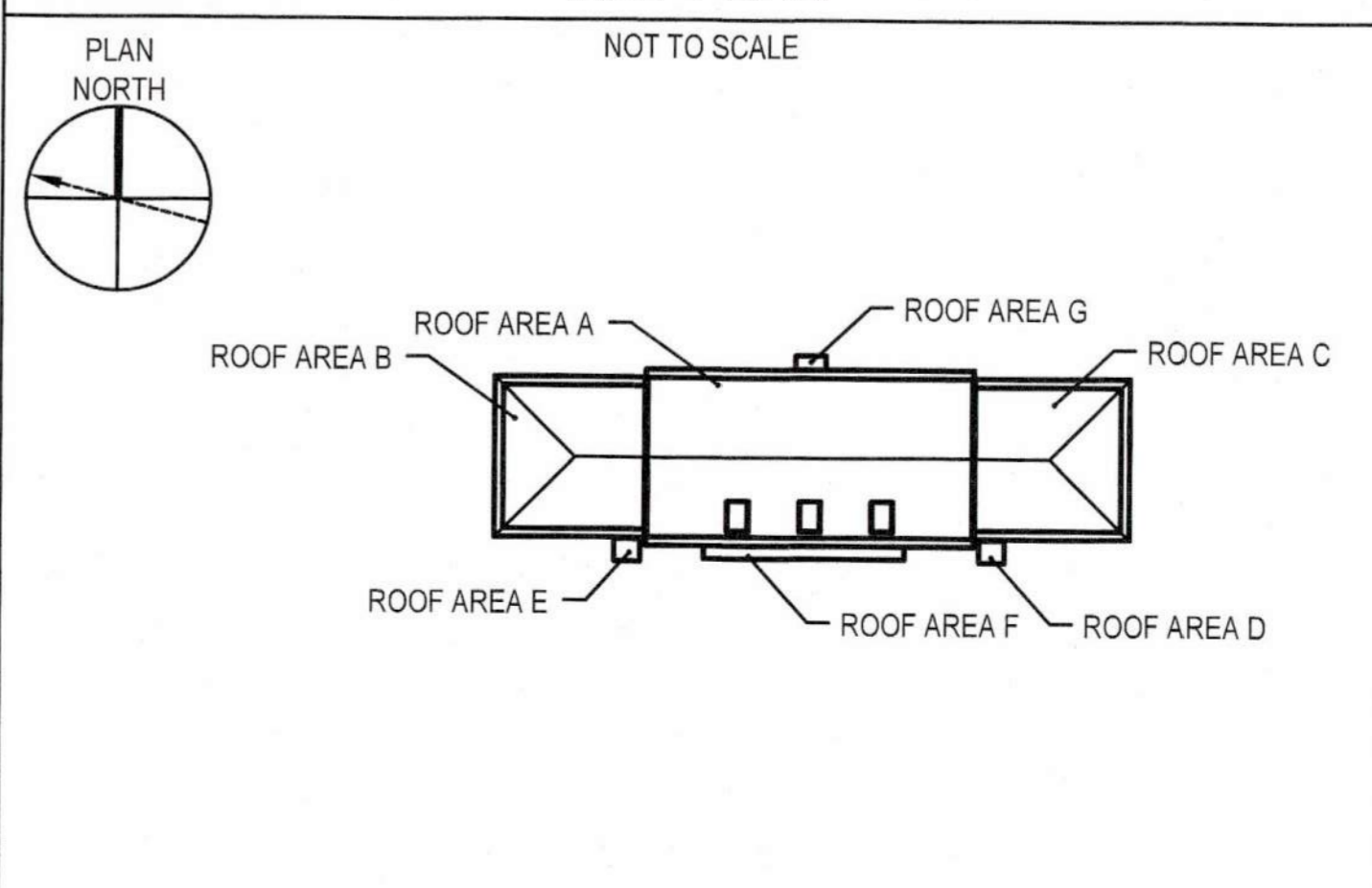
**ROOFING REPAIR LEGEND**

- LS # LOOSE SHINGLE TO BE REPAIRED, REFER TO DETAIL 10/A702; # INDICATES UNITS
- OSM # OPEN SHEET METAL TO BE REPLACED; # INDICATES LINEAR FEET

**LEGEND**

- ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.
- ROOF EDGE
  - - - ROOF RIDGE/HIP
  - ▬▬▬ PARAPET
  - · - · - EPDM FIELD SEAM; INSTALL STRIPPING MEMBRANE PER DETAIL 8/A702
  - ▬▬▬ EPDM ICE BELT AND BUILT-IN SHELF GUTTER;
  - DS NEW GUTTER AND DOWNSPOUTS
  - VP VENT PIPE
  - CHIMNEY
  - △ EXTERIOR DOOR
  - ▬▬▬ ASPHALT SHINGLE ROOF AREA
  - ▬▬▬ FLAT SEAM COPPER ROOF AREA
  - · — ROOF RAILING
  - ≡ SCUPPER

**KEY PLAN**



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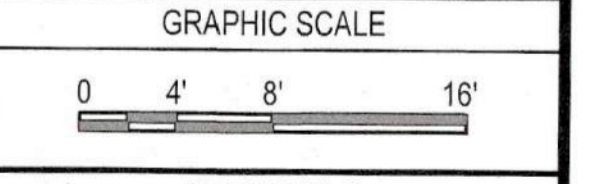
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**FOR CONSTRUCTION**

PROJECT  
**BUILDING ENVELOPE REPAIRS AT THE IF&W BUILDING DOROTHEA DIX PSYCHIATRIC CENTER CAMPUS BANGOR, ME 04401**

OWNER  
HARRIMAN ASSOCIATES  
80 EXCHANGE STREET, 3RD FLOOR  
PORTLAND, ME 04101

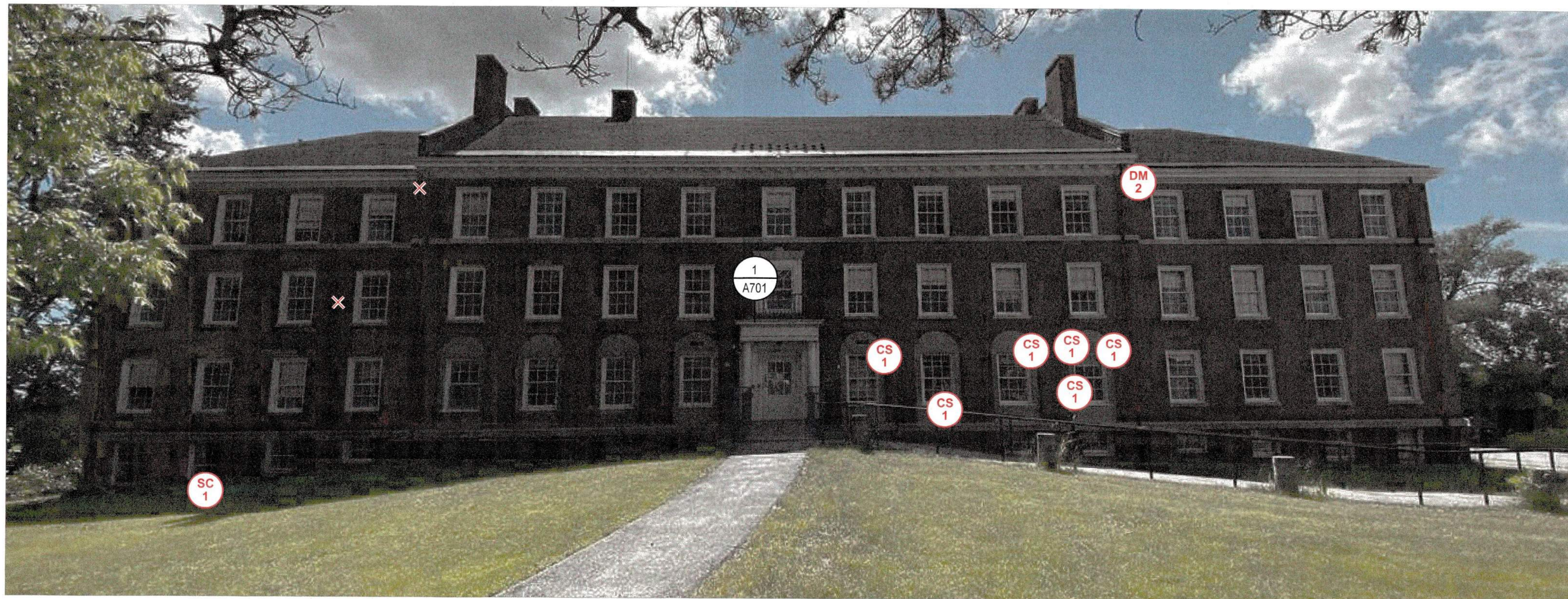
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CADD FILE		839940 A100s	
DESIGNED BY		JVL	
DRAWN BY		JVL	
CHECKED BY		ACP/CM/JFL	
DATE		12/4/2023	
DRAWING SCALE		1/8"=1'-0"	



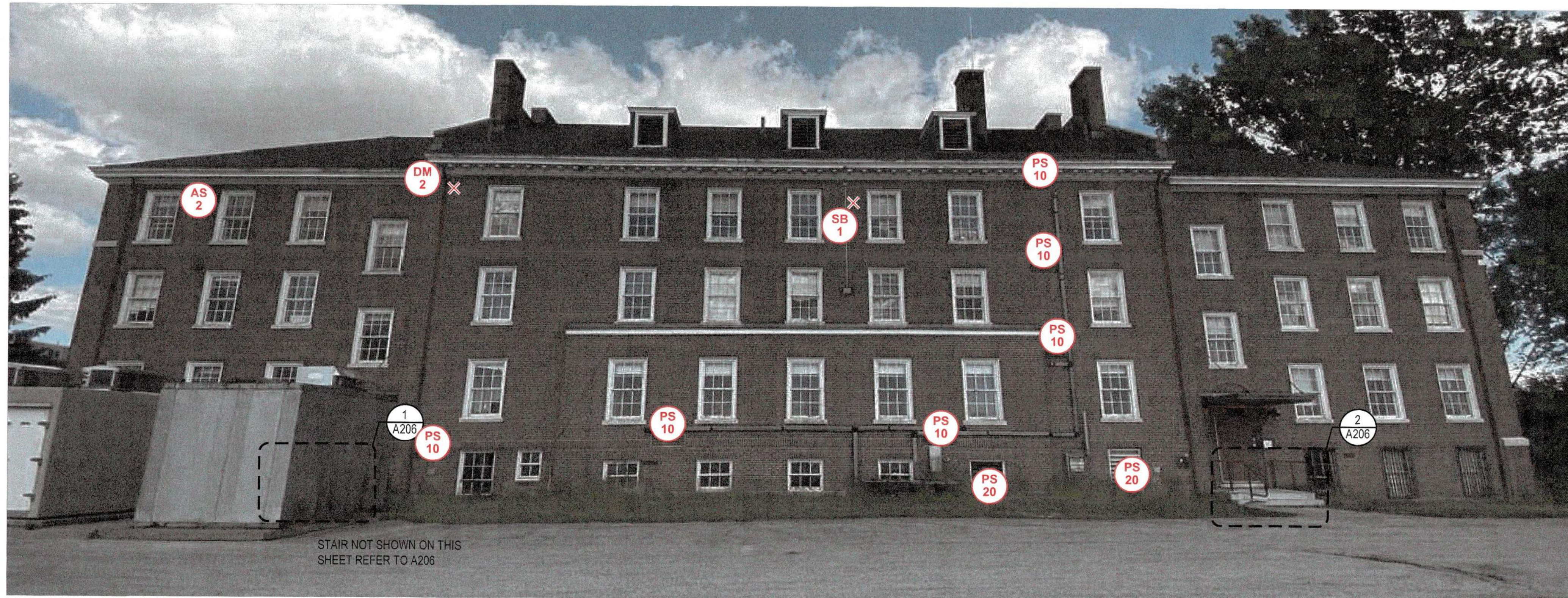
SHEET TITLE  
**IF & W BUILDING ROOF AREA PLAN**

DRAWING NO.  
**A101**

STATE OF MAINE  
Jan F. Lindberg  
5044  
PROFESSIONAL ENGINEER



**1 EAST ELEVATION**  
SCALE: NOT TO SCALE



**2 WEST ELEVATION**  
SCALE: NOT TO SCALE

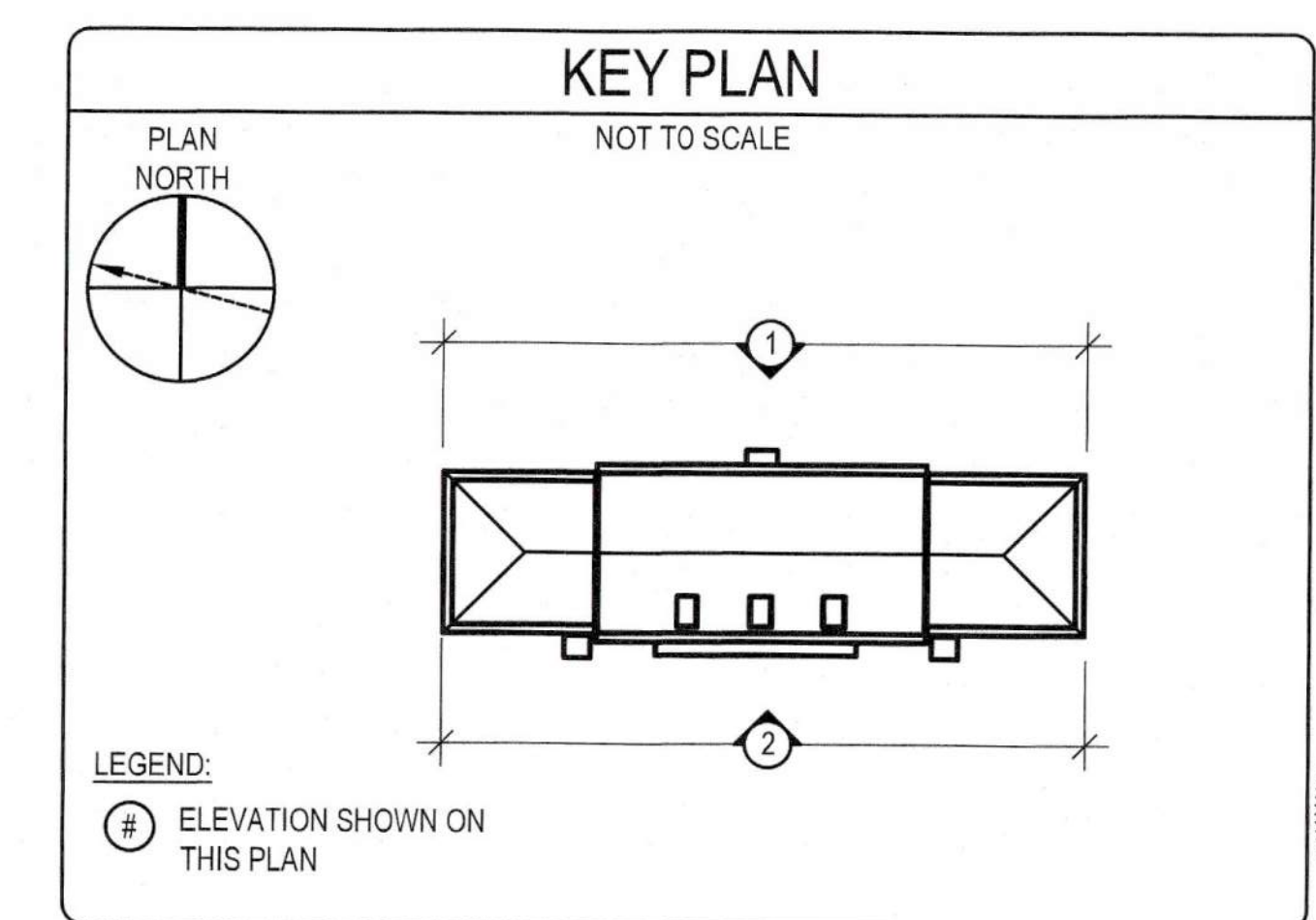
- ### ELEVATION NOTES
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### REPAIR LEGEND

MASONRY	
AS #	ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET
EF #	EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET
RS #	RUST STAIN TO BE CLEANED; # INDICATES SQUARE FEET
CB #	CRACKED BRICK TO BE REPLACED; # INDICATES UNITS
DB #	DISPLACED BRICK TO BE REPLACED; # INDICATES LINEAR FEET
MJ #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES LINEAR FEET
DM #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES SQUARE FEET
SB #	SPALLED BRICK TO BE REPLACED; # INDICATES UNITS
X	EXISTING ANCHOR / METAL STUB TO BE REMOVED AND PATCHED
Step Crack	STEP CRACK TO BE REPAIRED; # INDICATES LINEAR FEET
Brick Masonry	BRICK MASONRY TO BE REBUILT

SEALANT	CONCRETE/STONE
FS #	FAILED SEALANT TO BE REPAIRED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET
PS #	FAILED PERIMETER SEALANT TO BE REPAIRED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET
	CC #
	CRACKED CONCRETE TO BE REPAIRED, REFER TO DETAIL 3/A701; # INDICATES LINEAR FEET
	SC #
	SPALLED CONCRETE TO BE REPAIRED, REFER TO DETAIL 4/A701; # INDICATES SQUARE FEET
	CS #
	CRACKED STUCCO TO BE REPAIRED, REFER TO DETAIL 3/A701; # INDICATES LINEAR FEET

NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.



