

ADDENDUM #1

This addendum modifies, amends, and supplements designated parts of the Contract Documents, Specifications, and Drawings for:

SPANGS Building P-1 Interior Repair - BGS Project # 3700

South Portland Air National Guard Station, 50 Western Ave, South Portland, ME 04601

101st Civil Engineer Squadron

28 August 2023

This Addendum is hereby made a portion of Bidding Documents and Contract Documents.

It shall be the responsibility of the Contractor to notify all Subcontractors and Suppliers for various portions of the work of any changes or modifications contained in this Addendum.

Questions and Clarifications from the 24 Aug 2023 Pre-Bid Conference

1. Is there an allowance for the ACM abatement work?
 - a. No. See 01 10 00 and Drawings G002 and AE001 for the ACM Abatement included in the base bid.
 - i. Drawings G002 - UNIT PRICE AND QUANTITY SCHEDULE - ITEM 1 has been updated.
 - ii. Drawing AE001-
 1. ABATEMENT SCOPE OF WORK has been modified.
 2. The color and pattern of the hatching has been modified for clarity.
 - iii. Section 01 10 00 - Summary of Work, Paragraph 3.1.2 has been modified to include the Asbestos Abatement Base Bid SF amount.

2. Is there a specification for the floor trench cover?
 - a. No specification is provided. The intent is to replace or repair any trench cover that presents a safety hazard (e.g. holes from previous penetrations, poor fit, etc.) with a similar metal plate and secure covers to the frame. The currently installed material appears to be ~1/4 inch thick diamond plate steel that is painted.
 - b. Keynote 7 on Drawing AE101 provide general guidance for cleaning, painting, and securing the plates.
 - c. Drawing AD101, AE101, and AE640 have been modified to remove metal plate steam trench covers from Room 11A as it does not exist.

3. What is the project duration?
 - a. The final completion date is specified in 00 11 13 Notice to Contractors.

4. Is there a standard for ceiling tiles?
 - a. Yes. The standard is provided in the Project Manual.

5. Clarifications for ABI #2 are as follows:
 - a. All rooms will require independently controlled overhead lights.
 - b. All rooms require a Public Announcement Speaker.
 - c. All rooms require a heat/smoke detector.

6. Clarifications for ABI #3 are as follows:
 - a. All rooms will require independently controlled overhead lights.
 - b. All rooms require a Public Announcement Speaker.
All rooms require a heat/smoke detector.

2.1.3. Products are to be installed in accordance with manufacturer's specifications.

2.1.4. Products shall conform to project drawings and specifications.

3. PART 3

EXECUTION:

3.1. BASE BID ITEMS:

3.1.1. Replace/salvage approx. 13,455 SF of ceiling tiles. See Drawings AD101, AE101, and AE640. Ceiling tiles will be per the Base standard for ceiling tiles.

3.1.2. Replace approximately 9,078 SF of flooring (VCT, carpet, ceramic and paint) plus associated cove base. The existing carpet is to be removed where applicable.

-575 SF of carpet is to be removed over ACM adhesive. This work requires asbestos abatement.

-3515 SF of carpet is to be removed from an ACM Tile underlayment. 10% of this work could require asbestos abatement if an ACM tile is damaged during carpet removal.

-The remaining carpet has no asbestos concerns.

-The amount of asbestos abatement work for the base bid is 926 SF.

-See Drawings AD101, AE001, AE101, and AE502.

3.1.3. Replace/Repair floor trench plate cover panels. See Drawings AD101 and AE101

3.1.4. Replace weather stripping on 24 exterior doors to make weather tight. See Drawings AD101 and AE101.

3.2. Alternate Bid Items:

3.2.1. **Exterior Stair Replacement:** Replace exterior stairs and rails located by the dining hall door including any required earthwork. See Drawing C-501 and C-503 for reference.

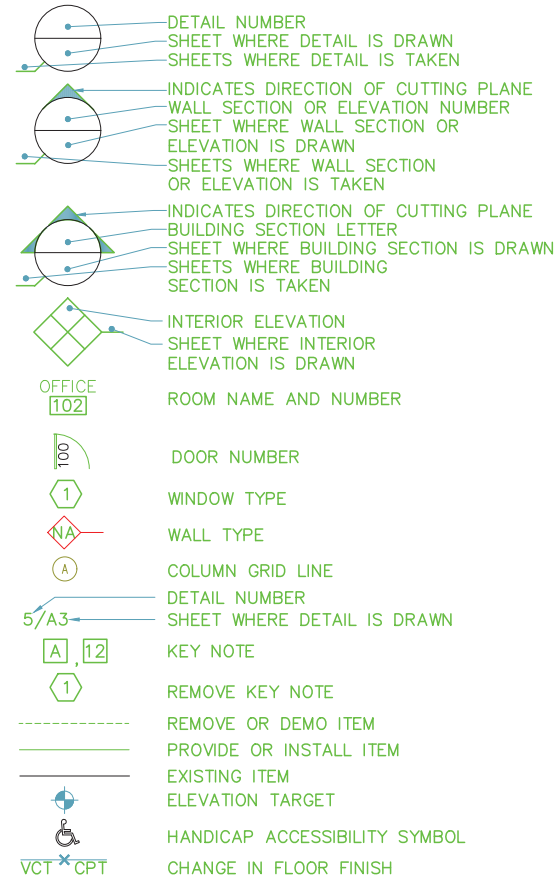
3.2.2. **Office Modifications (Room 1):** Perform modifications to Room 1 to create Room 1A, Room 1B, and Room 1C. Work includes walls, lighting, electrical, fire alarms, and HVAC. See Figure 1 for concept.

