



**ADDENDUM NO. 1**

**2309 / DMR PAVING**

Lewis + Malm Architecture

**04MAAR2024**

This Addendum forms a part of the contract documents. It modifies them as follows:

**DISCIPLINES:** FRONT END SPECS & CIVIL

**CLARIFICATIONS:**

**Advertisement** See "Notice to Contractors Request for Bids" by Email attached to this Addendum (Original newspaper advertisement ran with incorrect bid type/location).

**Alternates 3,4 & 5** These three Alternate bid items are now part of the Base Bid.

**DRAWINGS:**

- C-2 DELETE in its entirety.
- C-2 ADD revised drawing** attached to this Addendum.
- C-3 DELETE in its entirety.
- C-3 ADD revised drawing** attached to this Addendum.

**SPECIFICATIONS:**

- 00 41 13 DELETE in its entirety.
- 00 41 13 ADD revised Contractor Bid Form** attached to this Addendum.
- 01 10 00 DELETE in its entirety.
- 01 10 00 ADD revised Summary** section attached to this Addendum.
- 01 23 00 DELETE in its entirety.
- 01 23 00 ADD revised Alternates** section attached to this Addendum.

**ATTACHMENTS:**

- Advertisement Notice to Contractors Request for Bids by Email
- C-2 & C-3 Site Plans
- 00 41 13 Contractor Bid Form (Revised)
- 01 10 00 Summary (Revised)
- 01 23 00 Alternates (Revised)

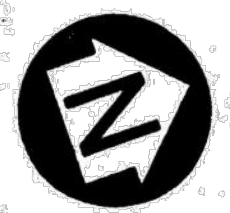
END OF ADDENDUM NO. 1

NOTICE TO CONTRACTORS AND SUBCONTRACTORS  
REQUEST FOR BIDS

The Maine Department of Marine Resources is conducting a competitive bid process for the Boothbay Harbor Laboratory Public Parking Improvements Project at the DMR Campus in West Boothbay Harbor, Maine. Email Bids are due no later than 2:00 p.m. on Thursday, 14 March, 2024.

The renovation project includes civil works (HMA removals & repaving).

The detailed Notice to Contractors and Subcontractors is on the Bureau of General Services website: <https://www.maine.gov/dafs/bgs/business-opportunities#invitationforbid>



MATCH LINE C-3

NOTES

1. BASE MAP IS DERIVED FROM MCKOWN POINT MARINE RESEARCH FACILITY BID ISSUE DRAWINGS DATED NOVEMBER 11, 1991 ISSUED BY CAMBRIDGE SEVEN ASSOCIATES INC. MINOR CHANGES TO THE BASE MAP HAVE BEEN MADE BASED ON OBSERVATIONS AT A SITE VISIT ON SEPTEMBER 8, 2023. CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS.
2. EXISTING PAVEMENT SHALL BE COLD-PLANED PER DETAIL 1/D-1 AND AT ALL LOCATIONS TO PROVIDE 1% MIN. DRAINAGE AND TO PREVENT PONDING. ENGINEER TO REVIEW BEFORE PAVING.
3. ALL UTILITY FRAMES, VALVE BOXES AND WATER SHUT-OFFS SHALL BE RESET TO GRADE BEFORE PAVING.
4. ALTERNATE #3 - 1000 LF CRACK SEALING (SEE SPECIFICATION SECTION 012300) BASE BID SHALL INCLUDE 1000 LF CRACK SEALING.
5. ALTERNATE #4 - 80 CY BASE REMOVAL AND REPLACEMENT (SEE SPECIFICATION SECTION 012300) BASE BID SHALL INCLUDE 25 CY BASE MATERIAL REMOVAL AND REPLACEMENT PER DETAIL 2/D-1.
6. ALTERNATE #5 - 160 SY ASPHALT PAVEMENT SECTION REMOVAL & REPLACEMENT (SEE SPECIFICATION SECTION 012300)