**GALE**  
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Manchester Portland

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**FOR CONSTRUCTION**

PROJECT  
**BUILDING ENVELOPE REPAIRS AT THE IF&W BUILDING DOROTHEA DIX PSYCHIATRIC CENTER CAMPUS BANGOR, ME 04401**

OWNER  
HARRIMAN ASSOCIATES  
80 EXCHANGE STREET, 3RD FLOOR  
PORTLAND, ME 04101

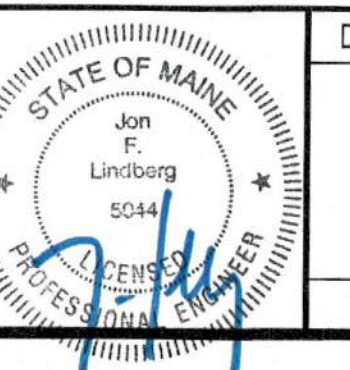
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839940		
CADD FILE	839940 A200's IF&W		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/CM/JFL		
DATE	12/4/2023		
DRAWING SCALE	NOT TO SCALE		

GRAPHIC SCALE

SHEET TITLE

**EAST AND WEST ELEVATIONS**

DRAWING NO.  
**A201**





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**FOR CONSTRUCTION**

PROJECT: **BUILDING ENVELOPE REPAIRS AT THE IF&W BUILDING DOROTHEA DIX PSYCHIATRIC CENTER CAMPUS BANGOR, ME 04401**

OWNER: **HARRIMAN ASSOCIATES 80 EXCHANGE STREET, 3RD FLOOR PORTLAND, ME 04101**

**ELEVATION NOTES**

1. THE ELEVATIONS ARE PROVIDED TO SHOW APPROXIMATE QUANTITIES AND CONFIGURATIONS. THE ACTUAL SIZES AND CONFIGURATION WILL VARY FROM THOSE SHOWN. THE CONTRACTOR SHALL BASE THE BID AND CONTRACT AMOUNTS ON ACTUAL FIELD CONDITIONS.
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**REPAIR LEGEND**

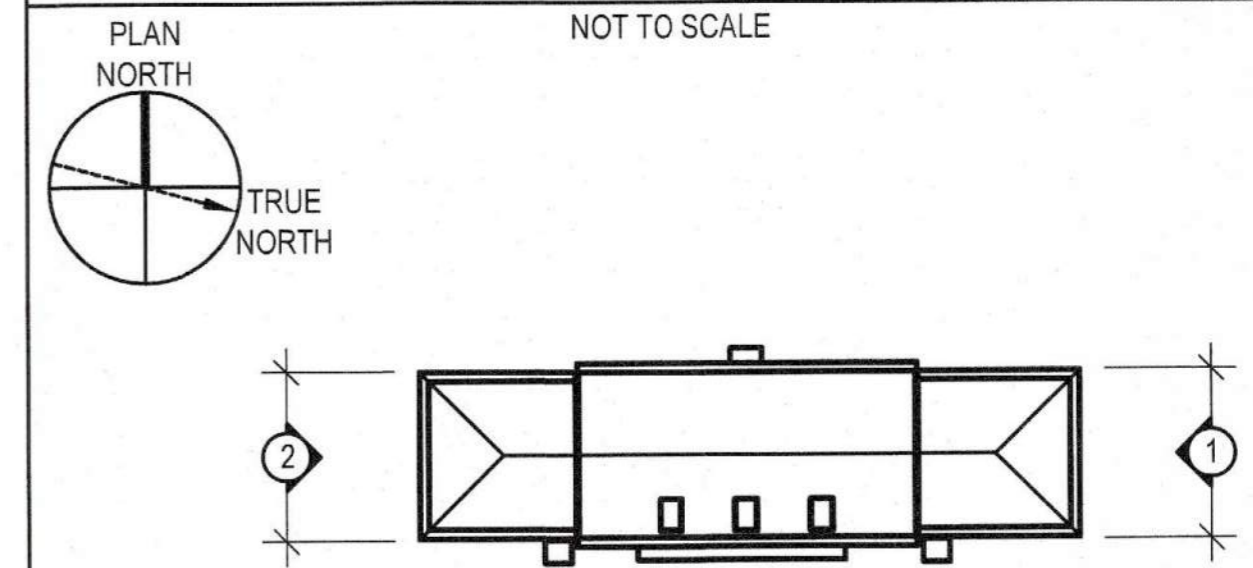
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AS #	ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET
EF #	EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET
RS #	RUST STAIN TO BE CLEANED; # INDICATES SQUARE FEET
CB #	CRACKED BRICK TO BE REPLACED; # INDICATES UNITS
DB #	DISPLACED BRICK TO BE REPLACED; # INDICATES LINEAR FEET
MJ #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES LINEAR FEET
DM #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES SQUARE FEET
SB #	SPALLED BRICK TO BE REPLACED; # INDICATES UNITS
X	EXISTING ANCHOR / METAL STUB TO BE REMOVED AND PATCHED
Step Crack	STEP CRACK TO BE REPAIRED; # INDICATES LINEAR FEET
Brick Masonry	BRICK MASONRY TO BE REBUILT

**SEALANT**      **CONCRETE/STONE**

FS #	FAILED SEALANT TO BE REPAIRED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET	CC #	CRACKED CONCRETE TO BE REPAIRED, REFER TO DETAIL 3/A701; # INDICATES LINEAR FEET
PS #	FAILED PERIMETER SEALANT TO BE REPAIRED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET	SC #	SPALLED CONCRETE TO BE REPAIRED, REFER TO DETAIL 4/A701; # INDICATES SQUARE FEET
		CS #	CRACKED STUCCO TO BE REPAIRED, REFER TO DETAIL 3/A701; # INDICATES LINEAR FEET

NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.

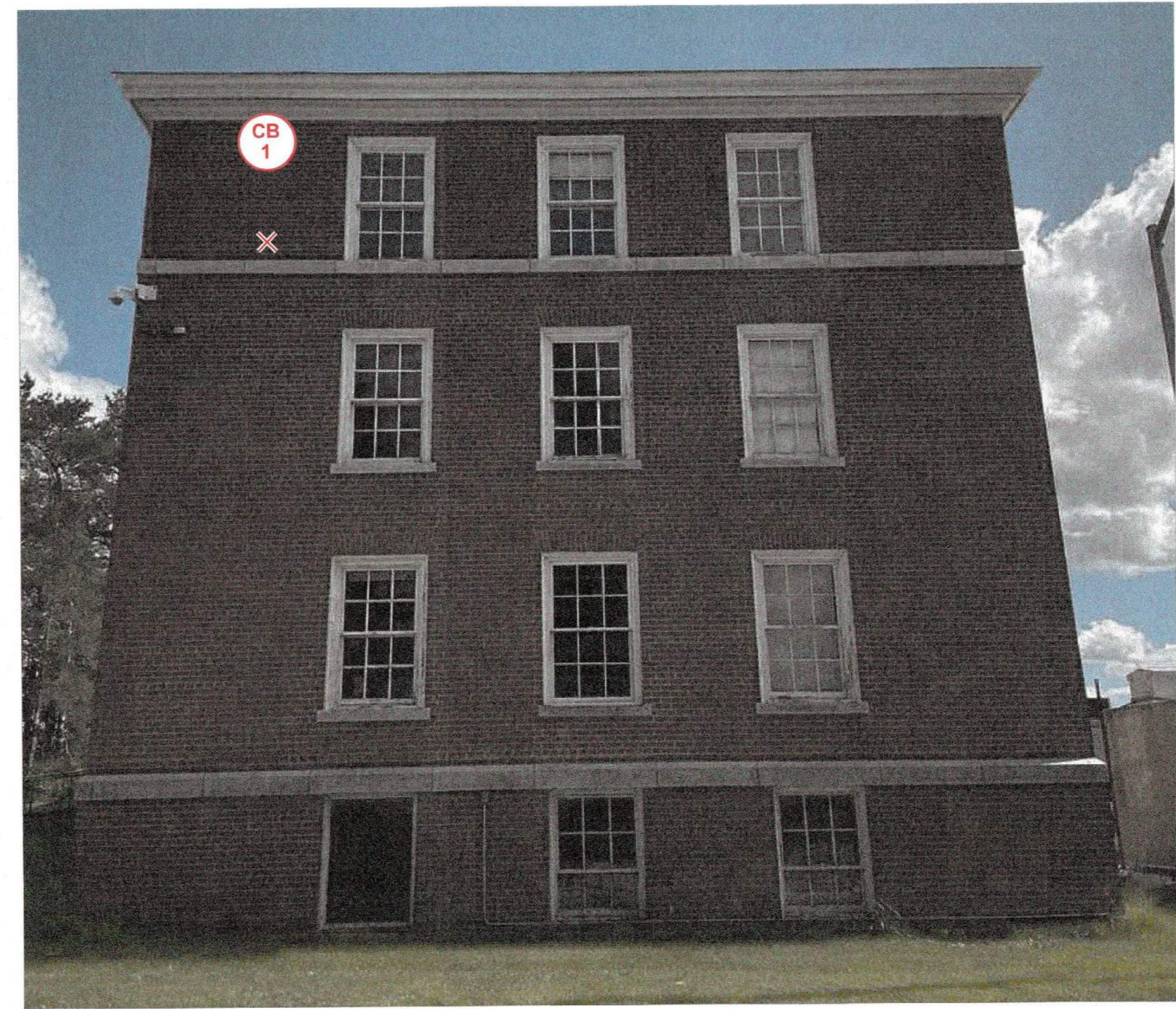
**KEY PLAN**



LEGEND:  
 # ELEVATION SHOWN ON THIS PLAN



**1 SOUTH ELEVATION**  
 A202 SCALE: NOT TO SCALE



**2 NORTH ELEVATION**  
 A202 SCALE: NOT TO SCALE

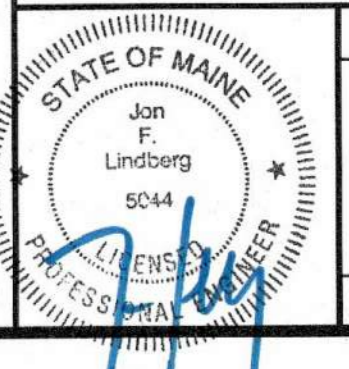
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839940		
CADD FILE	839940 A200's IF&W		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/CM/JFL		
DATE	12/4/2023		
DRAWING SCALE	NOT TO SCALE		