3.2.3. **Office Modifications (Room 45):** Perform modifications to Room 45 to create Room 45A and Room 45B. Work includes walls, lighting, electrical, fire alarms, and HVAC. See Figure 1 for concept.

ABBREVIATIONS

%	PERCENT	HYD	HYDRANT
&"	AND	IN	INCHES, INCH
'	INCH, INCHES	INSUL	INSULATION, INSULATED
±	PLUS OR MINUS	INT	INTERIOR
@	AT	INV	INVERT
#	NUMBER	JST	JOIST
	DEGREES	LBS	POUNDS
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	LF	LINEAR FEET
	AMERICANS WITH DISABILITIES ACT	LT	LEFT
ADA	ABOVE FINISHED FLOOR	LTRR	LONG TERM THERMAL RESISTANCE
AFF	ALUMINUM	MAT	MAT (WALK OFF)
ALUM	APPROXIMATELY	MAX	MAXIMUM
APPROX	AMERICAN SOCIETY OF TESTING AND MATERIALS	MB	MODIFIED BITUMEN
ASTM	AMERICAN WIRE GAUGE	MDOT	MAINE DEPARTMENT OF TRANSPORTATION
	BARRIER FREE	MEAS	MEASURE
BLDG	BUILDING	MECH	MECHANICAL MANUFACTURER
BOC	BOTTOM OF CURB	MFR	MANHOLE
BOS	BOTTOM OF STAIR	MH	MINIMUM
BOT	BOTTOM	MIN	MILLIMETER
BMP	BEST MANAGEMENT PRACTICES	mm	MOISTURE/MOLD RESISTANT
CL	CENTERLINE	MR	METAL
CLG	CASHEIR GLASS	MTL	METAL
CLR	CEILING	N	NORTH, NORTHING
CMP	CLEAR	N/F	NOW OF FORMERLY
	CENTRAL MAINE POWER, CORRUGATED METAL PIPE	NAT	NATURAL FINISH
CO	CLEAN OUT	NEG	NEGATIVE
COL	COLUMN	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CONC	CONCRETE	NIC	NOT IN CONTRACT
CONN	CONNECTION	NO,#	NUMBER
CONT	CONTINUOUS	OC	ON CENTER
CR	CONDENSATE RETURN	OCC	OCCUPANTS
CPT	CARPET	OD	OUTSIDE DIAMETER
CT	CERAMIC TILE	OZ	OUNCE(S)
CU	COPPER	PC	POINT OF CURVATURE
CWT	CERAMIC WALL TILE	PCC	POINT OF COMPOUND CURVATURE
DIAG	DIAGONAL	PI	POINT OF INTERSECTION
DN	DOWN	PNT	PAINT, PAINTED
DS	DOWN SPOUT	PL	PLASTIC LAMINATE
DWG	DRAWING	PLY	PLYWOOD
E	EAST, EASTING, EXISTING	PSI	PRESSURE PER SQUARE INCH
EA	EACH	PT	PRESSURE (PRESERVATIVE) TREATED, POINT OF TANGENCY
EF	EXHAUST FAN	PVC	POLYVINYL CHLORIDE
EJ	EXPANSION JOINT	R	RADIUS
ELEC	ELECTRIC	RCB	RUBBER COVE BASE
ELEV	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EQ	EQUAL	RD	ROOF DRAIN
EW	EACH WAY	REF	REFERENCE
EWC	ELECTRIC WATER COOLER	REINF	REINFORCED
EXIST	EXISTING	RO	ROUGH OPENING
EXT	EXTERIOR	ROW	RIGHT OF WAY
F	FINISH	RT	RIGHT
FCO	FLOOR CLEAN OUT	S	SOUTH/STRETCHER
FD	FLOOR DRAIN	SAT	SUSPENDED ACOUSTICAL TILE
FDN	FOUNDATION	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SP	SMOKE PROOF
FEC	FIRE EXTINGUISHER CABINET	SPL	SAMPLE
FF	FINISH FLOOR	SQ	SQUARE
FFE	FINISH FLOOR ELEVATION	SF	SQUARE FEET
FHWA	FEDERAL HIGHWAY ADMINISTRATION	SS	STAINLESS STEEL
FIN	FINISH	ST	STAIN
FL, FLR	FLOOR	STA	STATION
FRT	FIRE RETARDANT TREATMENT	STC	SOUND TRANSMISSION CLASS
FT	FOOT, FEET	STL	STEEL
FT ²	SQUARE FEET	T	TRANSFORMER
Fy	YIELD STRESS	TBM	TEMPORARY BENCHMARK
GA	GAUGE	TOC	TOP OF CURB
GAL	GALLON	TOS	TOP OF STAIR
GALV	GALVANIZED	TYP	TYPICAL
GPM	GALLONS PER MINUTE	UL	UNDERWRITERS LABORATORY
GRD	GROUND	UNLESS OTHERWISE NOTED	
GYP BD	GYPSUM BOARD	UON	UNLESS OTHERWISE NOTED
H, HGT	HEIGHT, HORIZONTAL	VERT, V	VERTICAL
HDPE	HIGH DENSITY POLYETHYLENE	VIF	VERIFY IN FIELD
HM	HOLLOW METAL	W	WEST, WIDE
HORIZ, H	HORIZONTAL	W/	WITH
		WB	WOOD BASE
		WC	WATER CLOSET
		WD	WOOD
		WR	WATER RESISTANT
		WWF	WELDED WIRE FABRIC