119 MAIN STREET, SUITE C  
BUCKSPORT, MAINE 04416  
(207) 469-7440



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REVISIONS	REVISION DESCRIPTION	DATE	NUMBER
BY			
	ADDENDUM 01 BASE MAP LEGEND REMOVED	03/04/2024	1

MAINE DEPARTMENT OF  
MARINE RESOURCES

21 STATE HOUSE  
STATION  
AUGUSTA, MAINE 04333

ASPHALT PAVEMENT  
REHABILITATION



MAINE DEPARTMENT  
OF MARINE RESOURCES  
194 MCKOWN POINT RD.  
W. BOOTHBAY, MAINE

SHEET TITLE

SITE PLAN

BGS PROJECT # | PROJ. ENG.  
3683 | JSK

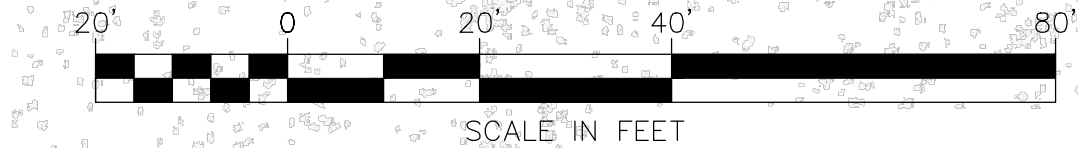
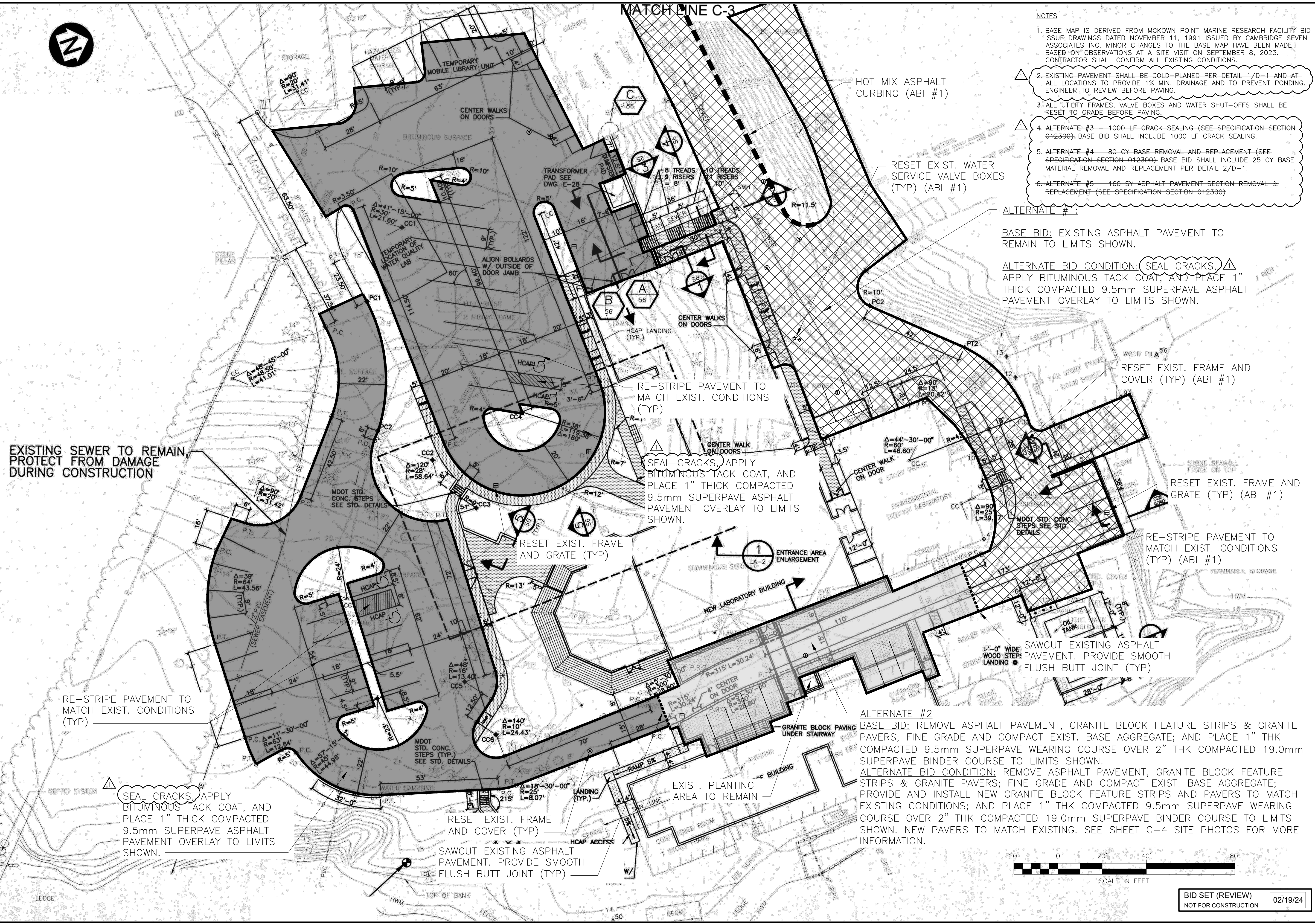
D&K PROJECT #  
229319