GRAPHIC SCALE

SHEET TITLE

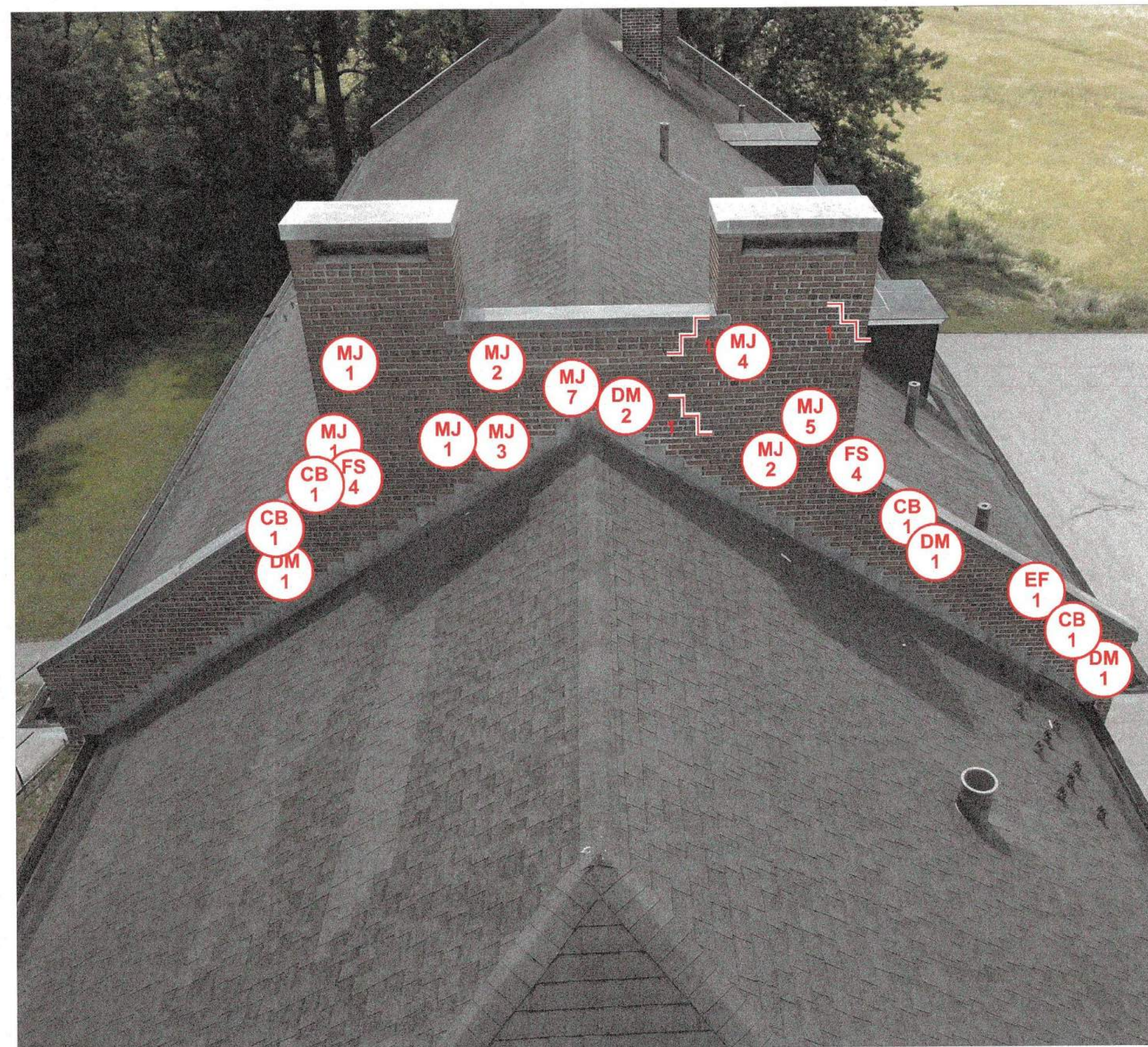
**NORTH AND SOUTH ELEVATIONS**

DRAWING NO.  
**A202**

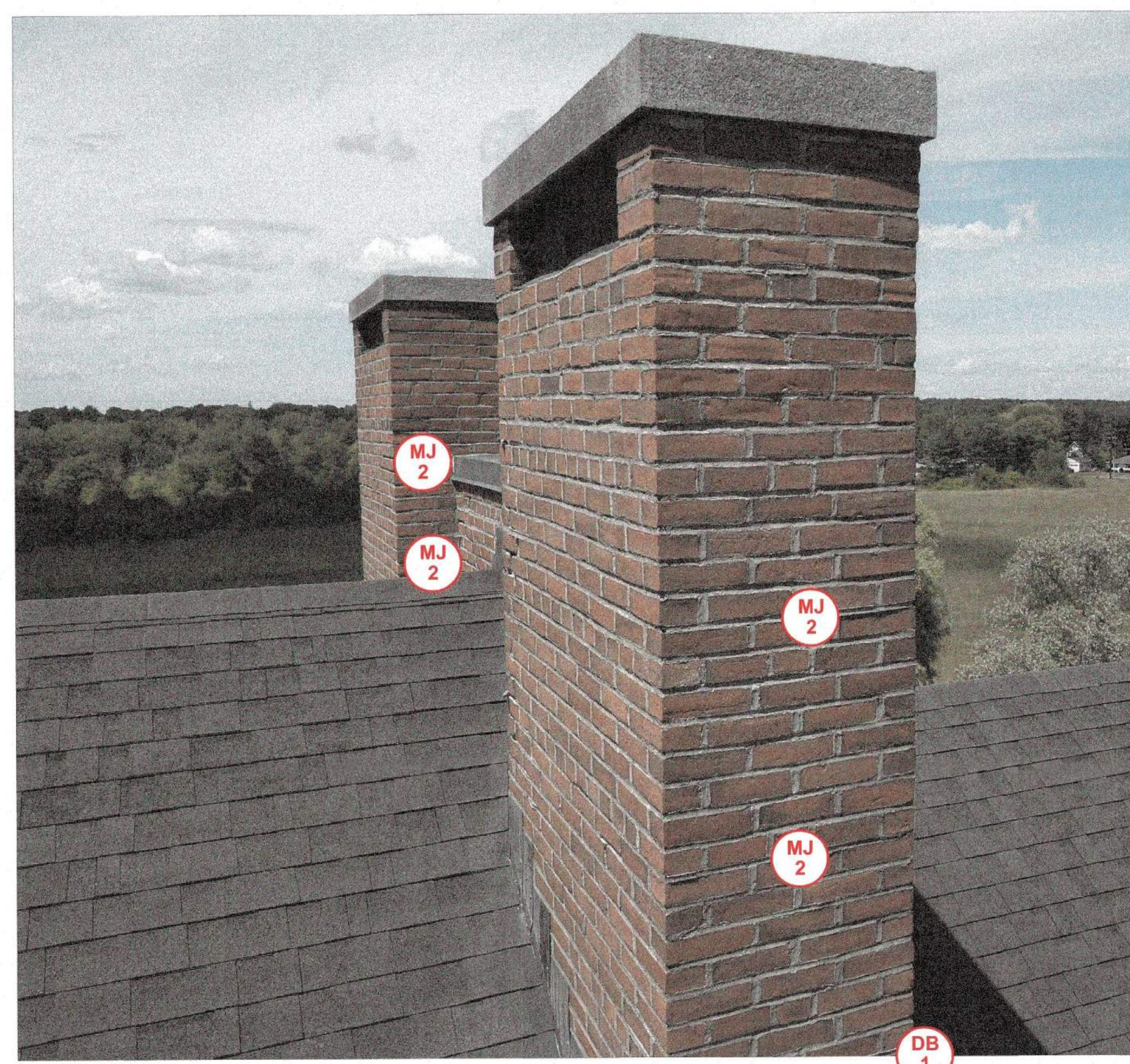


**FOR CONSTRUCTION**

PROJECT: **BUILDING ENVELOPE REPAIRS AT THE IF&W BUILDING DOROTHEA DIX PSYCHIATRIC CENTER CAMPUS BANGOR, ME 04401**  
OWNER: HARRIMAN ASSOCIATES  
80 EXCHANGE STREET, 3RD FLOOR PORTLAND, ME 04101



**1 CHIMNEY AND PARAPET ELEVATION**  
SCALE: NOT TO SCALE



**2 CHIMNEY AND PARAPET ELEVATION**  
SCALE: NOT TO SCALE



**3 CHIMNEY AND PARAPET ELEVATION**  
SCALE: NOT TO SCALE

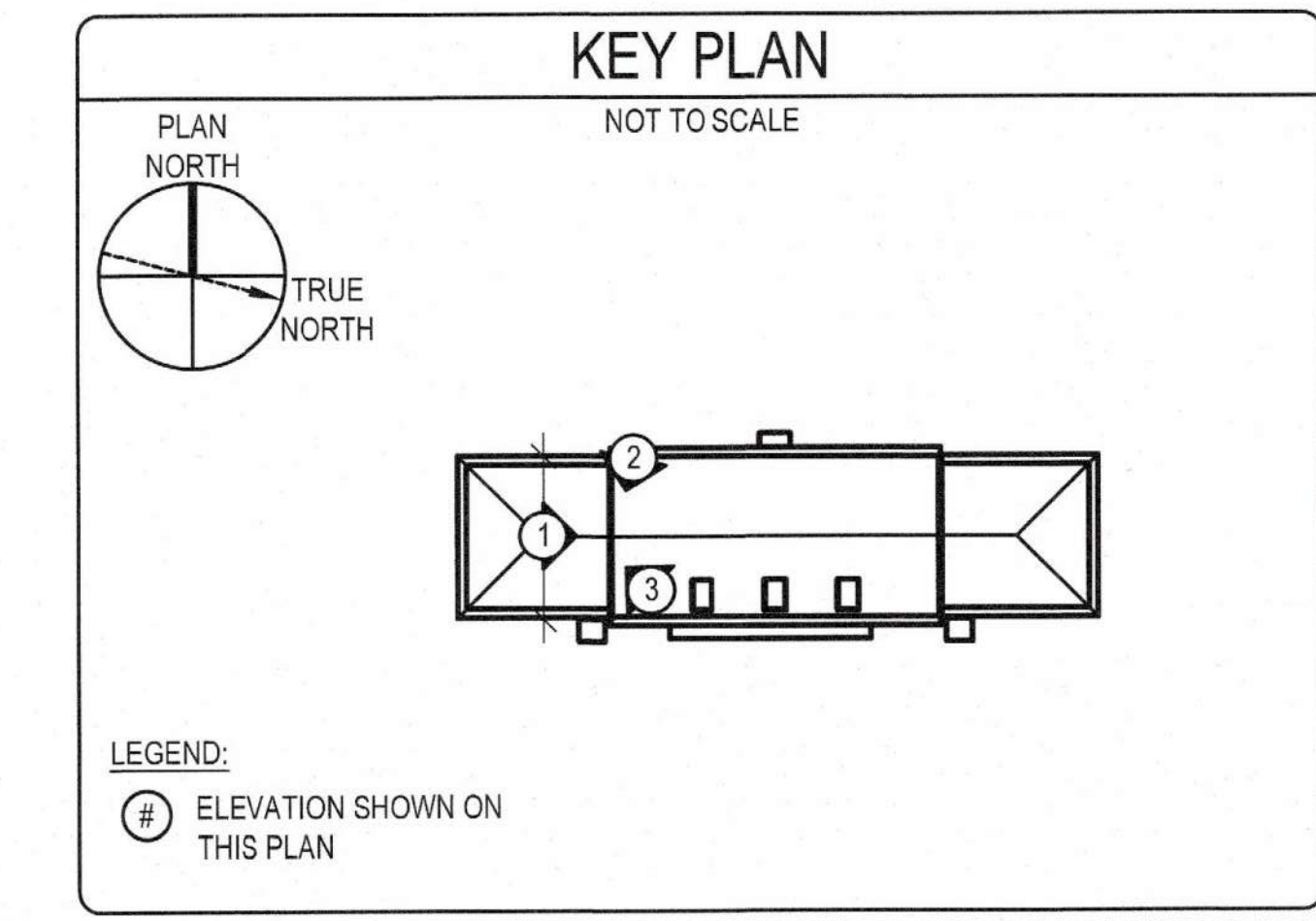
- ### ELEVATION NOTES
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### REPAIR LEGEND

MASONRY	
AS #	ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET
EF #	EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET
RS #	RUST STAIN TO BE CLEANED; # INDICATES SQUARE FEET
CB #	CRACKED BRICK TO BE REPLACED; # INDICATES UNITS
DB #	DISPLACED BRICK TO BE REPLACED; # INDICATES LINEAR FEET
MJ #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES LINEAR FEET
DM #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES SQUARE FEET
SB #	SPALLED BRICK TO BE REPLACED; # INDICATES UNITS
x	EXISTING ANCHOR / METAL STUB TO BE REMOVED AND PATCHED
—	STEP CRACK TO BE REPAIRED; # INDICATES LINEAR FEET
XXXX	BRICK MASONRY TO BE REBUILT

SEALANT	CONCRETE/STONE
FS #	CRACKED CONCRETE TO BE REPAIRED, REFER TO DETAIL 3/A701; # INDICATES LINEAR FEET
PS #	SPALLED CONCRETE TO BE REPAIRED, REFER TO DETAIL 4/A701; # INDICATES SQUARE FEET
	CRACKED STUCCO TO BE REPAIRED, REFER TO DETAIL 3/A701; # INDICATES LINEAR FEET

NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.

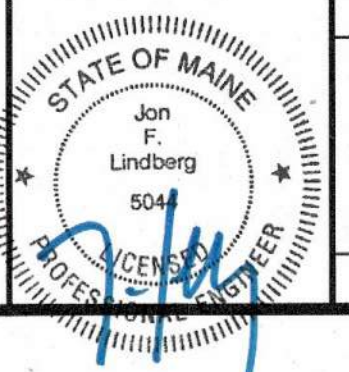


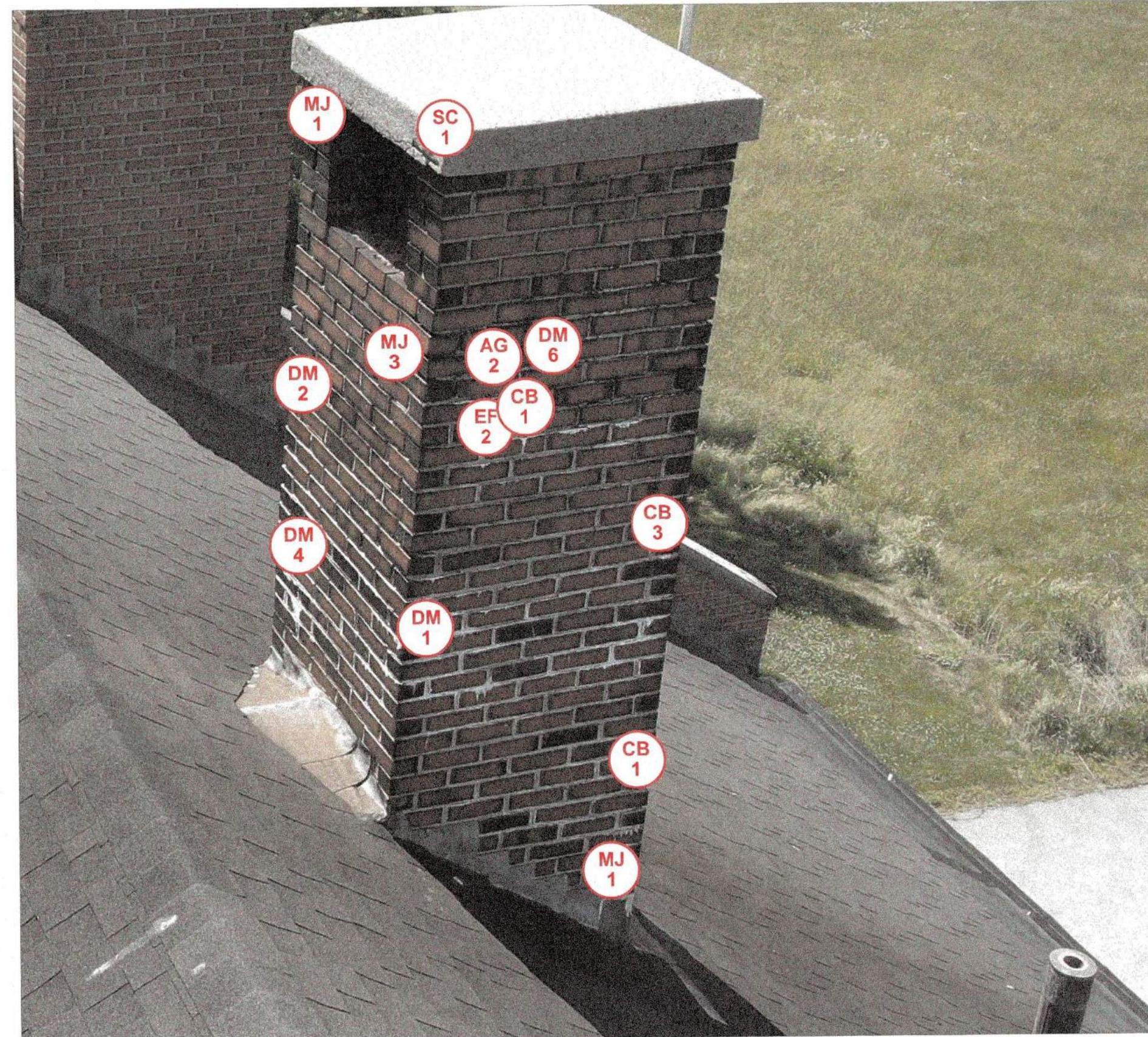
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PROJECT NO.	839940		
CADD FILE	839940 A200's IF&W		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/CM/JFL		
DATE	12/4/2023		
DRAWING SCALE	NOT TO SCALE		

GRAPHIC SCALE

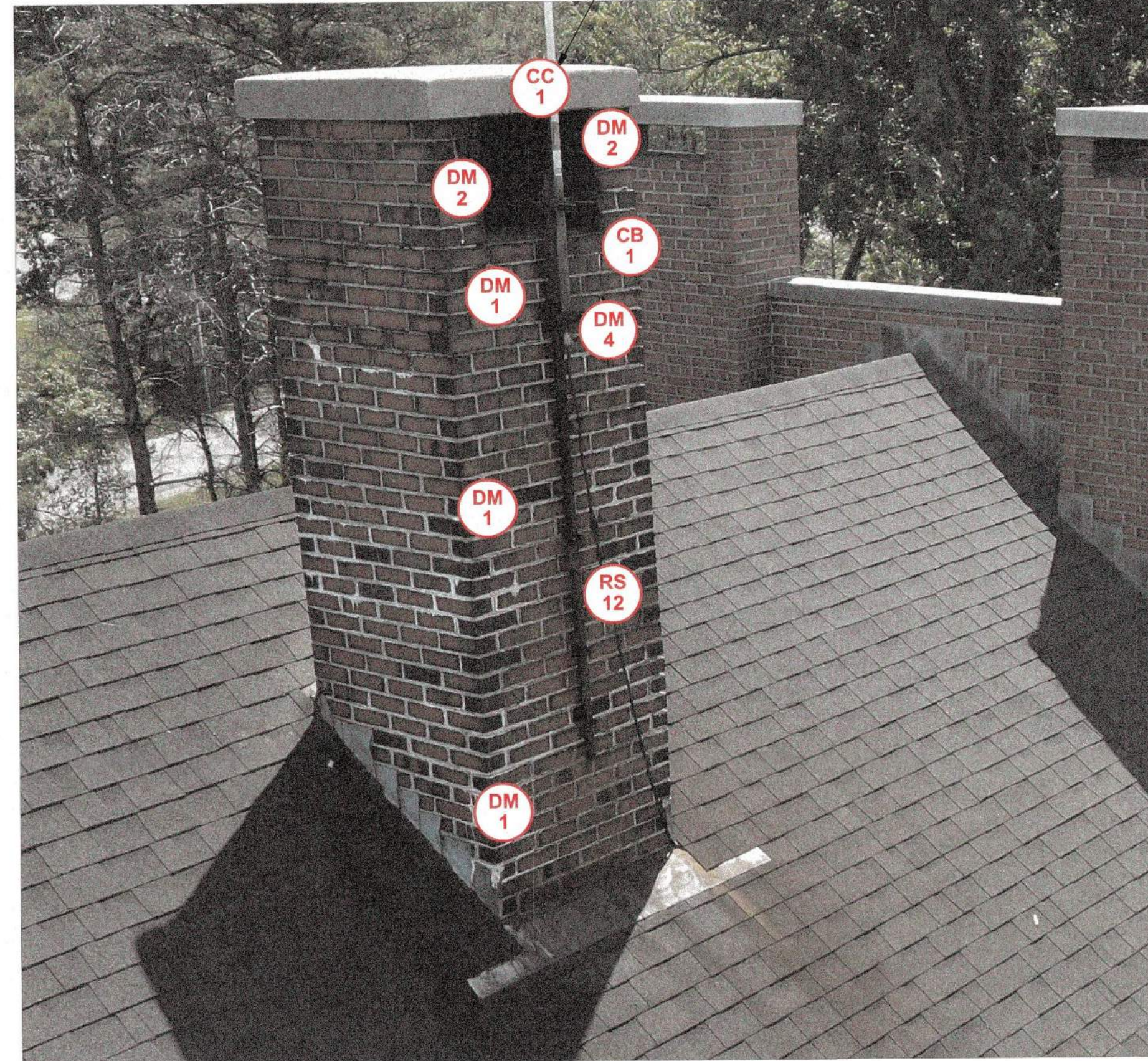
SHEET TITLE  
**CHIMNEY AND PARAPET ELEVATIONS**