LEGEND



GENERAL CONSTRUCTION NOTES

- WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO DOD BUILDING CODE UFC 1-200-01, STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT INCLUDING, BUT NOT LIMITED TO THE FOLLOWING (LATEST EDITIONS):
 - INTERNATIONAL BUILDING CODE (IBC)
 - NFPA 101-LIFE SAFETY CODE
 - ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 - NFPA 70 NATIONAL ELECTRICAL CODE
 - THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, EXISTING MATERIALS AND DIMENSIONS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
 - WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH ARE APPLICABLE TO THIS PROJECT.
 - WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS.
 - ROOM NUMBERS ON PLANS ARE FOR REFERENCE ONLY AND DO NOT CORRESPOND TO ACTUAL ROOM NUMBERS. THE SIGNAGE CONTRACTOR SHALL VERIFY SIGNAGE TEXT WITH THE OWNER PRIOR TO FABRICATION.
 - BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
 - AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT, CLEAN AND SAFE CONDITION.
 - THE CONTRACTOR SHALL DISPOSE OF ANY CONSTRUCTION DEBRIS FROM THE PROJECT.
 - COMPONENTS OF THE WORK SHALL BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
 - WORK SHALL BE PROVIDED IN COMPLIANCE WITH THAT INDUSTRIES' STANDARDS AND PERFORMED IN A WORKMANLIKE PROFESSIONAL MANNER.
- DIMENSIONS ARE FACE OF FRAMING TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

STRUCTURAL REMOVALS, TEMPORARY SHORING/BRACING AND CONSTRUCTION NOTES:

- PROVIDE TEMPORARY SUPPORT OF FRAMING/MASONRY DURING CONSTRUCTION TO PREVENT FAILURE AND DAMAGE
- PROVIDE TEMPORARY SHORING/BRACING DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MAINE. SUBMIT STAMPED CALCULATIONS AND DRAWINGS FOR REVIEW AND APPROVAL BY CONTRACTING OFFICER PRIOR TO THE START OF WORK. DESIGN TEMPORARY SHORING FOR IMPOSED DEAD, LIVE AND WIND LOADS. MEMBERS SUPPORTING ROOF LIVES MUST BE DESIGNED FOR A MINIMUM LIVE LOAD OF 20 POUNDS PER SQUARE FOOT.
- DO NOT REMOVE EXISTING MASONRY SUPPORTS INDICATED TO BE REMOVED UNTIL NEW TEMPORARY SHORING HAS BEEN INSTALLED TO SUPPORT THE EXISTING FRAMING/ MASONRY THAT THE EXISTING MASONRY SUPPORTS.
- INSPECT AND MAINTAIN TEMPORARY SHORING/BRACING DAILY. DO NOT REMOVE TEMPORARY SHORING/BRACING UNTIL INSTALLATION OF NEW STRUCTURAL ELEMENTS OR REPAIRS/REINFORCEMENT OF EXISTING STRUCTURAL ELEMENTS HAVE BEEN COMPLETED, INSPECTED AND APPROVED.

UNIT PRICE AND QUANTITY SCHEDULE				
ITEM	DESCRIPTION	UNIT	BASE BID QUANTITY	UNIT PRICE REQUIRED
1	REMOVAL OF ASBESTOS CONTAINING FLOOR TILE AND ADHESIVE	SF	926	YES
				A1

- NOTES:
- THE "BASE BID" QUANTITIES ARE INCLUDED IN THE SCOPE OF WORK. FOR WORK ITEMS REQUIRING UNIT PRICES THE UNIT PRICES SHALL APPLY TO BOTH BASE BID QUANTITIES AND QUANTITIES IN EXCESS OF THE BASE BID AMOUNTS.
 - SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL WORK ITEMS FOR WHICH ESTIMATED QUANTITIES HAVE NOT BEEN PROVIDED.

RECORD DRAWINGS
 THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE CONSULTANT IS UNDER NO OBLIGATION OR DUTY TO VERIFY THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND HAS NOT DONE SO. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY OTHERS.