DATE  
FEBRUARY, 2024

SHEET NUMBER

C-2

SHEET: 4 of 6



BID SET (REVIEW)  
NOT FOR CONSTRUCTION  
02/19/24

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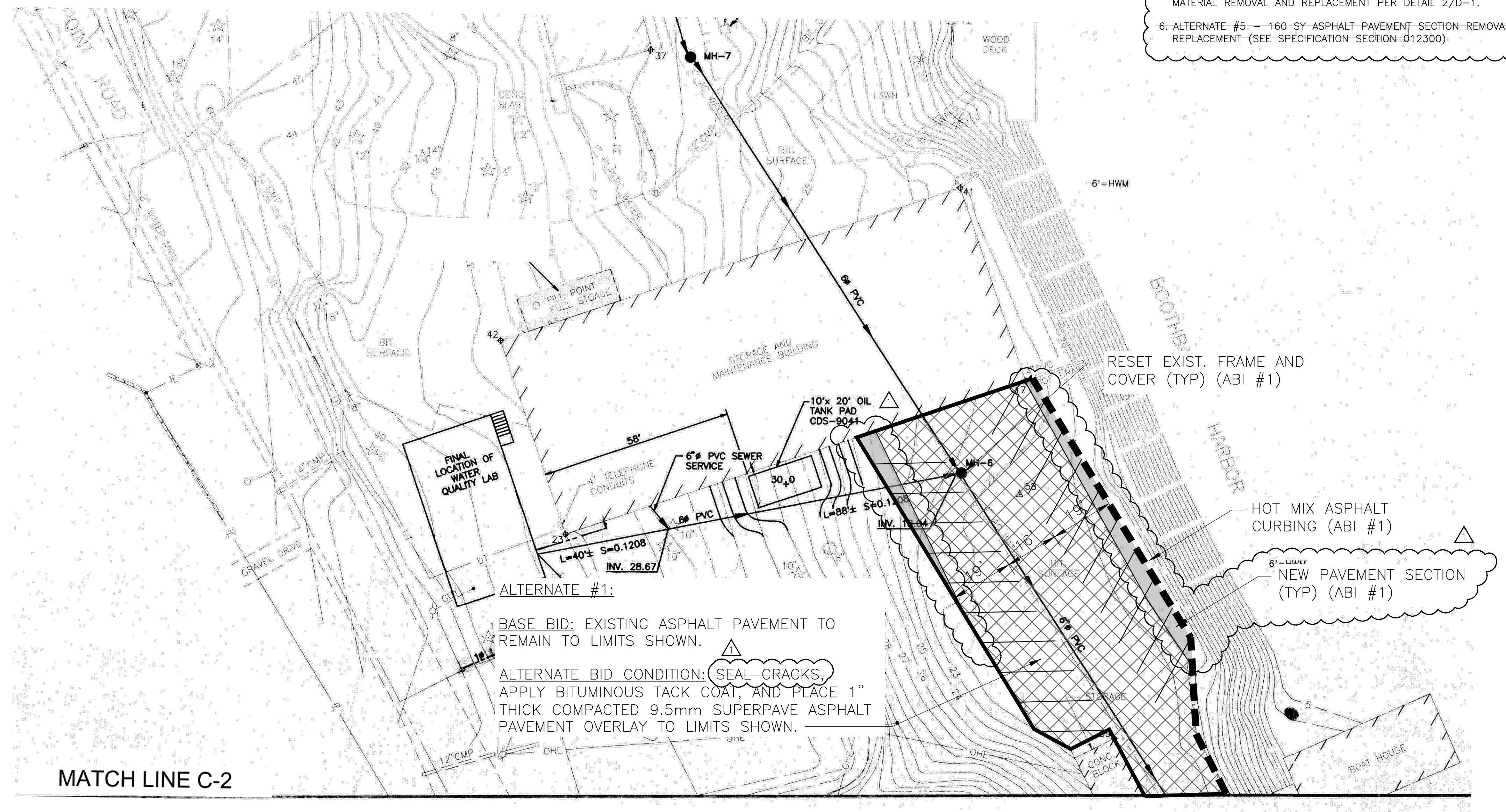
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NOTES