DRAWING NO.  
**A203**

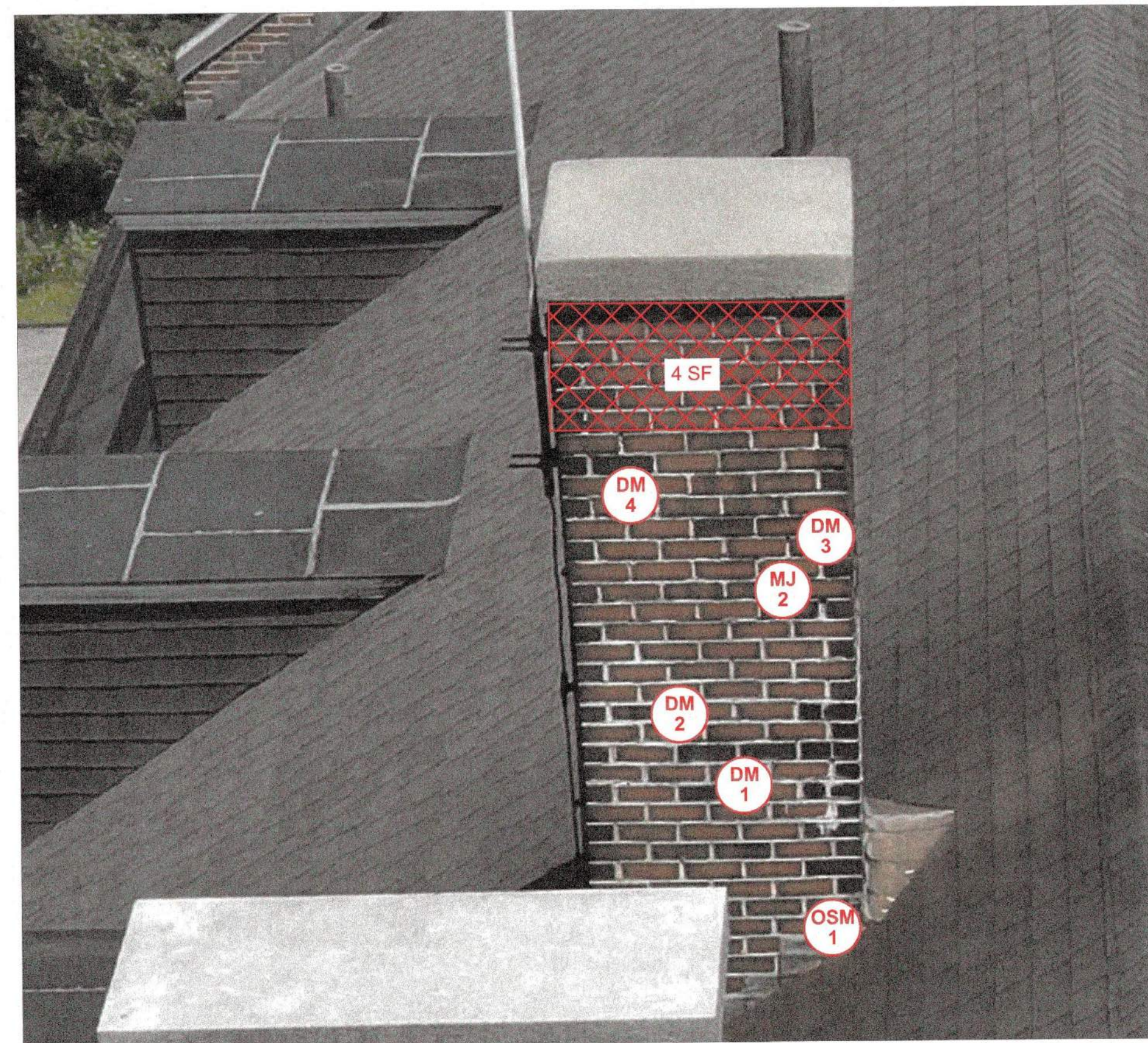




1 CHIMNEY ELEVATION  
A204 SCALE: NOT TO SCALE



2 CHIMNEY ELEVATION  
A204 SCALE: NOT TO SCALE



3 CHIMNEY ELEVATION  
A204 SCALE: NOT TO SCALE

### ELEVATION NOTES

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### REPAIR LEGEND

#### MASONRY

AS #	ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET	MJ #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES LINEAR FEET
EF #	EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET	DM #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES SQUARE FEET
RS #	RUST STAIN TO BE CLEANED; # INDICATES SQUARE FEET	SB #	SPALLED BRICK TO BE REPLACED; # INDICATES UNITS
CB #	CRACKED BRICK TO BE REPLACED; # INDICATES UNITS	x	EXISTING ANCHOR / METAL STUB TO BE REMOVED AND PATCHED
DB #	DISPLACED BRICK TO BE REPLACED; # INDICATES LINEAR FEET	—	STEP CRACK TO BE REPAIRED; # INDICATES LINEAR FEET
		⊗	BRICK MASONRY TO BE REBUILT

#### SEALANT

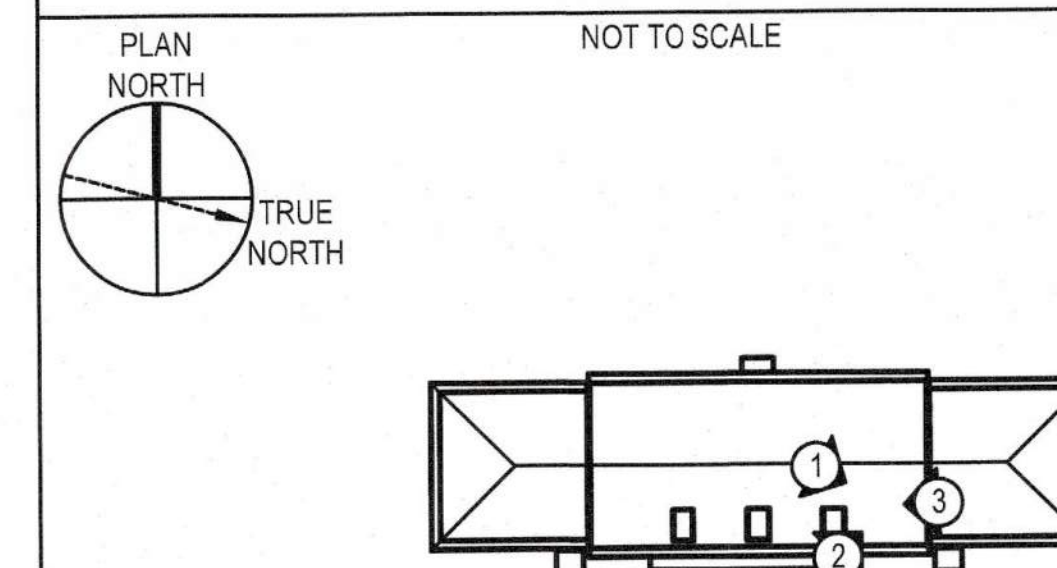
FS #	FAILED SEALANT TO BE REPAIRED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET
PS #	FAILED PERIMETER SEALANT TO BE REPAIRED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET

#### CONCRETE/STONE

CC #	CRACKED CONCRETE TO BE REPAIRED, REFER TO DETAIL 3/A701; # INDICATES LINEAR FEET
SC #	SPALLED CONCRETE TO BE REPAIRED, REFER TO DETAIL 4/A701; # INDICATES SQUARE FEET
CS #	CRACKED STUCCO TO BE REPAIRED, REFER TO DETAIL 3/A701; # INDICATES LINEAR FEET

NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.

### KEY PLAN



LEGEND:  
# ELEVATION SHOWN ON THIS PLAN



Gale Associates, Inc.  
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Manchester Portland

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FOR CONSTRUCTION

PROJECT: BUILDING ENVELOPE REPAIRS AT THE IF&W BUILDING DOROTHEA DIX PSYCHIATRIC CENTER CAMPUS BANGOR, ME 04401  
OWNER: HARRIMAN ASSOCIATES 80 EXCHANGE STREET, 3RD FLOOR PORTLAND, ME 04101

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839940		
CADD FILE	839940 A200's IF&W		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/CM/JFL		
DATE	12/4/2023		
DRAWING SCALE	NOT TO SCALE		

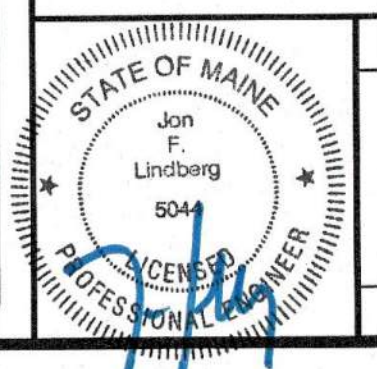
GRAPHIC SCALE

SHEET TITLE

CHIMNEY ELEVATIONS

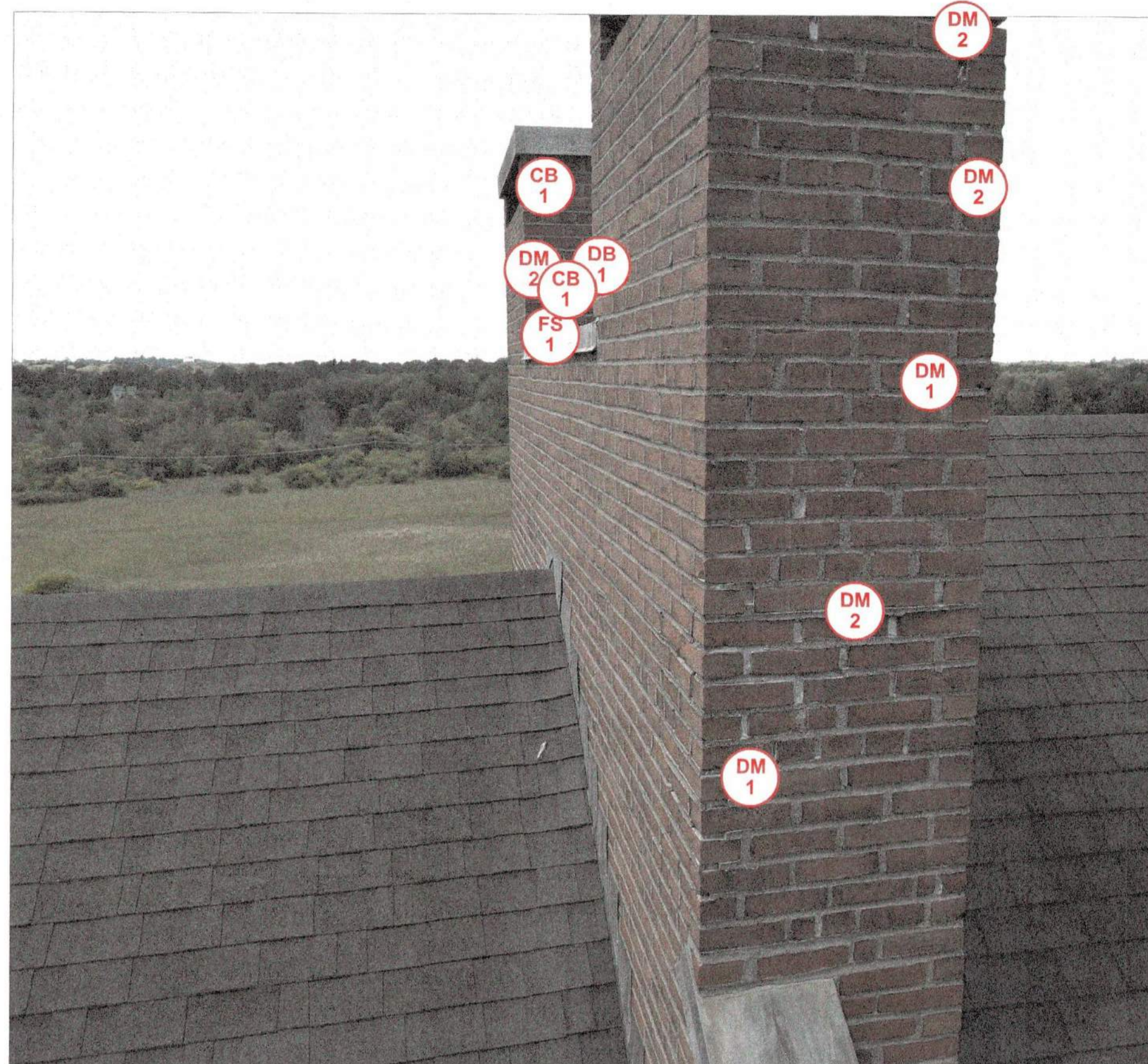
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A204