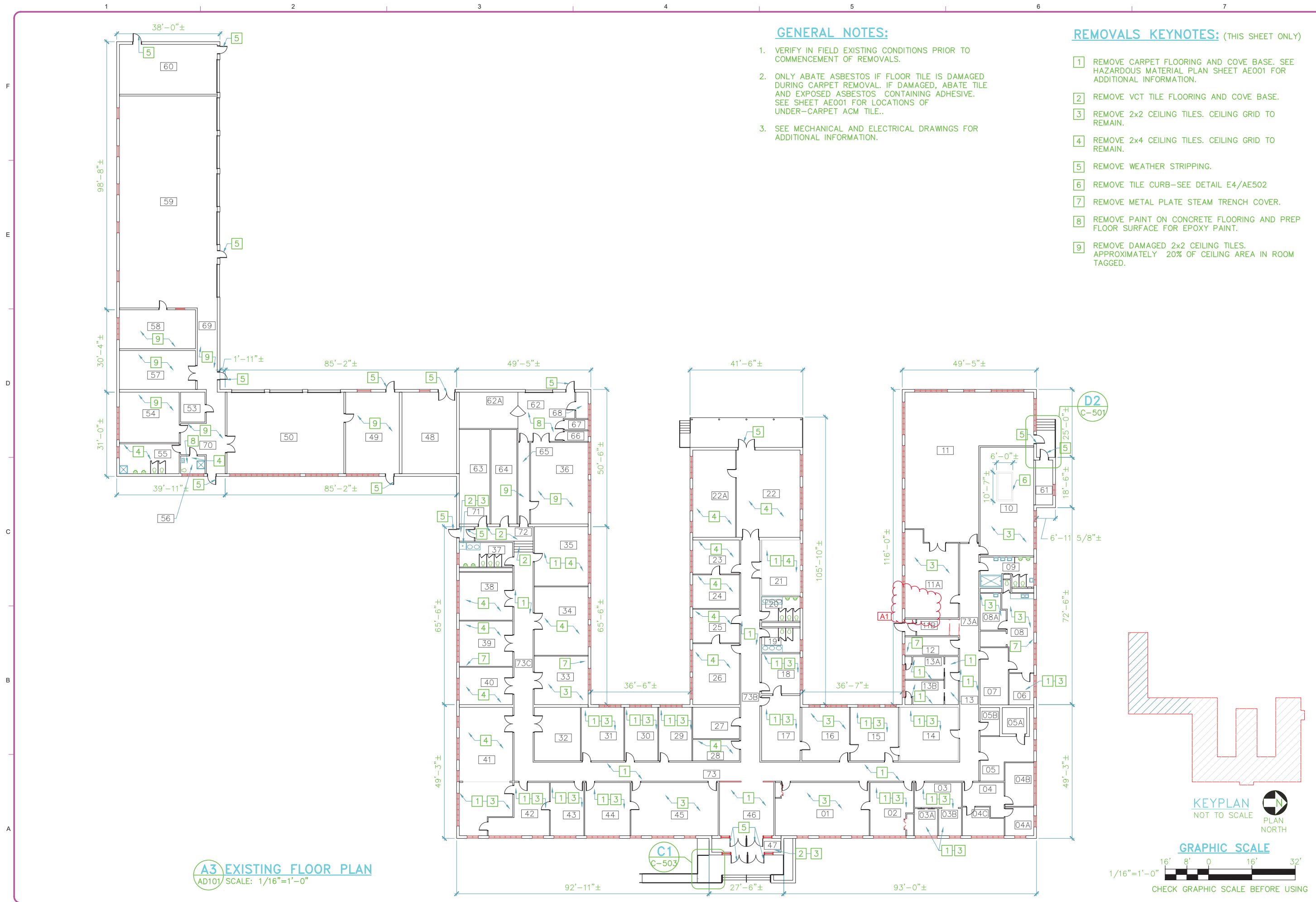
MARK	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
A1	8/28/23	ADDENDUM 1			

NATIONAL GUARD BUREAU
 P-1 INTERIOR REPAIR
 MAINE AIR NATIONAL GUARD
 SOUTH PORTLAND, ME

ABBREVIATIONS, GENERAL NOTES AND DRAWING SYMBOL LEGEND

PROJ: VVRK222004
 DESN:
 DRWN:
 CHKD:

G-002



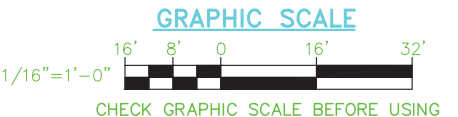
GENERAL NOTES:

1. VERIFY IN FIELD EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF REMOVALS.
2. ONLY ABATE ASBESTOS IF FLOOR TILE IS DAMAGED DURING CARPET REMOVAL. IF DAMAGED, ABATE TILE AND EXPOSED ASBESTOS CONTAINING ADHESIVE. SEE SHEET AE001 FOR LOCATIONS OF UNDER-CARPET ACM TILE..
3. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

REMOVALS KEYNOTES: (THIS SHEET ONLY)

- 1 REMOVE CARPET FLOORING AND COVE BASE. SEE HAZARDOUS MATERIAL PLAN SHEET AE001 FOR ADDITIONAL INFORMATION.
- 2 REMOVE VCT TILE FLOORING AND COVE BASE.
- 3 REMOVE 2x2 CEILING TILES. CEILING GRID TO REMAIN.
- 4 REMOVE 2x4 CEILING TILES. CEILING GRID TO REMAIN.
- 5 REMOVE WEATHER STRIPPING.
- 6 REMOVE TILE CURB-SEE DETAIL E4/AE502
- 7 REMOVE METAL PLATE STEAM TRENCH COVER.
- 8 REMOVE PAINT ON CONCRETE FLOORING AND PREP FLOOR SURFACE FOR EPOXY PAINT.
- 9 REMOVE DAMAGED 2x2 CEILING TILES. APPROXIMATELY 20% OF CEILING AREA IN ROOM TAGGED.

A3 EXISTING FLOOR PLAN
AD101 SCALE: 1/16"=1'-0"



RECORD DRAWINGS
THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE CONSULTANT IS UNDER NO OBLIGATION OR DUTY TO VERIFY THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND HAS NOT DONE SO. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY OTHERS.

MARK	DATE	DESCRIPTION
A1	08/11/23	RECORD DRAWING
	08/28/23	Addendum 1

NATIONAL GUARD BUREAU
P-1 INTERIOR REPAIR
MAINE AIR NATIONAL GUARD
SOUTH PORTLAND, ME

FLOOR PLAN REMOVALS

PROJ:	VVRK222004
DESN:	JBL
DRWN:	NJD
CHKD:	KP

AD101

Bar measures 1 inch, otherwise drawing is not to scale




ABATEMENT SCOPE OF WORK:

THE SCOPE OF ASBESTOS CONTAINING MATERIALS ABATEMENT FOR THIS PROJECT IS LIMITED TO ROOMS IDENTIFIED IN NOTE 2 PLUS SPECIFIC LOCATIONS IF ACM TILES ARE DAMAGED DURING CARPET REMOVAL.

1. REMOVE CARPET OVER ACM FLOOR TILE WITH ACM ADHESIVE AT ROOMS 02, 03, 03A, 03B, 06, 16, 17, 18, 29, 31, 35, 41, 42, AND 43 (TOTAL SF=3515). ONLY ABATE DAMAGED TILES.