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2. EXISTING PAVEMENT SHALL BE COLD-PLANED PER DETAIL 1/D-1 AND AT ALL LOCATIONS TO PROVIDE 1% MIN. DRAINAGE AND TO PREVENT PONDING. ENGINEER TO REVIEW BEFORE PAVING.
3. ALL UTILITY FRAMES, VALVE BOXES AND WATER SHUT-OFFS SHALL BE RESET TO GRADE BEFORE PAVING.
4. ALTERNATE #3 — 1000 LF CRACK SEALING (SEE SPECIFICATION SECTION 012300) BASE BID SHALL INCLUDE 1000 LF CRACK SEALING.
5. ALTERNATE #4 — 80 CY BASE REMOVAL AND REPLACEMENT (SEE SPECIFICATION SECTION 012300) BASE BID SHALL INCLUDE 25 CY BASE MATERIAL REMOVAL AND REPLACEMENT PER DETAIL 2/D-1.
6. ALTERNATE #5 — 160 SY ASPHALT PAVEMENT SECTION REMOVAL & REPLACEMENT (SEE SPECIFICATION SECTION 012300)



MATCH LINE C-2

ALTERNATE #1:  
 BASE BID: EXISTING ASPHALT PAVEMENT TO REMAIN TO LIMITS SHOWN.  
 ALTERNATE BID CONDITION: SEAL CRACKS, APPLY BITUMINOUS TACK COAT, AND PLACE 1" THICK COMPACTED 9.5mm SUPERPAVE ASPHALT PAVEMENT OVERLAY TO LIMITS SHOWN.

RESET EXIST. FRAME AND COVER (TYP) (ABI #1)  
 HOT MIX ASPHALT CURBING (ABI #1)  
 NEW PAVEMENT SECTION (TYP) (ABI #1)



BID SET (REVIEW)  
 NOT FOR CONSTRUCTION  
 02/19/24

REVISIONS	BY	DATE	REVISION DESCRIPTION
1		02/04/2024	ADDENDUM 01 BASE MAP LEGEND REMOVED

MAINE DEPARTMENT OF MARINE RESOURCES

21 STATE HOUSE STATION  
AUGUSTA, MAINE 04333

ASPHALT PAVEMENT REHABILITATION



MAINE DEPARTMENT OF MARINE RESOURCES  
194 MCKOWN POINT RD.  
W. BOOTHBAY, MAINE

SHEET TITLE

SITE PLAN

BGS PROJECT # 3683 PROJ. ENG. JSK

D&K PROJECT # 229319

DATE FEBRUARY, 2024

SHEET NUMBER

C-3

SHEET: 5 of 6

I:\2\229319 L&M - Boothbay Paving Drawings\Civil\DMR Paving.dwg 3/1/2024 2:34 PM

**00 41 13  
Contractor Bid Form**

**Boothbay Harbor Laboratory Public Parking Improvements Project**  
BGS project number 3683 / LMA project number 2309

Bid Form submitted by: *email only to email address below*

Bid Administrator:

EMAIL COMPLETED BIDS & ATTACHMENTS BY NO LATER THAN  
2:00 PM ON THURSDAY, 14 MARCH, 2024 TO:

BGS.Architect@Maine.gov  
Deane Rykerson  
Project Manager, Division of Planning, Design & Construction

Bidder:

Signature: \_\_\_\_\_

Printed name and  
title: \_\_\_\_\_

Company name: \_\_\_\_\_

Mailing address: \_\_\_\_\_

City, state, zip code: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email address: \_\_\_\_\_

State of  
incorporation,  
if a corporation: \_\_\_\_\_

List of all partners,  
if a partnership: \_\_\_\_\_

The Bidder agrees, if the Owner offers to award the contract, to provide any and all bonds and certificates of insurance, as well as Schedule of Values, Project Schedule, and List of Subcontractors and Suppliers if required by the Owner, and to sign the designated Construction Contract within twelve calendar days after the date of notification of such acceptance, except if the twelfth day falls on a State of Maine government holiday or other closure day, or a Saturday, or a Sunday, in which case the

**00 41 13  
Contractor Bid Form**

aforementioned documents must be received before 12:00 noon on the first available business day following the holiday, other closure day, Saturday, or Sunday.

As a guarantee thereof, the Bidder submits, together with this bid, a bid bond or other acceptable instrument as and if required by the Bid Documents.

**00 41 13  
Contractor Bid Form**

1. The Bidder, having carefully examined the Boothbay Harbor Laboratory Public Parking Improvements Project Project Manual dated 19 February, 2024, prepared by Lewis + Malm Architecture and Dubois + King, Inc., as well as Specifications, Drawings, and any Addenda, the form of contract, and the premises and conditions relating to the work, proposes to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this project for the **Base Bid** amount of:

\$ \_\_\_\_\_ .00

2. Allowances *are included* on this project.  
*Bid amount above includes the following Allowances*  
*Refer to SECTION 01 23 00 ALLOWANCES for details*

\$ 5,000.00

3. Alternate Bids *are included* on this project.  
*Alternate Bids are as shown below*

Any dollar amount line below that is left blank by the Bidder shall be read as a bid of **\$0.00**.

1 *Alternate #1: OVERLAY EXISTING ASPHALT PAVEMENT* \$ \_\_\_\_\_ .00

2 *Alternate #2: RESET GRANITE BLOCK FEATURES* \$ \_\_\_\_\_ .00

3 *NOT USED* \$ \_\_\_\_\_ .00

4 *NOT USED* \$ \_\_\_\_\_ .00

4. Bid security *is required* on this project.  
If noted above as required, or if the Base Bid amount exceeds \$125,000.00, the Bidder shall include with this bid form a satisfactory Bid Bond (section 00 43 13) or a certified or cashier's check for 5% of the bid amount with this completed bid form submitted to the Owner.

5. Filed Sub-bids *are not required* on this project.  
If noted above as required, the Bidder shall include with this bid form a list of each Filed Sub-bidder selected by the Bidder on the form provided (section 00 41 13F).

## SECTION 011000 - SUMMARY

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section includes:

1. Project information.
2. Work covered by Contract Documents.
3. Start of construction.
4. Work by Owner.
5. Work under separate contracts.
6. Future work.
7. Purchase contracts.
8. Owner-furnished products.
9. General Contractor-furnished, Owner-installed products.
10. Access to site.
11. Coordination with occupants.
12. Work restrictions.
13. Specification and drawing conventions.

- B. Related Section:

1. Division 01 Section "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities, if applicable.

#### 1.3 PROJECT INFORMATION

- A. Project Identification:

1. BGS project #3683 / Architect project #2309 / Dubois + King project #229319
2. Project Location: Maine Department of Marine Resources (DMR), 194 McKown Point Road, in West Boothbay Harbor, Maine 04575.