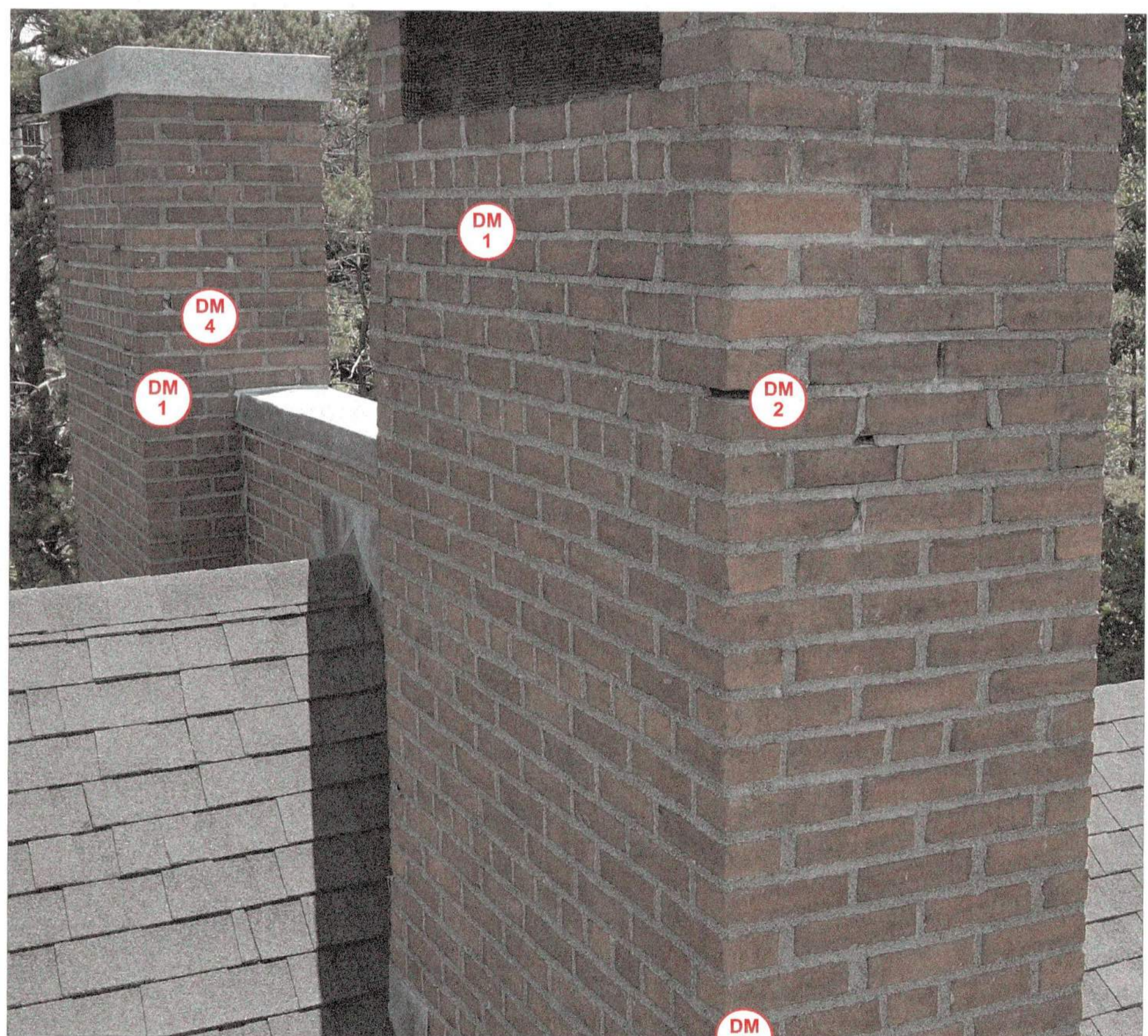




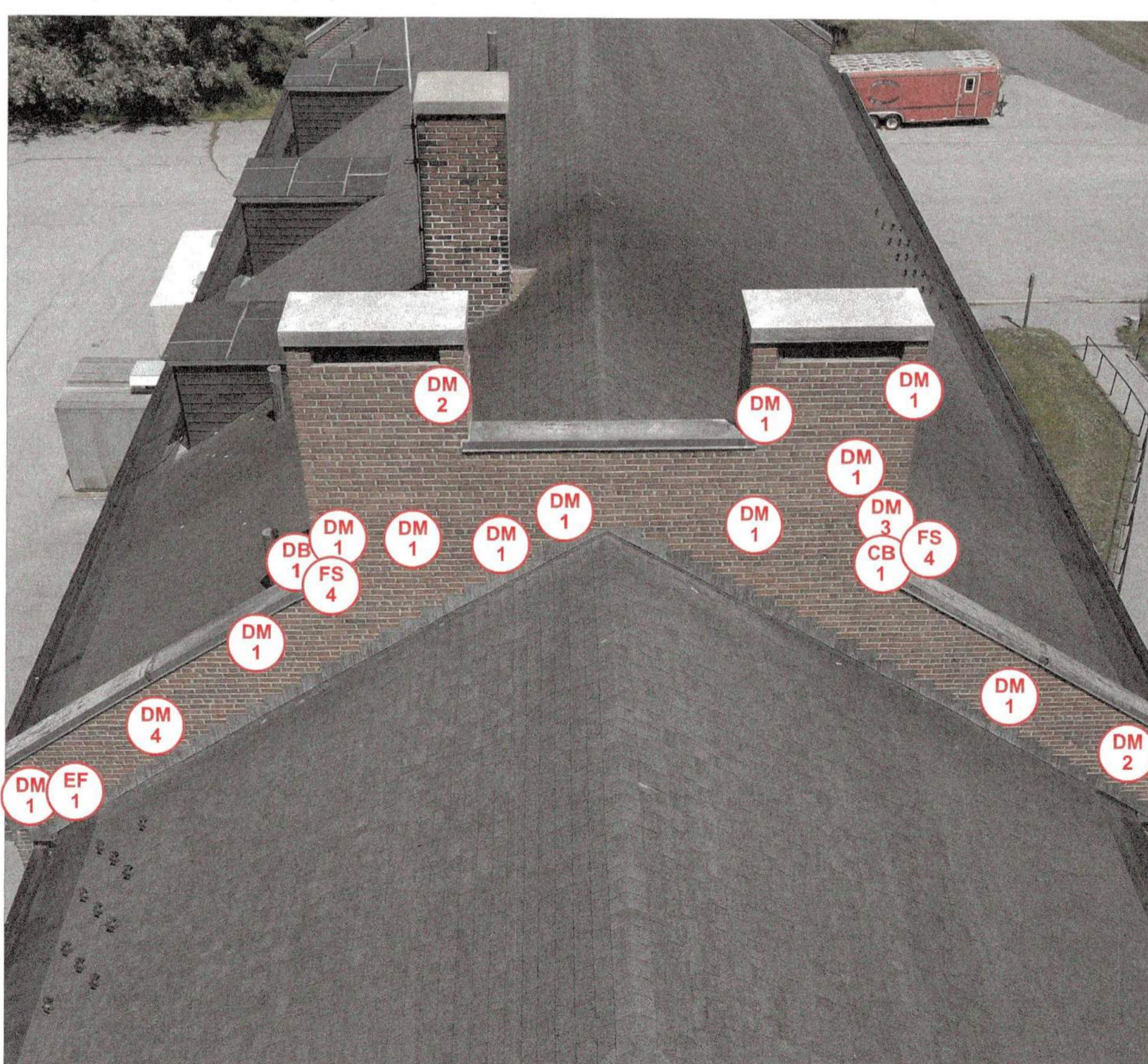
1 CHIMNEY AND PARAPET ELEVATION  
A205 SCALE: NOT TO SCALE



2 CHIMNEY AND PARAPET ELEVATION  
A205 SCALE: NOT TO SCALE



3 CHIMNEY AND PARAPET ELEVATION  
A205 SCALE: NOT TO SCALE



4 CHIMNEY AND PARAPET ELEVATION  
A205 SCALE: NOT TO SCALE

- ### ELEVATION NOTES
1. THE ELEVATIONS ARE PROVIDED TO SHOW APPROXIMATE QUANTITIES AND CONFIGURATIONS. THE ACTUAL SIZES AND CONFIGURATION WILL VARY FROM THOSE SHOWN. THE CONTRACTOR SHALL BASE THE BID AND CONTRACT AMOUNTS ON ACTUAL FIELD CONDITIONS.
  2. GRAPHIC HATCHING AND SYMBOLS ARE USED ON THE ELEVATION DRAWINGS TO INDICATE AREAS INCLUDED IN THE SCOPE OF WORK. ACTUAL DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED. REFER TO THE LEGEND ON THIS SHEET FOR THE CORRESPONDING SCOPE OF WORK ASSOCIATED WITH A PARTICULAR HATCH OR SYMBOL.
  3. CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEES/HORNETS/WASPS.
  4. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
  5. THE PHOTOGRAPHS USED ON THIS SHEET ARE INTENDED TO REPRESENT THE EXISTING CONDITIONS. THE PHOTOGRAPHS MAY BE SLIGHTLY SKEWED AND ARE NOT TO SCALE. REFER TO SHEET A101 FOR OVERALL BUILDING DIMENSIONS.

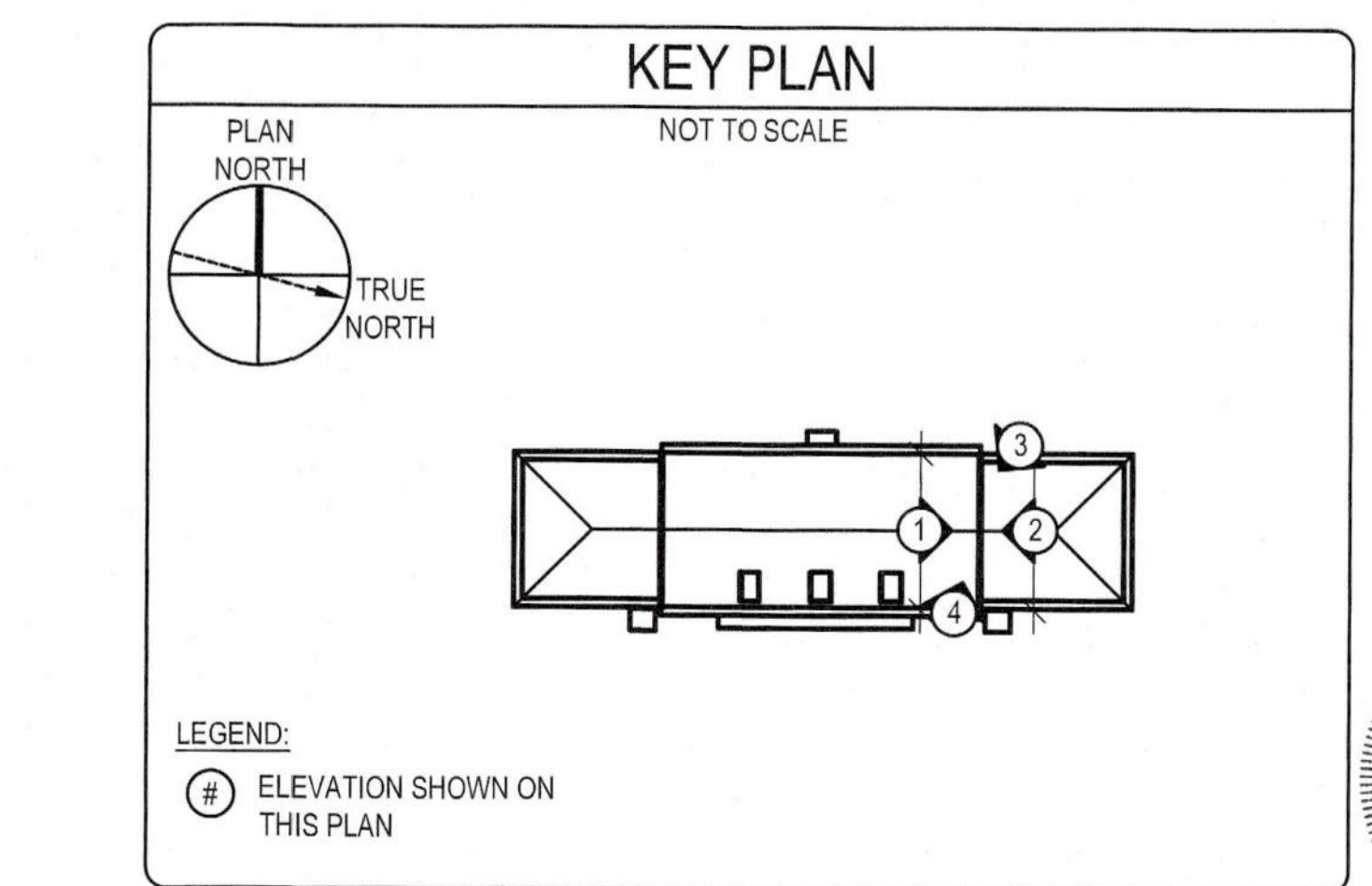
### REPAIR LEGEND

#### MASONRY

AS #	ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET	MJ #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES LINEAR FEET
EF #	EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET	DM #	DETERIORATED MORTAR JOINT TO BE REPAIRED, REFER TO DETAIL 2/A701; # INDICATES SQUARE FEET
RS #	RUST STAIN TO BE CLEANED; # INDICATES SQUARE FEET	SB #	SPALLED BRICK TO BE REPLACED; # INDICATES UNITS
CB #	CRACKED BRICK TO BE REPLACED; # INDICATES UNITS	x	EXISTING ANCHOR / METAL STUB TO BE REMOVED AND PATCHED
DB #	DISPLACED BRICK TO BE REPLACED; # INDICATES LINEAR FEET	Step Crack	STEP CRACK TO BE REPAIRED; # INDICATES LINEAR FEET
		Brick Masonry	BRICK MASONRY TO BE REBUILT

SEALANT	CONCRETE/STONE
FS #	CC #
PS #	SC #
	CS #

NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.



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Manchester Portland

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**FOR CONSTRUCTION**

PROJECT  
**BUILDING ENVELOPE REPAIRS AT THE IF&W BUILDING AT THE PSYCHIATRIC CENTER CAMPUS BANGOR, ME 04401**

OWNER  
HARRIMAN ASSOCIATES  
80 EXCHANGE STREET, 3RD FLOOR  
PORTLAND, ME 04101

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839940		
CADD FILE	839940 A200's IF&W		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/CM/JFL		
DATE	12/4/2023		
DRAWING SCALE	NOT TO SCALE		

GRAPHIC SCALE

SHEET TITLE  
**CHIMNEY AND PARAPET ELEVATIONS**

DRAWING NO.  
**A205**

STATE OF MAINE  
Jan F. Lindberg  
5044  
REGISTERED PROFESSIONAL ENGINEER



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FOR CONSTRUCTION

PROJECT  
BUILDING ENVELOPE REPAIRS  
AT THE IF&W BUILDING  
DOROTHEA DIX PSYCHIATRIC CENTER CAMPUS  
BANGOR, ME 04401

OWNER  
HARRIMAN ASSOCIATES  
80 EXCHANGE STREET, 3RD FLOOR  
PORTLAND, ME 04101

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839940		
CADD FILE	839940 A200's IF&W		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/CM/JFL		
DATE	12/4/2023		
DRAWING SCALE	NOT TO SCALE		

GRAPHIC SCALE

SHEET TITLE

ELEVATIONS

DRAWING NO.

A206



1 SOUTH STAIR ELEVATION  
A206 SCALE: NOT TO SCALE

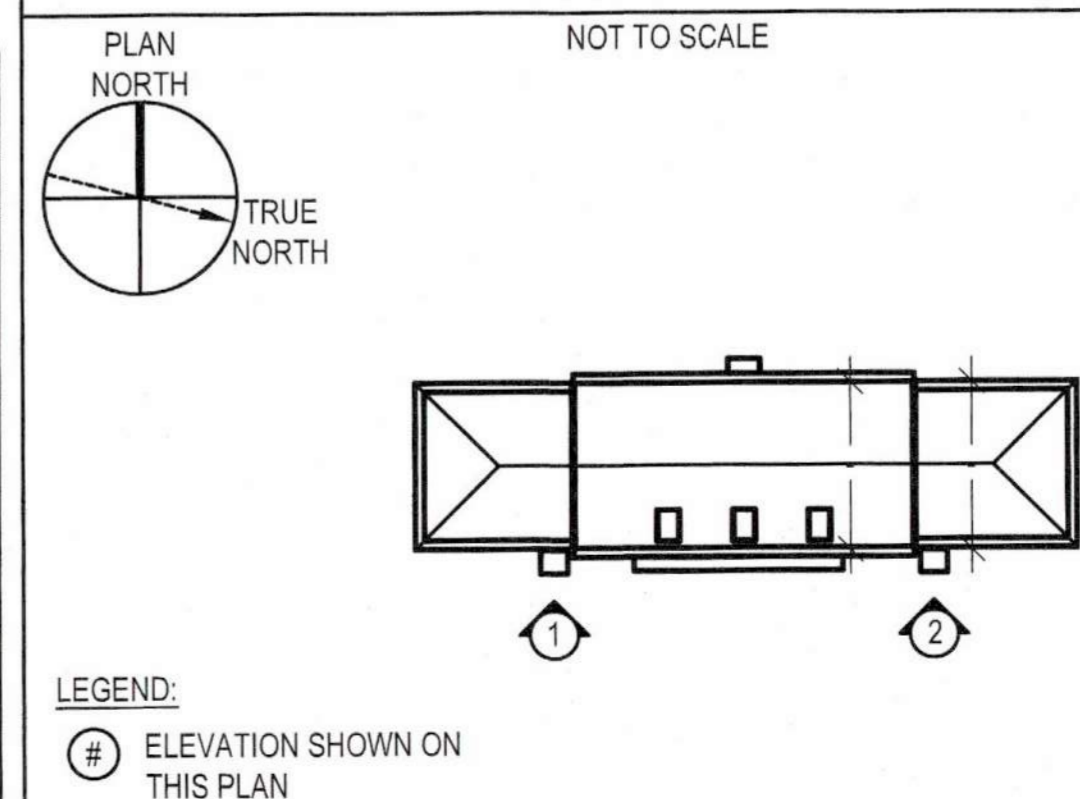


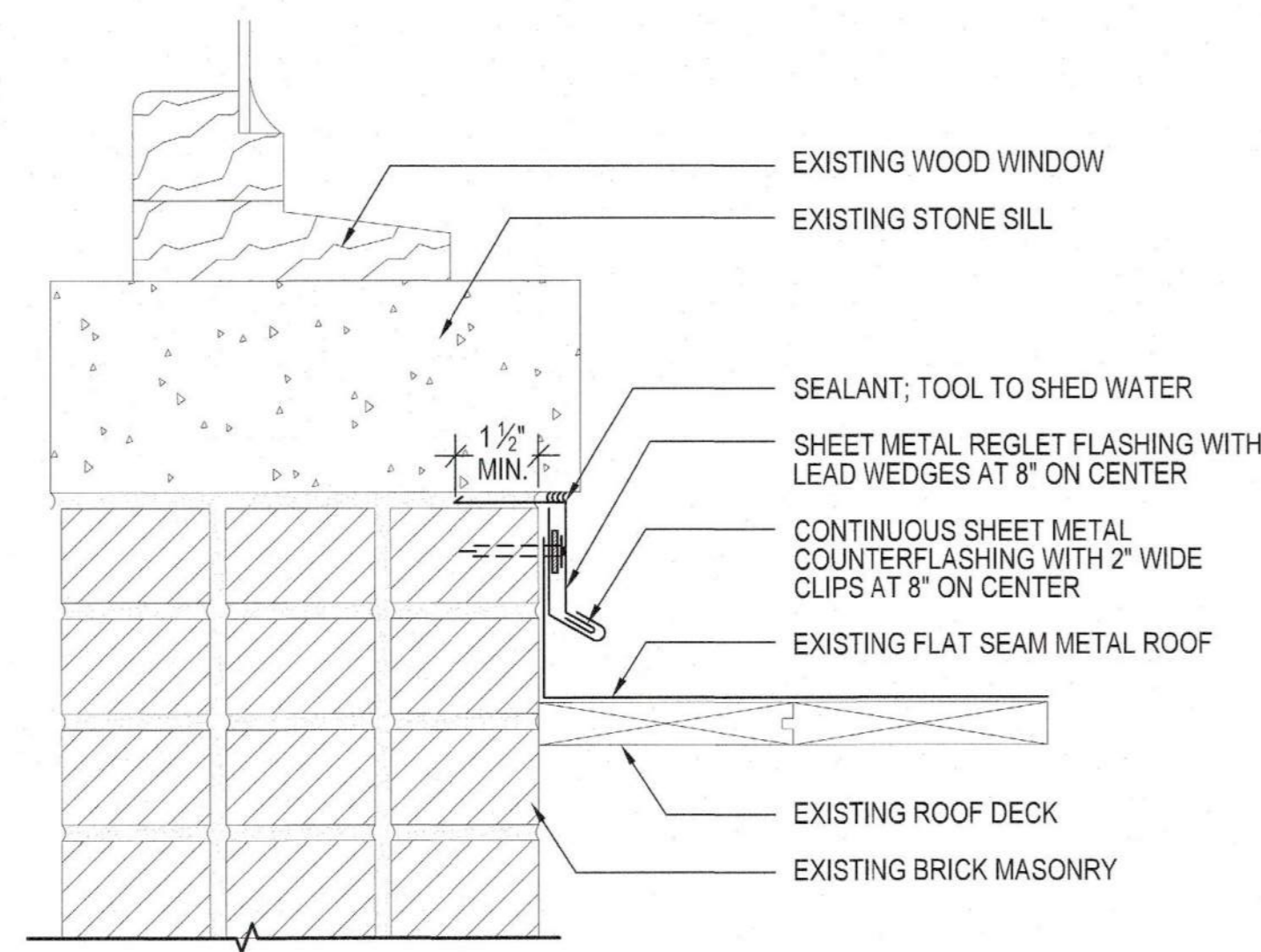
2 SOUTH STAIR ELEVATION  
A205 SCALE: NOT TO SCALE