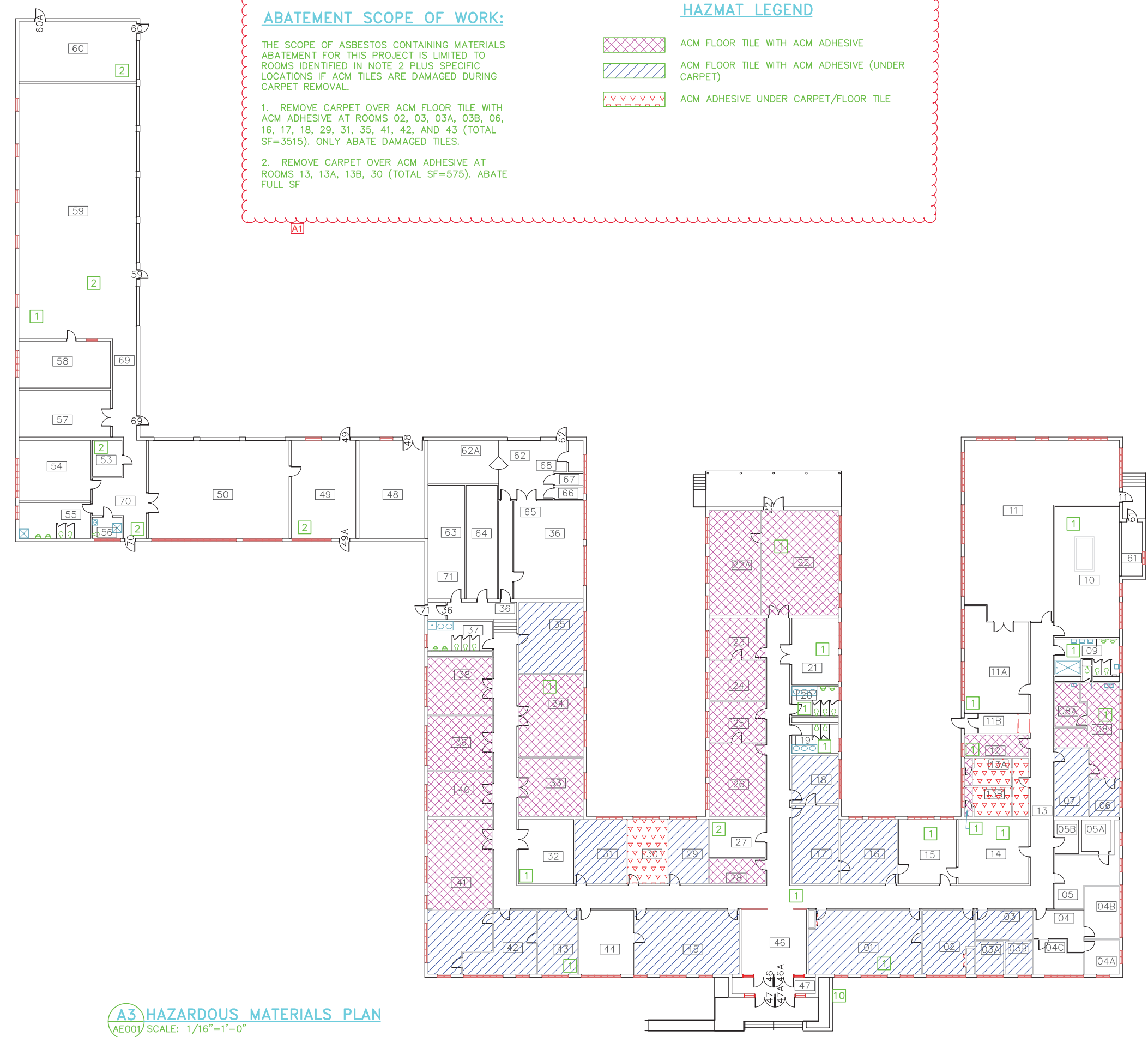
2. REMOVE CARPET OVER ACM ADHESIVE AT ROOMS 13, 13A, 13B, 30 (TOTAL SF=575). ABATE FULL SF

HAZMAT LEGEND

-  ACM FLOOR TILE WITH ACM ADHESIVE
-  ACM FLOOR TILE WITH ACM ADHESIVE (UNDER CARPET)
-  ACM ADHESIVE UNDER CARPET/FLOOR TILE

GENERAL NOTES:

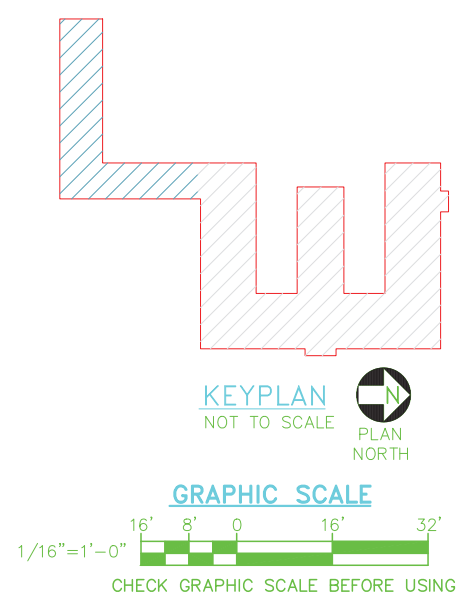
1. THIS DRAWINGS DOES NOT CLAIM TO IDENTIFY ALL OF THE ASBESTOS CONTAINING MATERIAL (ACM) PRESENT IN THE BUILDING AND SHOULD NOT BE THE SOLE BASIS FOR IDENTIFYING ACM.
2. PROVIDE UNIT PRICE FOR ABATEMENT OF ACM FLOOR TILE AND ACM ADHESIVE. SEE UNIT PRICE AND QUANTITY SCHEDULE SHEET G-002.
3. HAZARDOUS MATERIALS REMOVALS SUCH AS FLUORESCENT LIGHTING AND BALLASTS ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT.
4. SEE SHEET AD-101 FOR ARCHITECTURAL DEMOLITION PLAN.
5. ACM AND HAZARDOUS MATERIAL INFORMATION PROVIDED IS TAKEN FROM A TEST REPORT DATED SEPTEMBER 2016 AND JANUARY 2017 BY CES, INC. REFER TO REPORT INCLUDED IN THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6. ALL ACM PREVIOUSLY IDENTIFIED IN ROOMS 04, 04A, 04B, 04C, AND 05 WERE ABATED BY PROJECT VVRK222233.