- B. Owner: State of Maine.



- C. Architect: Lewis + Malm Architecture (LMA), 119 Main Street, Suite C, PO Box 1459, Bucksport, ME 04416. Tel: 207.469.7440, Cell: 207.659.6683 (Charles Earley), Cell: 207.356.8369 (Jim Tatgenhorst).
- D. Civil Engineer: Dubois & King, Bangor, ME, John Kenney (Consultant to LMA).
- E. General Contractor (Paving Contractor): To be determined by public bid. The term General Contractor (GC) is synonymous with Paving Contractor.

#### 1.4 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Work of the Project is defined by the Contract Documents and involves all safety measures, protection, removals, new construction and installations. Project Description: Grinding and repaving of the DMR campus roadways & parking lots broken down into a Base Bid primary project area and Alternate Bid Items for secondary project areas. Project scope includes: Grinding and removal of existing asphalt paving, removal, salvage of some existing granite pavers, some base coat and granite curb repairwork, resetting of existing roadway installations, preparations for and execution of topcoat repaving, painted linework and some alternate bid items for select paving areas and new granite pavers (basic decorative layout).
- B. Type of Contract: The Project will be constructed under a single prime contract based on State of Maine norms.

#### 1.5 START OF CONSTRUCTION

- A. The General Contractor mobilization may begin at Letter of Award, followed by contract signing. Existing project scope areas are as indicated.

- B. The General Contractor shall understand that the project involves an important function of the Owner's business and public purpose and therefore the General Contractor shall provide the necessary administrative process, manpower, activities and sense of urgency that will enable the project to be substantially complete, with certificate of occupancy from local authorities having jurisdiction, by no later than Friday 31 May, 2024.

#### 1.6 REMOVAL MATERIALS

- A. The General Contractor is advised that the Owner has determined that all debris resulting from removals performed by the General Contractor and/or his Sub-Contractors must be completely removed from the campus property.
- B. It is absolutely prohibited to deposit any removal or construction debris on the campus property.

#### 1.7 WORK BY OWNER

- A. General: Cooperate fully with Owner so work may be carried out smoothly, without interfering with or delaying work under this Contract or work by Owner. Coordinate the Work of this Contract with work performed by Owner.
- B. The General Contractor is responsible to coordinate with Owner and allow ample time in construction schedule to allow construction to progress smoothly without delaying the work.

#### 1.8 WORK UNDER SEPARATE CONTRACTS

- A. General: Cooperate fully with separate General Contractors so work on those contracts may be carried out smoothly, without interfering with or delaying work under this Contract or other contracts. Coordinate the Work of this Contract with work performed under separate contracts.
- B. Concurrent Work: The Owner will award a separate contract for the following construction operations in the Project Building & Project Scope Areas. Those operations will be conducted prior to the start of the General Contractor's work under this Contract.
  - 1. None.

#### 1.9 CONTRACTOR SUPPLIED / CONTRACTOR INSTALLED PRODUCTS (CS/CI)

- A. The General Contractor will furnish products indicated. The Work includes receiving, unloading, handling, storing, protecting, and installing Contractor-furnished products.
- B. This article defines responsibilities of Contractor-Supplied / Contractor Installed (CS/CI) Products:
  - 1. All works indicated and specified.
  - 2. All Alternate Bid Items (if accepted by the Owner after the BID), as specified.

1.10 OTHER SALVAGED ITEMS

- A. This article defines the responsibilities of the General Contractor of other salvaged items.
  - 1. Existing granite pavers indicated to be removed and taken from the project site by the General Contractor represent a value that shall be reflected in the General Contractor's base bid pricing.