ELEVATION NOTES

1. THE ELEVATIONS ARE PROVIDED TO SHOW APPROXIMATE QUANTITIES AND CONFIGURATIONS. THE ACTUAL SIZES AND CONFIGURATION WILL VARY FROM THOSE SHOWN. THE CONTRACTOR SHALL BASE THE BID AND CONTRACT AMOUNTS ON ACTUAL FIELD CONDITIONS.
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KEY PLAN



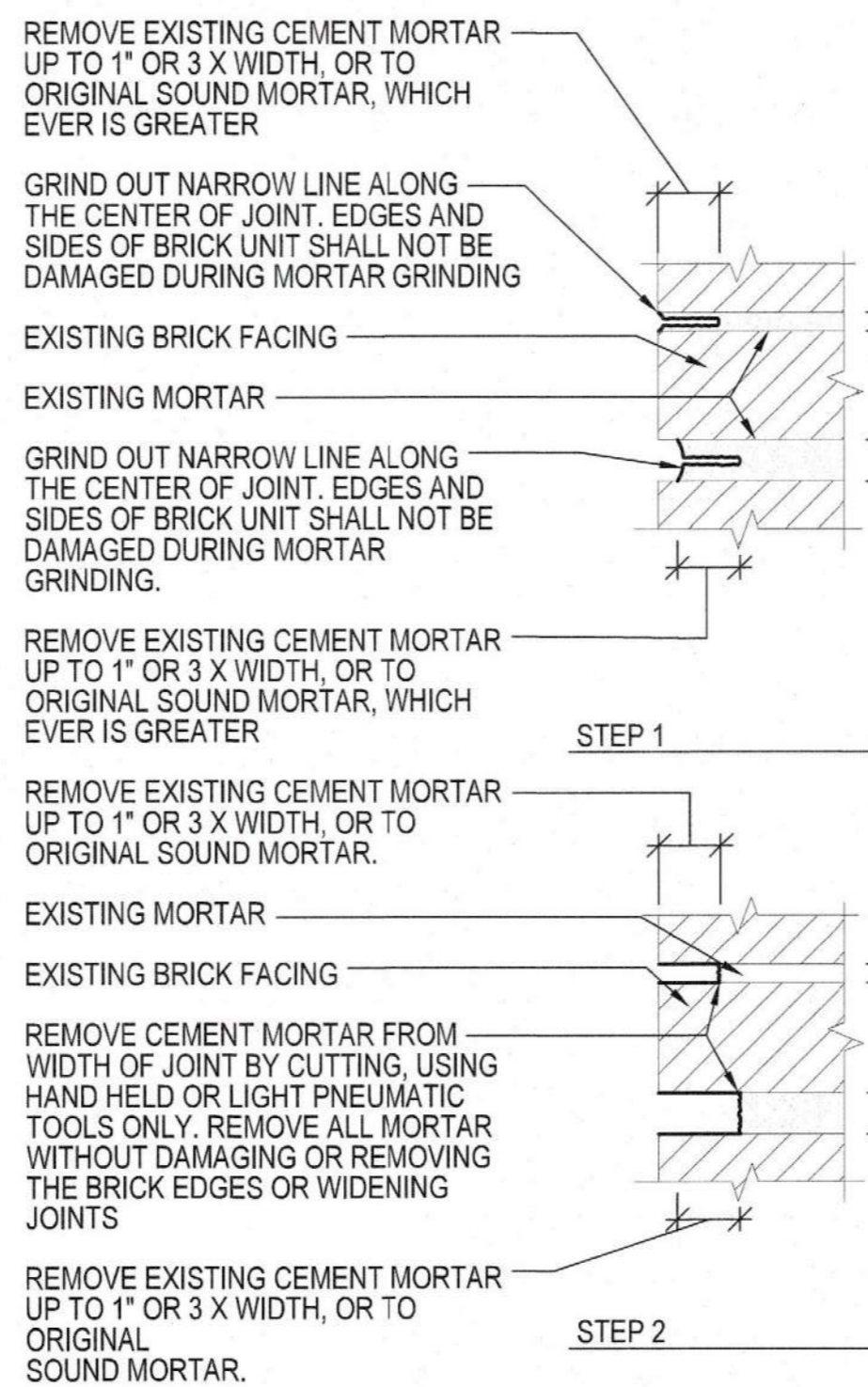


**1 REGLET FLASHING DETAIL TYPE 1**  
 A701 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

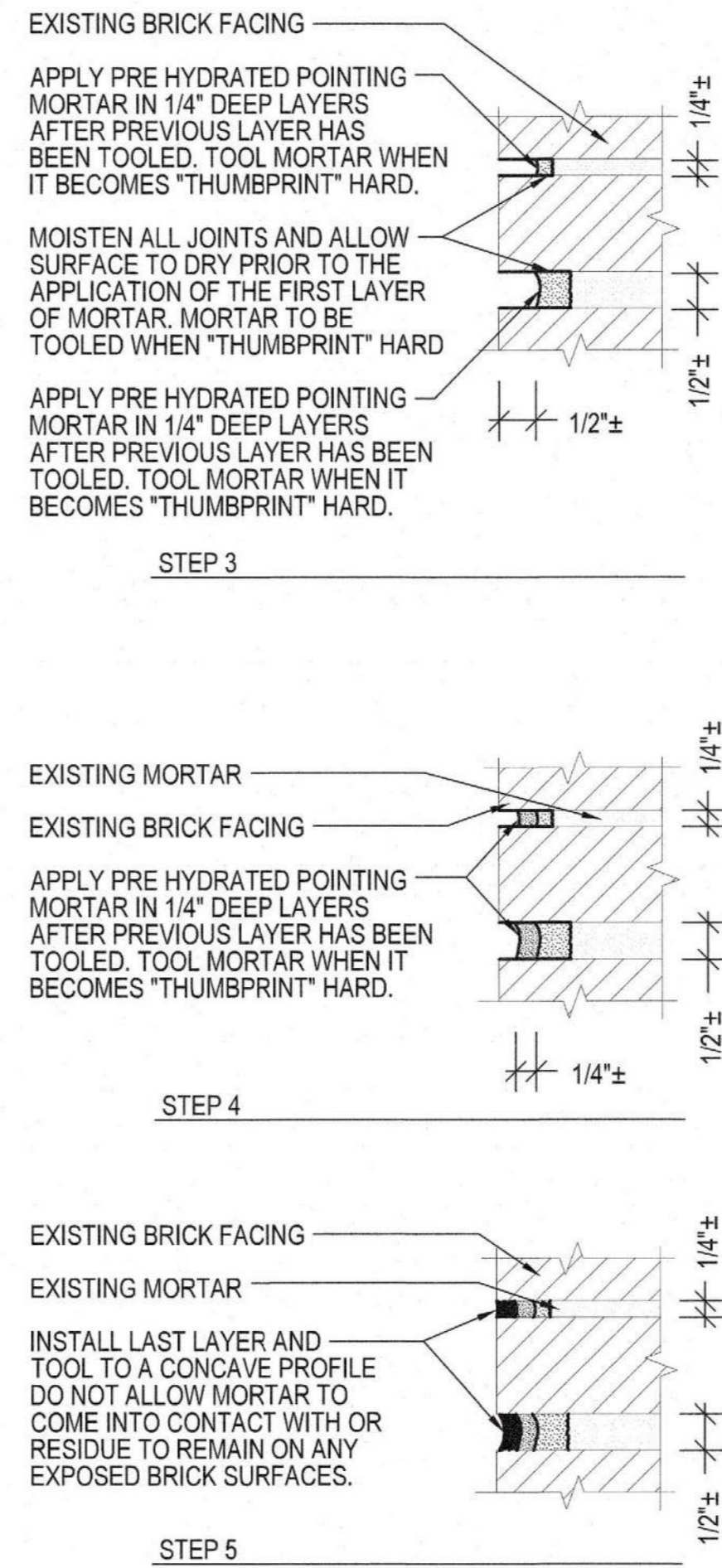


MORTAR COLOR VARIES ACROSS ELEVATION. COLOR TO BE SELECTED BY THE OWNER. COLOR PUCKS MAY BE REQUIRED FOR COMPARISON OF INDIVIDUAL AREAS.

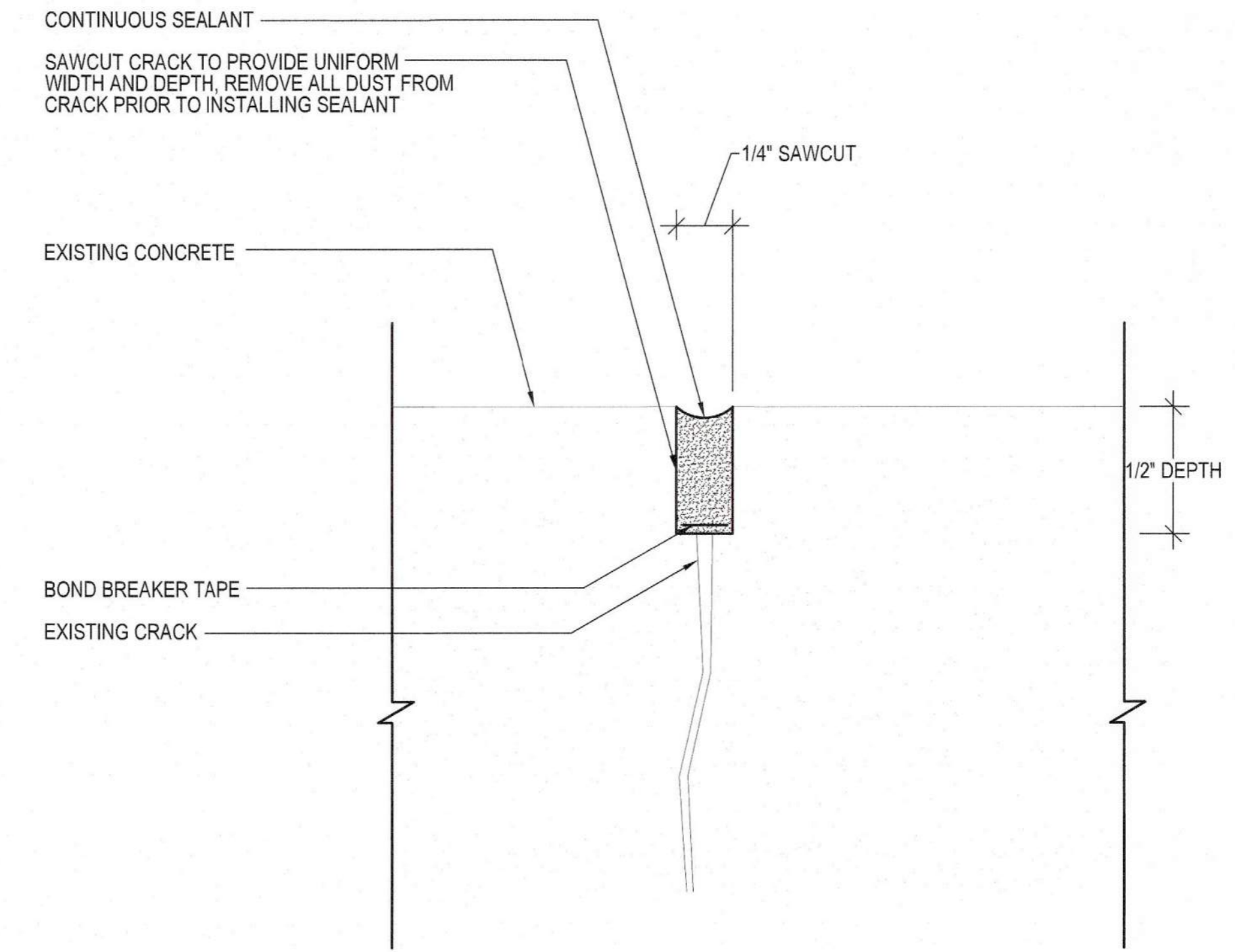
BRICK MASONRY IS TO BE SPOT REPOINTED. TOOL JOINTS TO MATCH THE EXISTING SURROUNDING JOINT PROFILES.



**2 TYPICAL REPOINTING DETAIL**  
 A701 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**3 TYPICAL ROUT AND SEAL DETAIL**  
 A701 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