KEYNOTES: (THIS SHEET ONLY)

- 1 ACM INSULATED PIPE FITTINGS ABOVE CEILING.
- 2 ACM INSULATED PIPE FITTINGS BELOW CEILING.

A3 HAZARDOUS MATERIALS PLAN
AE001 SCALE: 1/16"=1'-0"



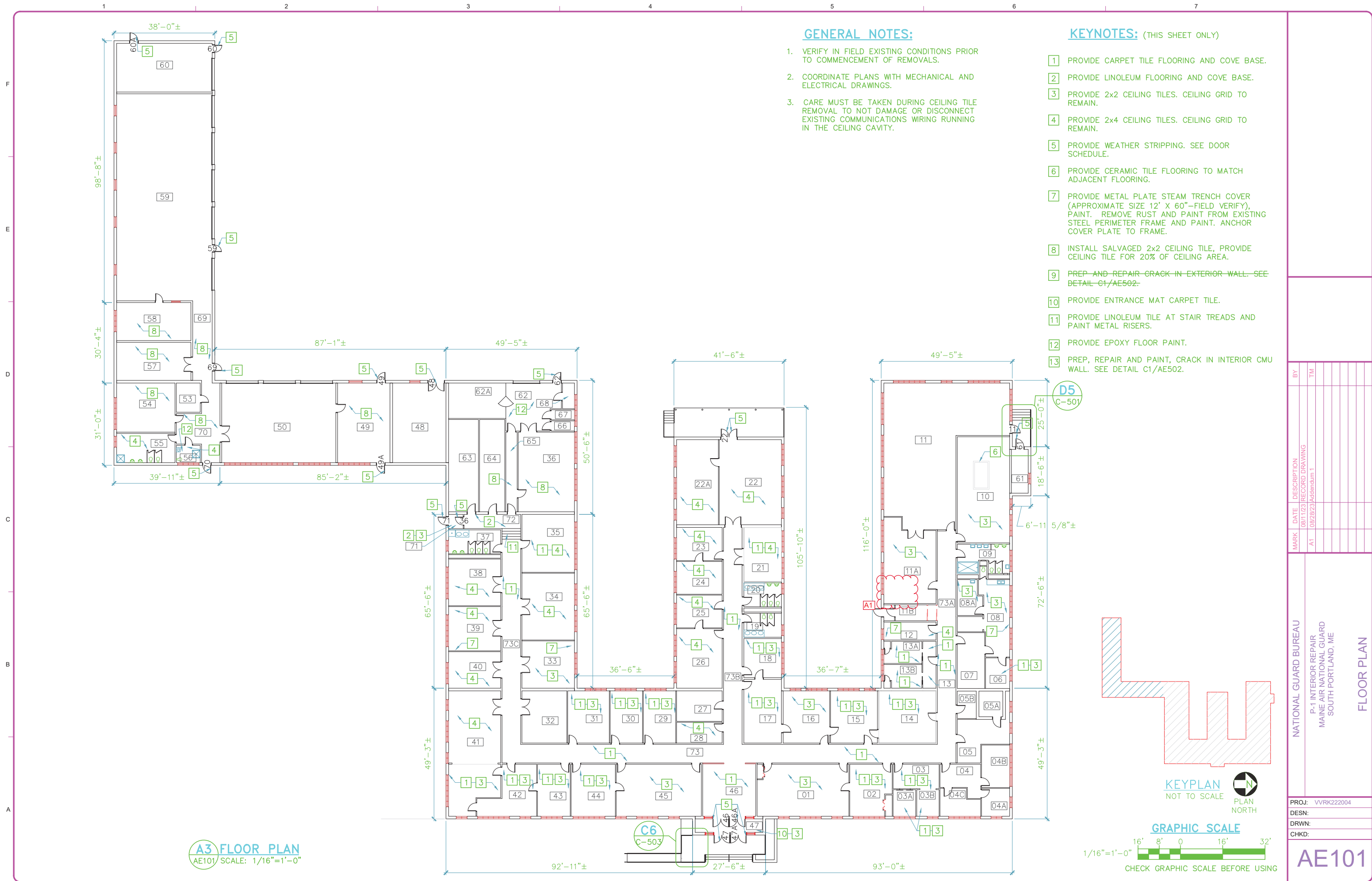
RECORD DRAWINGS
THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE CONSULTANT IS UNDER NO OBLIGATION OR DUTY TO VERIFY THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND HAS NOT DONE SO. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY OTHERS.

MARK	DATE	DESCRIPTION
A1	08/11/23	RECORD DRAWING
	08/28/23	Addendum 1

NATIONAL GUARD BUREAU
P-1 INTERIOR REPAIR
MAINE AIR NATIONAL GUARD
SOUTH PORTLAND, ME
HAZARDOUS MATERIAL PLAN

PROJ: VVRK222004
DESN:
DRWN:
CHKD:

AE001



GENERAL NOTES:

1. VERIFY IN FIELD EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF REMOVALS.
2. COORDINATE PLANS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3. CARE MUST BE TAKEN DURING CEILING TILE REMOVAL TO NOT DAMAGE OR DISCONNECT EXISTING COMMUNICATIONS WIRING RUNNING IN THE CEILING CAVITY.