1.11 ACCESS TO SITE

- A. General: The General Contractor shall have limited use of Project site for construction operations.
- B. Use of Site: Limit use of Project site to areas within the Contract limits indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
  - 1. Driveways & Walkways: The General Contractor is responsible to maintain all driveway & walkway surfaces during construction, do not impede automobile & pedestrian traffic. Refill any depressions causing standing water. Coordinate parking for staff and all sub-General Contractors with Owner and Architect.
  - 2. Staging & Material Storage Area: The Owner will designate an outdoor area adjacent to the project scope area for General Contractor staging. The General Contractor is responsible to provide security, protect & maintain during construction. Coordinate location of temporary enclosures provided by the General Contractor for his own equipment, access & gates with Owner and Architect.
  - 3. Parking: The General Contractor shall coordinate a designated parking area for staff and sub-contractors with the Owner and Architect, and mark it with adequate weatherproof signage and traffic cones. The General Contractor shall maintain this designated parking area and provide for trash removal in this area.

1.12 WORK RESTRICTIONS

- A. Work Restrictions, General: Comply with restrictions on construction operations.
  - 1. Comply with limitations on use of public streets and other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Work shall be generally performed inside the existing buildings during normal business working hours of 7:00 a.m. to 5:00 p.m., Monday through Friday, unless otherwise indicated.
  - 1. Weekend Hours: As approved by Architect and Owner.
  - 2. Early Morning Hours: As approved by Architect and Owner.
  - 3. Hours for Utility Shutdowns: As approved by Architect and Owner.

4. Provide 24 hour notice to the Owner and the Architect when performing work other than normal working hours.
- C. Nonsmoking Construction Site: Smoking is not permitted on campus. The General Contractor is responsible to instruct, monitor & maintain observance of this strict rule by all staff & sub-General Contractors. Violators may be removed from the Project site.

#### 1.13 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Format: The Specifications are organized into Divisions and Sections using the 48-division format and CSI/CSC's "Master Format" numbering system.
- B. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
  1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
  2. Specification requirements are to be performed by General Contractor unless specifically stated otherwise.
- C. Familiarity: The General Contractor's Project Director(s), Project Manager(s) and Superintendent(s) and Foremen shall familiarize themselves with the content of the Construction Documents (Drawings and Specifications), prior to bidding, administratively and in the field.
- D. Drawing Coordination: Requirements for materials and products identified on the Drawings are described in detail in the Specifications. One or more of the following are used on the Drawings to identify materials and products:
  1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
- E. Drawings & Specifications are complimentary and one shall not be used against the other. The General Contractor shall report any discrepancies discovered in the Drawings & Specifications prior to proceeding with construction to the Architect in writing. In the instance of a discrepancy, the higher value shall be interpreted as being included in the General Contractor's base bid.
- F. General Contractor's proposals/alternate solutions: The GC shall work with the Architect in terms of the design intent indicated in the construction documents. Should the GC have alternate solutions and approaches that meet the same desired result without reducing the quality of the construction, the GC shall submit such proposals or ideas in writing in the form of an RFI for the Architect's and Owner's consideration.

END OF SECTION 011000

## SECTION 012300 - ALTERNATES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

#### 1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
  - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

#### 1.4 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART II - SCHEDULE OF ALTERNATES

A. **Alternate #1: OVERLAY EXISTING ASPHALT PAVEMENT**

1. BASE BID Condition: Existing asphalt pavement to remain in area shown on drawings for this alternate.
2. ALTERNATE BID Condition: Prepare, apply tack coat, and overlay existing asphalt pavement in area shown on drawings for this alternate.

B. **Alternate # 2: RESET GRANITE BLOCK FEATURE STRIPS AND PAVERS**

1. BASE BID Condition: Remove asphalt pavement, granite block feature strips & granite pavers; fine grade and compact existing base aggregate; and place 1" thick compacted 9.5mm Superpave wearing course over 2" thick compacted 19.0mm Superpave binder course in area shown on drawings for this alternate.
2. ALTERNATE BID Condition: Remove asphalt pavement, granite block feature strips & granite pavers; fine grade and compact existing base aggregate; provide and install new granite blocks feature strips & granite pavers to match existing conditions; and place 1" thick compacted 9.5mm Superpave wearing course over 2" thick compacted 19.0mm Superpave binder course in area shown on drawings for this alternate.

END OF SECTION 012300