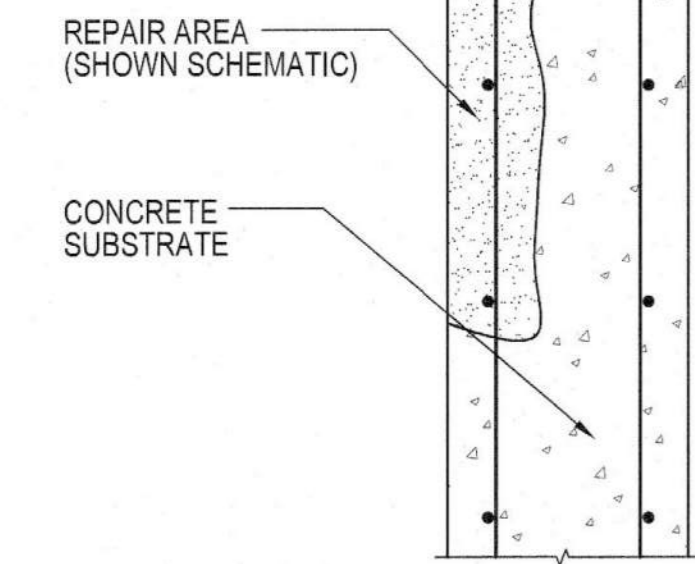


**6 TYPICAL CONCRETE STAIR TREAD REPAIR**  
 A701 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

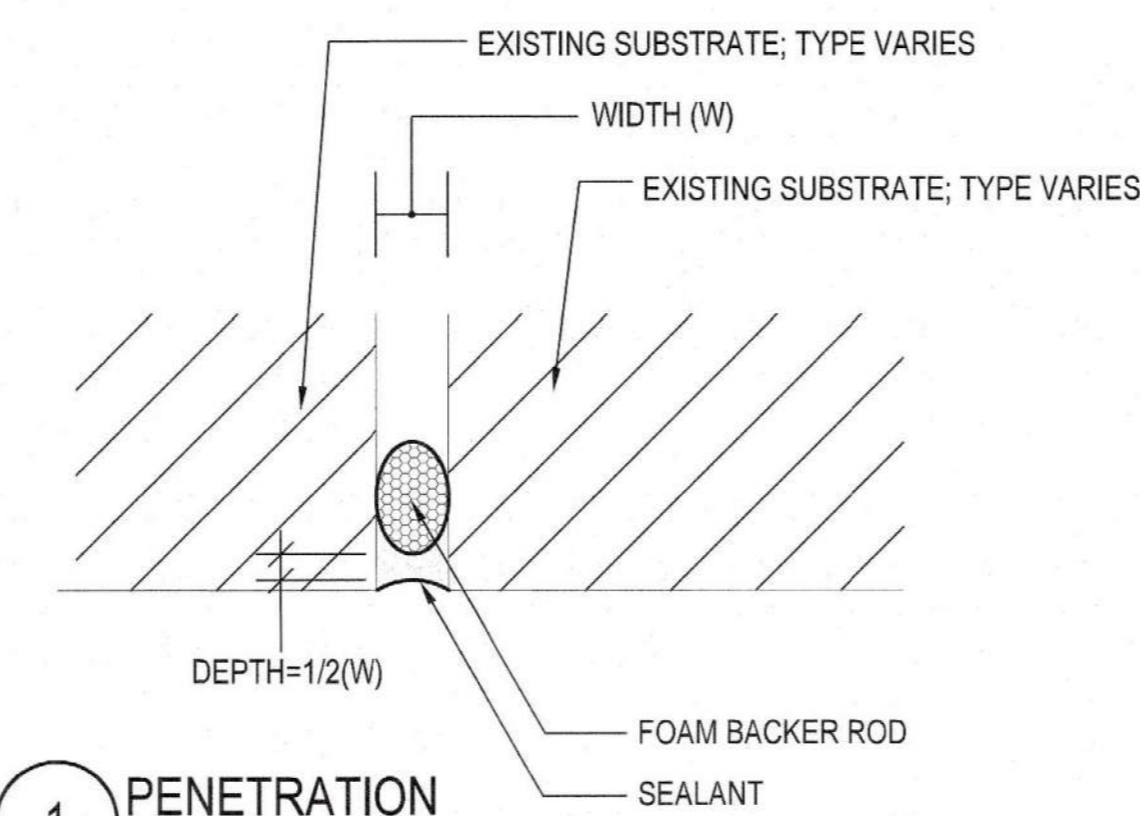


**GENERAL PROCEDURES FOR SPALL REPAIR**

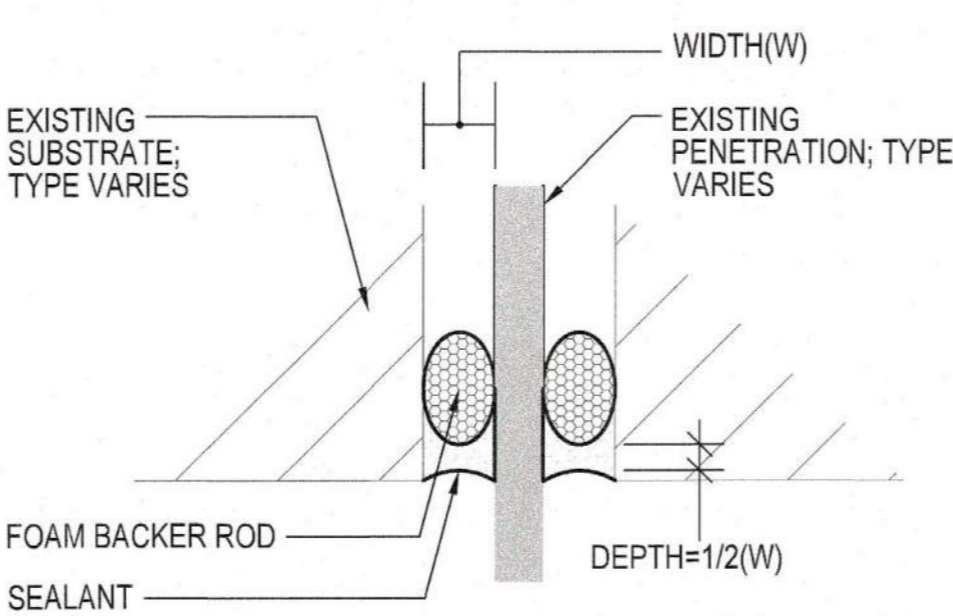
- BACK-ANGLE SAWCUT PERIMETER - POLYGON SHAPE (DO NOT CUT REINFORCEMENT).
- CHIP OUT ALL DETERIORATED CONCRETE, EXTENDING 3/4" MINIMUM AROUND REBAR (OR MINIMUM AGGREGATE SIZE, IF NECESSARY, AS INDICATED IN NOTES BELOW SECTION).
- CLEAN ALL EXPOSED REINFORCING STEEL TO BARE METAL CONDITION. (SSPC - SP11).
- REMOVE ADDITIONAL SUBSTRATE TO EXPOSE AND CLEAN CORRODED STEEL WHICH HAS SCALED RUST (BARS WITH ONLY LIGHT SURFACE RUST AND SOLID CONCRETE COVER MAY BE LEFT ALONE).
- EXAMINE REBAR AND DETERMINE SECTION LOSS. BARS WITH 25% OR GREATER LOSS SHALL RECEIVE SUPPLEMENTARY REINFORCEMENT. (REFER TO DETAIL). REMOVAL OF ADDITIONAL SOUND CONCRETE TO ALLOW PLACEMENT OF SUPPLEMENTAL STEEL SHALL NOT BE INCLUDED IN SPALL REPAIR QUANTITIES. EXAMINE SUBSTRATE FOR CRACKS. REFER TO CRACK REPAIR AS REQUIRED.
- SCARIFY SUBSTRATE TO 1/8" MINIMUM SURFACE PROFILE (ICRI-CSP 8 OR 9). WASH SUBSTRATE AND LEAVE SSD (SATURATED SURFACE DRY) CONDITION.
- APPLY EPOXY MODIFIED CEMENTITIOUS PRIMER/ BOND AGENT TO ALL CONCRETE SUBSTRATE (1 COAT) AND EMBEDDED STEEL OR REBAR (2 COATS).
- AT VERTICAL SPALLS WITH A DEPTH GREATER THAN 1-1/2", DRILL AND EPOXY 1/4" MIN. DIAMETER STAINLESS STEEL PINS INTO SUBSTRATE OF REPAIR AREA. MAINTAIN 2" MIN. EDGE DISTANCE FOR EACH PIN. SPACE PINS 6" O.C. EACH WAY. DRAPE PINS WITH 2" x 2" x 14 (MIN.) GAUGE STAINLESS STEEL OR EPOXY COATED WIRE MESH WITH 1-1/2" COVER. MESH IS REQUIRED AT EACH 1-1/2" DEPTH OF REPAIR. TIE ALL MESH TO EACH PIN. PINNING IS ALSO REQUIRED AT CORNER AND PANEL PERIMETER SPALL REPAIRS, REGARDLESS OF SPALL DEPTH.
- PREPARE SAMPLE OF REPAIR MORTAR FOR APPROVAL OF COLOR. ADJUST MIX UNTIL COLOR IS ACCEPTABLE. APPLY SPECIFIED REPAIR MORTAR AFTER BONDING AGENT TO ACHIEVE A "WET-ON-WET" APPLICATION.
- WHERE CORRODED STEEL IS EVIDENT, OR WHEN MORE THAN HALF OF THE REBAR DIAMETER IS EXPOSED, SUBSTRATE SHALL BE CHIPPED 3/4" MINIMUM TO 1-1/2" MAXIMUM BEHIND REBAR.
- CONCRETE SECTION SHOWN SCHEMATICALLY.



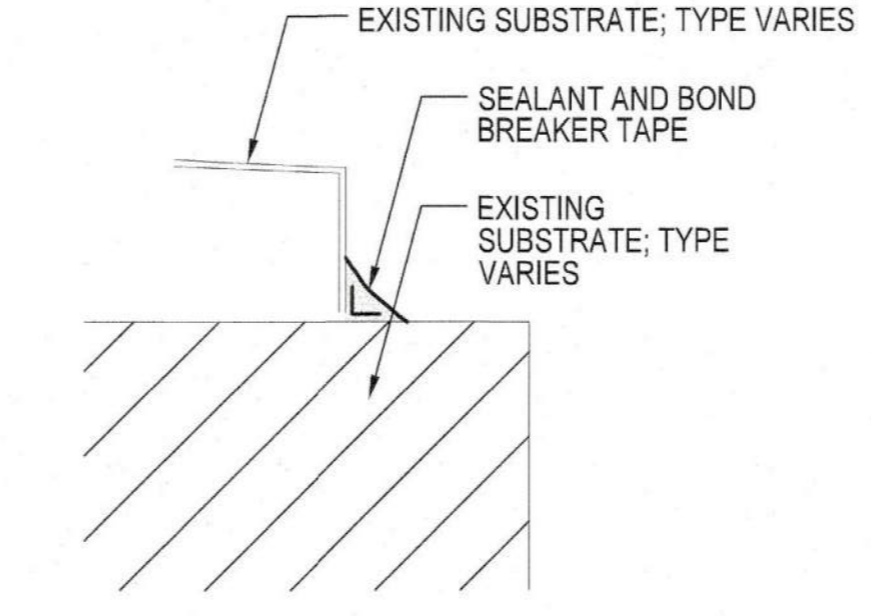
**4 TYPICAL SPALL REPAIR**  
 A701 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**1 PENETRATION**  
 A701 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

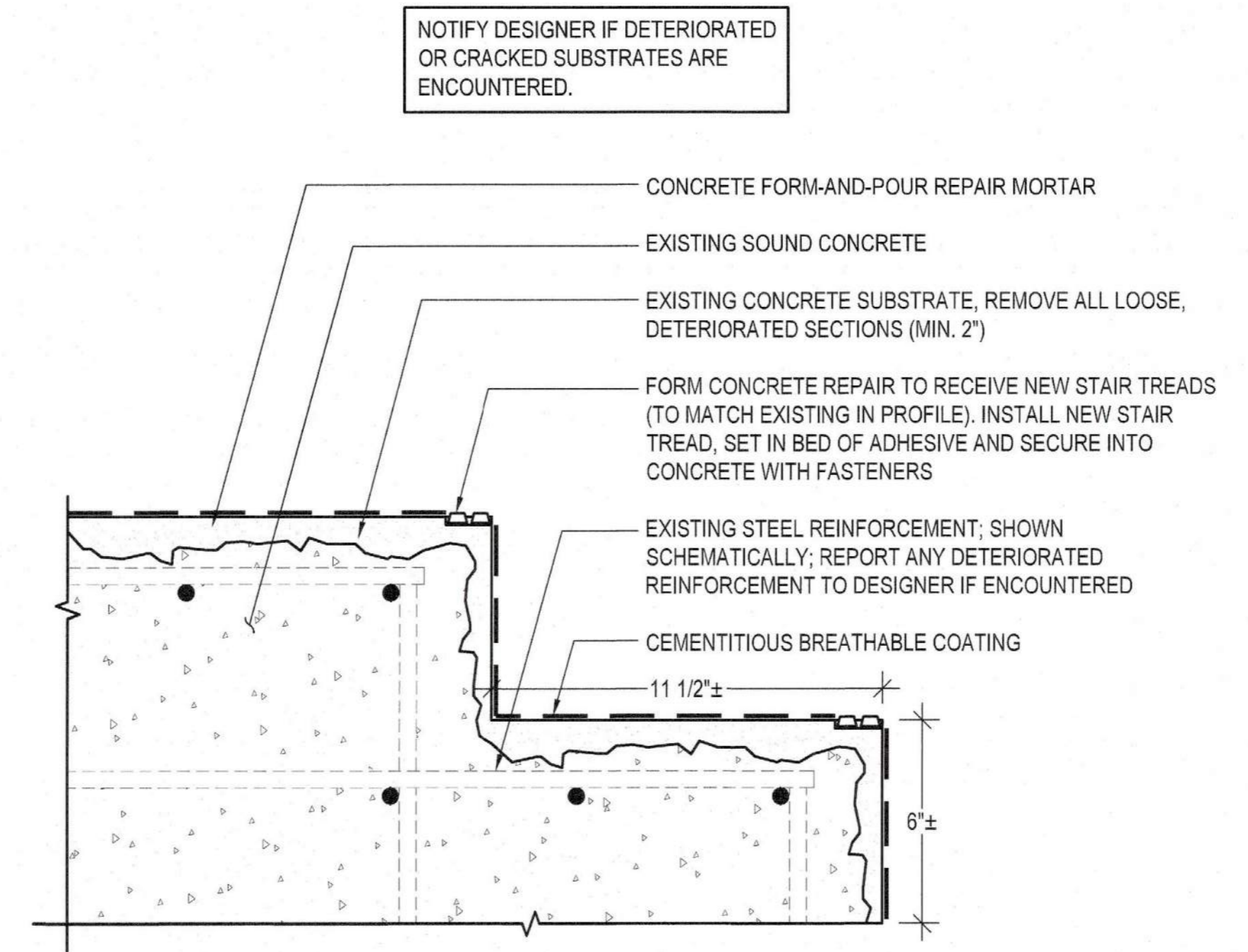


**3 PIPE PENETRATION SEALANT**  
 A701 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**2 FILLET**  
 A701 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

**5 TYPICAL SEALANT JOINTS**  
 A701 SCALE: NOT TO SCALE  
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NOTIFY DESIGNER IF DETERIORATED OR CRACKED SUBSTRATES ARE ENCOUNTERED.

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**FOR CONSTRUCTION**

PROJECT  
**BUILDING ENVELOPE REPAIRS AT THE IF&W BUILDING DOROTHEA DIX PSYCHIATRIC CENTER CAMPUS BANGOR, ME 04401**

OWNER  
 HARRIMAN ASSOCIATES  
 80 EXCHANGE STREET, 3RD FLOOR  
 PORTLAND, ME 04101

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839940		
CADD FILE	839940 A700s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/CM/JFL		
DATE	12/4/2023		
DRAWING SCALE	AS NOTED		
GRAPHIC SCALE			