KEYNOTES: (THIS SHEET ONLY)

- 1 PROVIDE CARPET TILE FLOORING AND COVE BASE.
- 2 PROVIDE LINOLEUM FLOORING AND COVE BASE.
- 3 PROVIDE 2x2 CEILING TILES. CEILING GRID TO REMAIN.
- 4 PROVIDE 2x4 CEILING TILES. CEILING GRID TO REMAIN.
- 5 PROVIDE WEATHER STRIPPING. SEE DOOR SCHEDULE.
- 6 PROVIDE CERAMIC TILE FLOORING TO MATCH ADJACENT FLOORING.
- 7 PROVIDE METAL PLATE STEAM TRENCH COVER (APPROXIMATE SIZE 12' X 60"-FIELD VERIFY), PAINT. REMOVE RUST AND PAINT FROM EXISTING STEEL PERIMETER FRAME AND PAINT. ANCHOR COVER PLATE TO FRAME.
- 8 INSTALL SALVAGED 2x2 CEILING TILE, PROVIDE CEILING TILE FOR 20% OF CEILING AREA.
- 9 PREP AND REPAIR CRACK IN EXTERIOR WALL. SEE DETAIL C1/AE502.
- 10 PROVIDE ENTRANCE MAT CARPET TILE.
- 11 PROVIDE LINOLEUM TILE AT STAIR TREADS AND PAINT METAL RISERS.
- 12 PROVIDE EPOXY FLOOR PAINT.
- 13 PREP, REPAIR AND PAINT, CRACK IN INTERIOR CMU WALL. SEE DETAIL C1/AE502.

A3 FLOOR PLAN
AE101 SCALE: 1/16"=1'-0"

KEYPLAN
NOT TO SCALE

GRAPHIC SCALE
1/16"=1'-0"

16' 8' 0' 16' 32'

CHECK GRAPHIC SCALE BEFORE USING

Bar measures 1 inch, otherwise drawing is not to scale

MARK	DATE	DESCRIPTION
A1	08/11/23	RECORD DRAWING
	08/28/23	addendum 1

NATIONAL GUARD BUREAU
P-1 INTERIOR REPAIR
MAINE AIR NATIONAL GUARD
SOUTH PORTLAND, ME

PROJ: VVRK222004
DESN:
DRWN:
CHKD:

AE101

FLOOR PLAN

ROOM FINISH SCHEDULE

NO.	DESCRIPTION	FLOOR	BASE	WALLS				CEILING	NOTES
				NORTH	EAST	SOUTH	WEST		
FIRST FLOOR									
01	OFFICE	-	-	-	-	-	-	ACT-1	
02	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
03	WAITING	CPT-1	RB	-	-	-	-	ACT-1	
03A	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
03B	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
04	WAITING	CPT-1	RB	-	-	-	-	ACT-1	
04A	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
04B	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
04C	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
05	WAITING	CPT-1	RB	-	-	-	-	ACT-1	
06	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
07	STORAGE	-	-	-	-	-	-	-	
08	OFFICE	-	-	-	-	-	-	ACT-1	8
08A	PATIENT ROOM	-	-	-	-	-	-	ACT-1	
10	KITCHEN	CT	-	P-1	-	-	-	ACT-1	3,6
11	CAFE	-	-	-	-	-	-	-	9
11A	BREAK ROOM	-	-	-	-	-	-	ACT-1	9
11B	STORAGE	-	-	-	-	-	-	-	8
12	STORAGE	-	-	-	-	-	-	-	8
13	WAITING	CPT-1	RB	-	-	-	-	ACT-2	
13A	OFFICE	CPT-1	RB	-	-	-	-	-	
13B	OFFICE	CPT-1	RB	-	-	-	-	-	
14	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
15	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
16	OFFICE	-	-	-	-	-	-	ACT-1	
17	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
18	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
21	OFFICE	CPT-1	RB	-	-	-	-	ACT-2	
22	STORAGE	-	-	-	-	-	-	ACT-2	
22A	OFFICE	-	-	-	-	-	-	ACT-2	
23	OFFICE	-	-	-	-	-	-	ACT-2	
24	OFFICE	-	-	-	-	-	-	ACT-2	
25	OFFICE	-	-	-	-	-	-	ACT-2	
26	OFFICE	-	-	-	-	-	-	ACT-2	
28	IT	-	-	-	-	-	-	ACT-2	
29	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
30	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
31	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
33	OFFICE	-	-	-	-	-	-	ACT-1	8
34	OFFICE	-	-	-	-	-	-	ACT-2	
35	OFFICE	CPT-1	RB	-	-	-	-	ACT-2	
36	CONFERENCE	-	-	-	-	-	-	ACT-1	4
38	OFFICE	-	-	-	-	-	-	ACT-2	
39	OFFICE	-	-	-	-	-	-	ACT-2	8
40	OFFICE	-	-	-	-	-	-	ACT-2	
41	OFFICE	CPT-1	RB	-	-	-	-	ACT-1,2	
42	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
43	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
44	OFFICE	CPT-1	RB	-	-	-	-	ACT-1	
45	OFFICE	-	-	-	-	-	-	ACT-1	
46	LOBBY	CPT-1	RB	-	-	-	-	-	9
47	VESTIBULE	MAT-1	RB	-	-	-	-	ACT-1	5,9
48	MAINTENANCE OFFICE	-	-	-	-	-	-	-	9
49	BOILER	-	-	-	-	-	-	ACT-1	4,9
50	MAINTENANCE	-	-	P-1	-	-	P-1	-	3
54	OFFICE	-	-	-	-	-	-	ACT-2	4
55	MENS TOILET	-	-	-	-	-	-	ACT-2	
56	WOMENS TOILET	EP	RB	-	-	-	-	ACT-2	
57	OFFICE	-	-	-	-	-	-	ACT-1	4
58	OFFICE	-	-	-	-	-	-	ACT-1	4
59	GARAGE	-	-	-	-	-	-	-	9
60	STORAGE	-	-	-	-	-	-	-	9
62	STORAGE	EP	RB	-	-	-	-	-	9
65	CORRIDOR	-	-	-	-	-	-	ACT-1	4
69	CORRIDOR	-	-	-	-	-	-	ACT-1	4,9
70	CORRIDOR	-	-	-	-	-	-	ACT-1	4,9
71	VESTIBULE	LIN-1	RB	-	-	-	-	ACT-1	9
72	CORRIDOR	LIN-1	RB	-	-	-	-	-	
73	CORRIDOR	CPT-1	RB	-	-	-	-	-	
73A	CORRIDOR	CPT-1	RB	-	-	-	-	-	
73B	CORRIDOR	CPT-1	RB	-	-	-	-	-	
73C	CORRIDOR	CPT-1	RB	-	-	-	-	-	

COLOR KEY/MANUFACTURER GUIDE

MATERIAL	MANUFACTURER MODEL/TYPE	COLOR & FINISH	REMARKS
WALLS			
P-1	PAINT	TO BE SELECTED	
P-2	PAINT	TO BE SELECTED	
P-3	PAINT	TO BE SELECTED	
FLOORS			
CPT-1	CARPET TILE FLOORING	TO BE SELECTED	
EP	EPOXY FLOOR PAINT	TO BE SELECTED	
LIN-1	LINOLEUM TILE FLOORING	TO BE SELECTED	
MAT-1	RECESSED WALK OFF MAT	TO BE SELECTED	
BASE			
RB	RUBBER BASE	TO BE SELECTED	
CEILING			
ACT-1	ARMSTRONG, ULTIMA HIGH NRC (2X2)	WHITE	
ACT-2	ARMSTRONG, ULTIMA HIGH NRC (2X4)	WHITE	
EXTERIOR FINISH SCHEDULE			
WALLS	MANUFACTURER MODEL/TYPE		REMARKS
CONCRETE MASONRY	CONPROCO CONPRO LASTIC	TO BE SELECTED	
WOOD FASCIA			
PAINT		TO BE SELECTED	
ALUMINUM DOORS WEATHER STRIPPING			
-		DARK BRONZE ANNOZIDED	

ROOM FINISH SCHEDULE LEGEND

ACT = SUSPENDED ACOUSTICAL CEILING TILE
 CT = CERAMIC FLOOR TILE
 CPT = CARPET FLOOR TILE
 EP = EPOXY PAINT
 EXIST = EXISTING CONDITIONS
 GYP BD = GYPSUM WALLBOARD
 LIN=LINOLEUM
 MAT = WALK-OFF MAT CARPET TILE
 P = PAINT
 RB = RUBBER WALL BASE

ROOM FINISH SCHEDULE GENERAL NOTES:

- UNLESS OTHERWISE NOTED ON FLOOR PLANS, CHANGES IN FLOOR FINISHES OCCUR UNDER DOORS.
- PROVIDE RESILIENT FLOOR TRANSITION STRIPS AT CHANGES IN NEW FLOORING MATERIALS TYPICAL.
- PAINT REPAIRS MADE TO CRACKED INTERIOR MASONRY WALLS, COLOR TO MATCH ADJACENT SURFACE.

ROOM FINISH SCHEDULE NOTES:

- PROVIDE PAINT TO MATCH EXIST. REPAIR CRACKS IN INTERIOR WALLS.
- INSTALL SALVAGED CEILING TILE, PROVIDE CEILING TILE FOR 20% OF CEILING AREA.
- PROVIDE FLOOR WALK-OFF MAT CARPET TILE
- PATCH CERAMIC FLOOR TILE AT REMOVED CURB INTO EXISTING CERAMIC FLOOR TIE. MATCH ADJACENT FLOOR TILE SIZE, TEXTURE, AND COLOR.
- NOT USED.
- PROVIDE METAL PLATE STEAM COVER.
- PROVIDE WEATHER STRIPPING AT EXTERIOR DOORS.

SCHEDULE KEY

EXIST EXISTING
 MAT'L MATERIAL
 NO NUMBER
 QTY QUANTITY

DOOR AND FRAME SCHEDULE

NO.	QTY	DOOR				FRAME			DETAILS			HARDWARE	FIRE RATING	REMARKS
		W	H	THK	TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH	HEAD	JAMB		
11	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
22	2	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
36	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
46	2	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-2	-
46A	2	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-2	-
47	2	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
47A	2	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
48	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
49	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
49A	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
59	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
60	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
60A	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
61	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
62	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
69	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
70	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-
71	1	EXISTING	-	-	-	EXIST	-	-	-	-	-	-	EH-1	-

RECORD DRAWINGS
 THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE CONSULTANT IS UNDER NO OBLIGATION OR DUTY TO VERIFY THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND HAS NOT DONE SO. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY OTHERS.

MARK	DATE	DESCRIPTION	BY	TH
A1	08/28/23	ADDendum 1		

NATIONAL GUARD BUREAU
 P-1 INTERIOR REPAIR
 MAINE AIR NATIONAL GUARD
 SOUTH PORTLAND, ME

PROJ: VVRK222004
 DESN: JBL
 DRWN: NJD
 CHKD: KSP

AE640