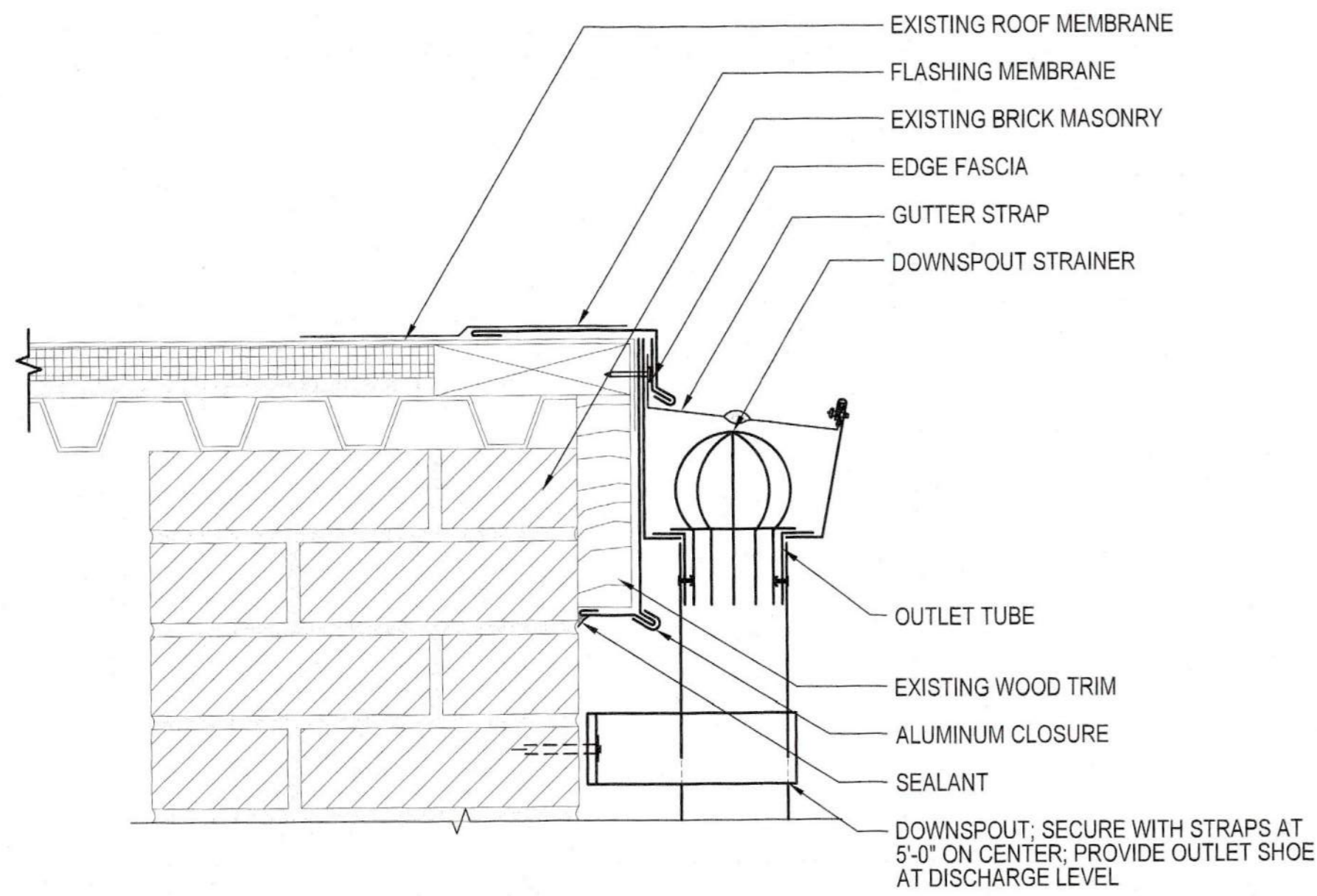
SHEET TITLE  
**DETAILS**

DRAWING NO.  
**A701**

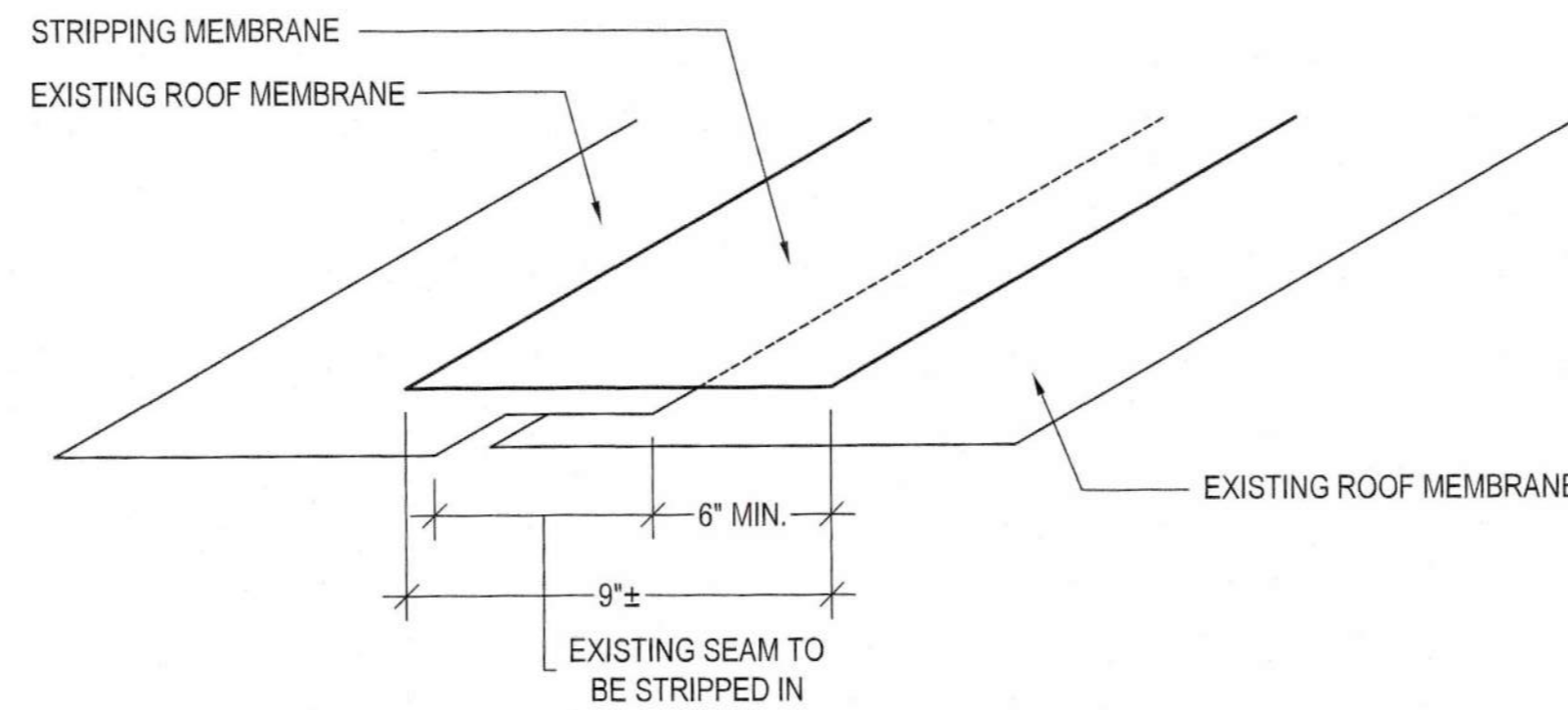
STATE OF MAINE  
 Jon F. Lindberg  
 5044  
 LICENSED PROFESSIONAL ENGINEER



NOTE: EXISTING ROOF SYSTEM IS SHOWN SCHEMATICALLY AND MAY NOT REFLECT EXISTING CONDITIONS. CONTRACTOR TO VERIFY ROOF ASSEMBLY.

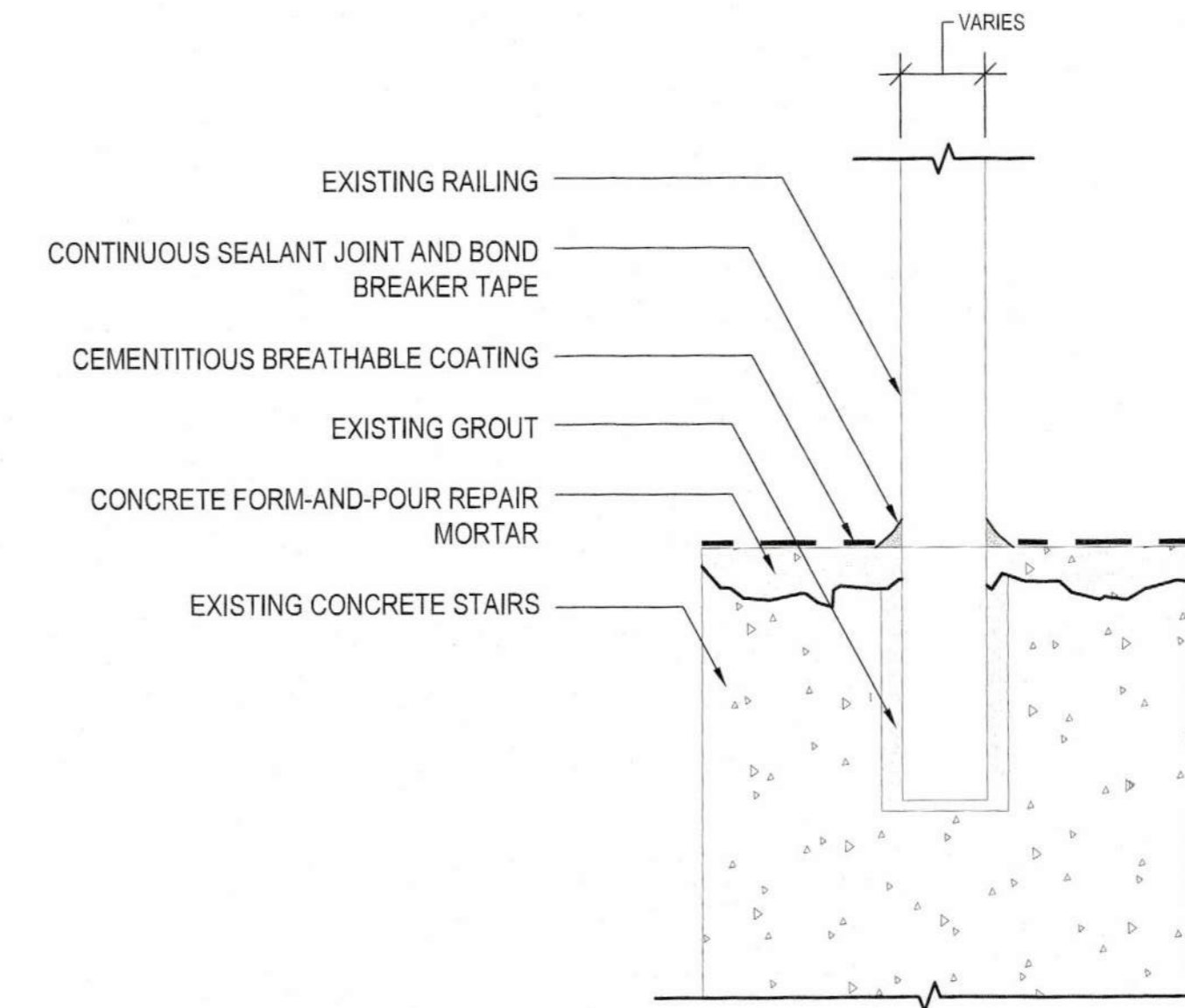


**7 ROOF GUTTER DETAIL**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



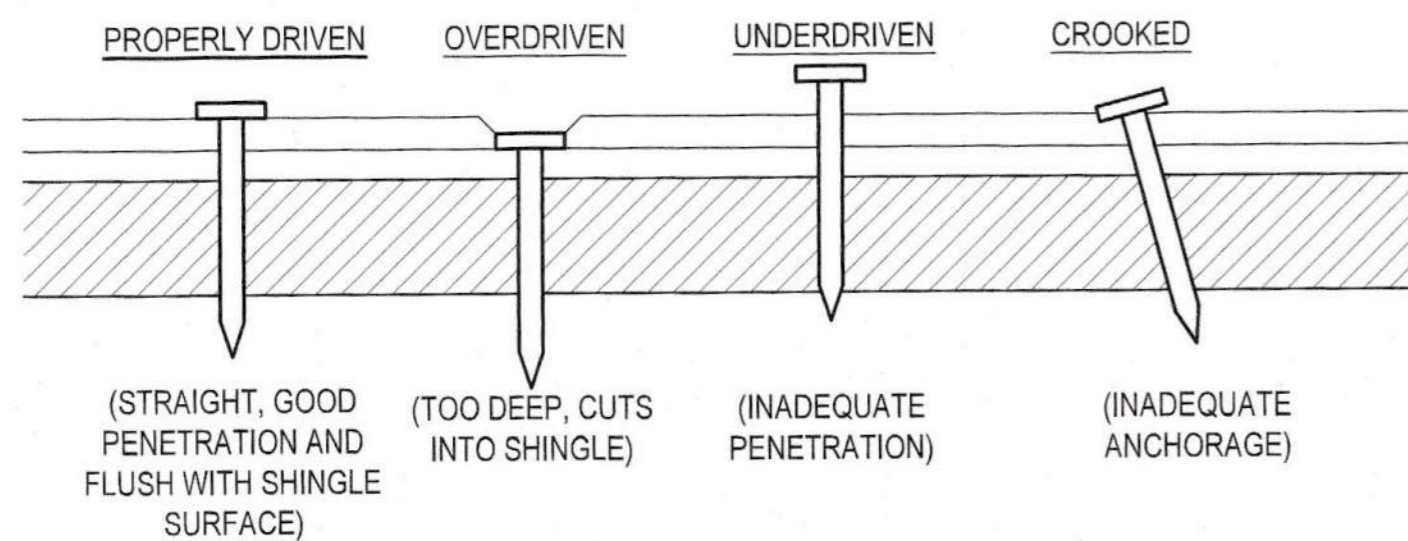
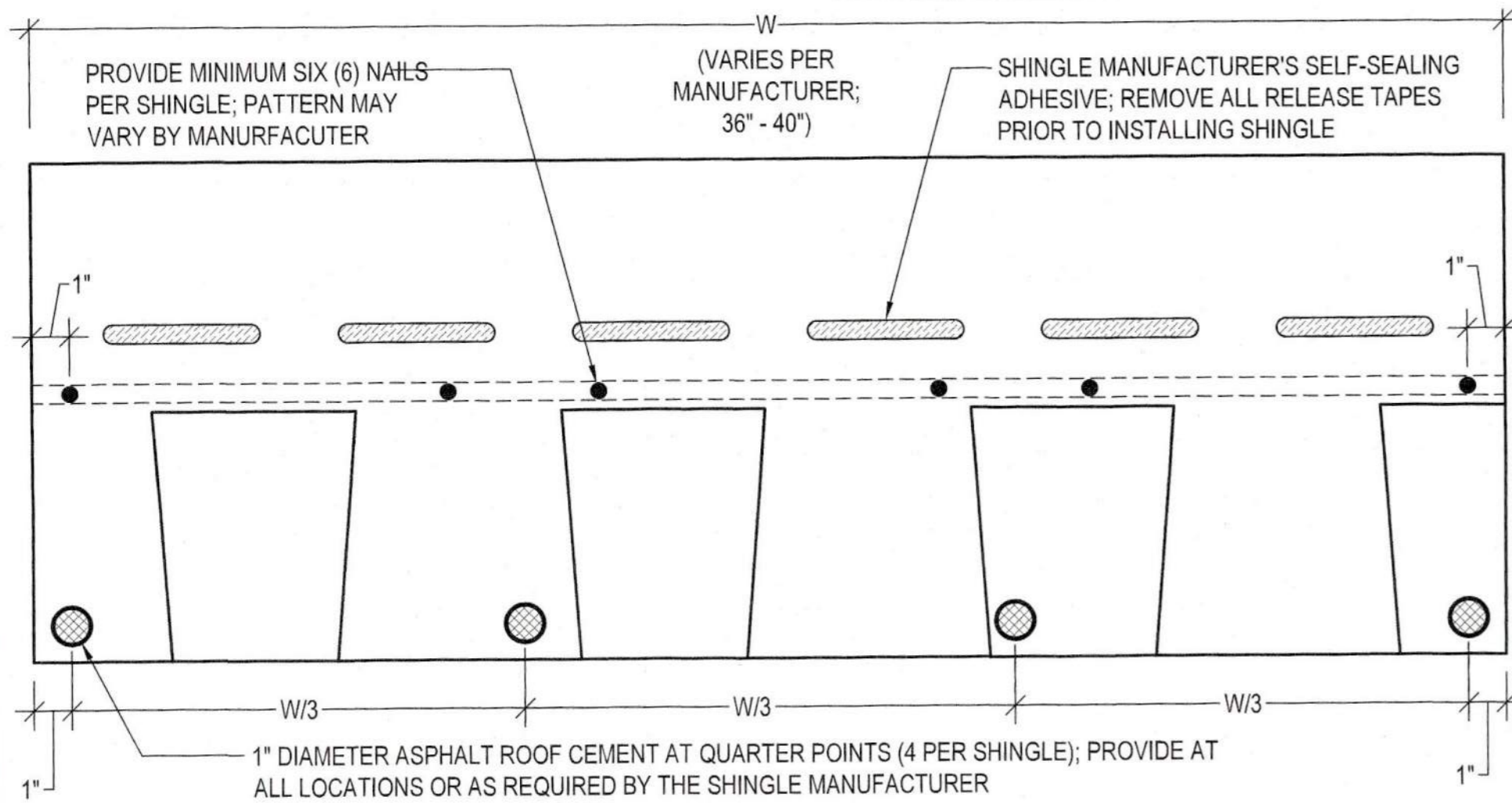
**8 TYPICAL STRIPPING MEMBRANE DETAIL**  
 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

THIS DETAIL SHALL BE UTILIZED AT ALL EMBEDDED RAIL BASE PENETRATIONS.



**9 TYPICAL RAILING BASE REPAIR**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

NOTE: THIS DETAIL IS NOT CALLED OUT ON THE PLANS BUT SHOULD BE UNDERSTOOD FOR THE NEW ASPHALT SHINGLE INSTALLATION LOCATIONS AT SPOT REPAIRS.



**10 TYPICAL ASPHALT SHINGLE FASTENING**  
 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



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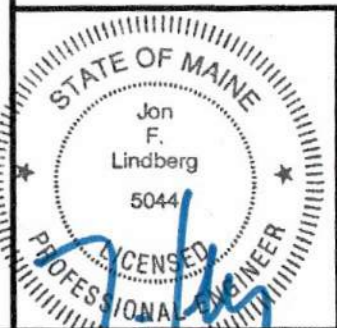
PROJECT  
**BUILDING ENVELOPE REPAIRS AT THE IF&W BUILDING AT DOROTHEA DIX PSYCHIATRIC CENTER CAMPUS BANGOR, ME 04401**  
 OWNER  
 HARRIMAN ASSOCIATES  
 80 EXCHANGE STREET, 3RD FLOOR  
 PORTLAND, ME 04101

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	839940		
CADD FILE	839940 A700s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/CM/JFL		
DATE	12/4/2023		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

SHEET TITLE

**DETAILS**



DRAWING NO.

**A702**